

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 1502 Washington Ave Units 5&6		Owner: Jandie Development Corp		Phone: 797-9534		Permit No: 991384	
Owner Address: 2 Flintlock Ln		Lessee/Buyer's Name: Yalmouth Me 04105		Phone:		BusinessName:	
Contractor Name: Jandie Dev. Corp		Address: SAA		Phone:		Permit Issued: DEC 16 1999	
Past Use: Condominiums		Proposed Use: same		COST OF WORK: \$ 100000.000		PERMIT FEE: \$ 624.00	
Proposed Project Description: Units 5 & 6 Meadowridge Condo's				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group A-3 Type 5B 000496	
				Signature:		Signature:	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				Action: <input type="checkbox"/> Approved		Zoning Approval:	
				Approved with Conditions: <input type="checkbox"/>		Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
Denial: <input type="checkbox"/>				Signature:		Date:	
Permit Taken By: UB		Date Applied For: Dec. 10 1999 K					

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Jandie Development
2 Flintlock Lane
Yalmouth Me 04105

PERMIT ISSUED
WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

Dec 10 1999

SIGNATURE OF APPLICANT ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

PERMIT ISSUED

CITY OF PORTLAND

Zoning Appeal

Historic Preservation

Action:

Date:

PERMIT ISSUED WITH REQUIREMENTS CEO DISTRICT

2

COMMENTS

See Permit # 99-0807 for Foundation
11/1/99 For Chase Dr - garage floor not poured yet - doesn't
meet 4" - Not Compacted yet - will meet 4" when Compacted
otherwise ok -

5/29/00 - for C/O - No Kitchen Counter tops - No Ki Sink - Rough cut only
into wall for BA Med Cabinet to be Cost supplied. No Step @ rear
Patio exit (Patio Door Secured, Needs protection around sill plate in
garage. - plumbing ok except for missing Ki Sink - otherwise ok @

Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 46 Mugby Lane 347-C-038

Issued to Jandia Development Corp

Date of Issue May 31 2000

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 991384, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Unit 6

single family dwelling use group R3
Type 5B Boca 96

Limiting Conditions:

1-Kitchen counter tops, Kitchen sink, bathroom mirror, rear patio w/code compliant step down & garage sill plate protection to be in place by June 30 2000. 2-Two site plans issues contained in letter from Gordon Smith to Kandi Talbot dated 5/30/00 to be completed by 6/30/00

(copy Attached)

This certificate supersedes
certificate issued

Approved:

5/31/00

(Date)

[Signature]
Inspector

[Signature]
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

Rec'd
M.C.
P

#2
JB

TO: Sam Hoffses, Chief Building Inspector
Inspections

FROM: Jay Reynolds, Development Review Coordinator

DATE: July 19, 2001

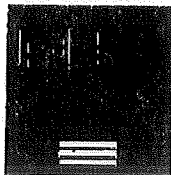
RE: C. of O. for Unit 6, #46 Mugwhy Lane
lead cbl (347C038); (Id# 1998-0170)

After visiting **Unit 6**, # 46 Mugwhy Lane, I found all the work to be completed.

At this time, **I recommend issuing a permanent Certificate of Occupancy.**

Please contact me if you have any questions or comments.
Thank You.

Cc: Sarah Hopkins, Development Review Services Manager
Mike Nugent, Inspection Services Manager
File: O:\drc\46mugwhy1.doc



DeLUCA-HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

778 MAIN STREET
SUITE 3
SOUTH PORTLAND, MAINE 04106
TEL. 207 775 1121
FAX 207 879 0996

347-C-038

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

MEMORANDUM

TO: Code Enforcement
Kandi Talbot, Planner

FROM: Gordon Smith, Director of Construction Services
Reviewed by Steve Bushey, P.E., Acting Development Review Coordinator

DATE: May 30, 2000

RE: Certificate of Occupancy - Unit 6 Mugwi Lane (Meadow Ridge)

On May 30, 2000, the site was reviewed for compliance with the conditions of approval. My comments are:

1. The landscape work, including lawns and trees, could not be completed due to the time of year. This work must be completed by June 30, 2000.
2. There is a little erosion at the rear of the house in the swale. This area should be temporarily mulched and a hay bale barrier should be placed in the swale at the low end of the property.

It is my opinion that a **temporary certificate of occupancy could be issued**, assuming Code Enforcement has no outstanding issues. However, items 1 and 2 above must be reviewed and approved prior to the issuance of a permanent certificate of occupancy.

44 & 46 Mug Why Lane

BUILDING PERMIT REPORT

DATE: 11 Dec. 99 ADDRESS: 1502 Washington Ave CBL: 347-C-038
REASON FOR PERMIT: To Construct Two Condo Units 5-6 (single family dwellings/garage) one structure
BUILDING OWNER: Jandie Development
PERMIT APPLICANT: Jandie Dev. Corp.
USE GROUP: R-3 CONSTRUCTION TYPE: 5B CONSTRUCTION COST: \$100,000.00 PERMIT FEES: \$624.00

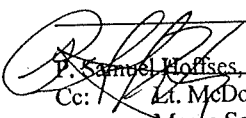
The City's Adopted Building Code (The BOCA National Building code/1996 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions are met: #1, #2, #5, #6, #8, #9, #10, #15, #19, #26, #27, #29, #31, 32, #34, #36, #37, #38, #39

- X 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- X 2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) "ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."
- 3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- 4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts. Section 2305.17
- X 5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
- X 6. Precaution must be taken to protect concrete from freezing. Section 1908.0
- 7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
- X 8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1.2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1996)
- X 9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
- X 10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
- 11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A,B,H-4, I-1, I-2, M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38"). Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7)
- 12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
- 13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/4" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
- 14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
- X 15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
- 16. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
- 17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
- 18. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

- *19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
- 20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
- 21. The Fire Alarm System shall maintained to NFPA #72 Standard.
- 22. The Sprinkler System shall maintained to NFPA #13 Standard.
- 23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1996)
- 24. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
- * 26. Ventilation shall meet the requirements of Chapter 12 Sections 1210.0 of the City's Building Code. (Crawl spaces & attics).
- * 27. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
- 28. All requirements must be met before a final Certificate of Occupancy is issued.
- * 29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
- 30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
- 31. Please read and implement the attached Land Use Zoning report requirements. *All previous conditions apply st.*
- * 32. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
- 33. Bridging shall comply with Section 2305.16.
- * 34. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2405.0)
- 35. All signage, shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1996).
- * ~~36.~~ A one hour fire partition shall be installed between dwelling units a per section 714.0 of the bldg. code -
- * ~~37.~~ NO penetrations shall be made in the fire partition (Section 714.0).
- * ~~38.~~ Framing within 8" of ground shall be pressure treated. Natural durable wood.
- * ~~39.~~ Slab thickness and vapor retarder shall conform to section 1905.0 ALSO section 1813.0


 P. Samuel Hoffses, Building Inspector
 Cc: Lt. McDougall, PFD
 Marge Schmuckal, Zoning Administrator

PSH 11/25/99

**On the basis of plans submitted and conditions placed on these plans any deviations shall require a separate approval.

*****THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD.**

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Building or Use Permit Pre-Application
Attached Single Family Dwellings/Two-Family Dwelling
Multi-Family or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

1502 units 5 & 6

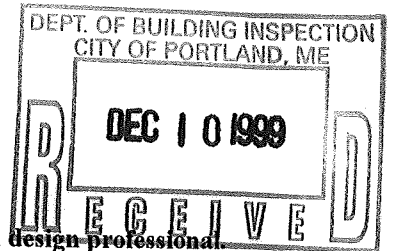
Location/Address of Construction (include Portion of Building): 1502 WASHINGTON AVE MEADOW RIDGE			
Total Square Footage of Proposed Structure		Square Footage of Lot 1,400	
Tax Assessor's Chart, Block & Lot Number	Owner: JANDIE DEVELOPMENT CORP	Telephone#: 197-9534	
Chart# 347 Block# C Lot# 38			
Owner's Address: 2 FLINTHOCK LANE * FALMOUTH ME 04105	Lessee/Buyer's Name (If Applicable)	Cost Of Work: \$ 100,000	Fee \$ 624-
Proposed Project Description: (Please be as specific as possible) units 5 & 6 Meadowridge Condominiums			
Contractor's Name, Address & Telephone JANDIE DEVELOPMENT CORP			Rec'd By UB
Current Use: Condominiums		Proposed Use: same	

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan/Site Plan



Minor or Major site plan review will be required for the above proposed projects. The attached checklist outlines the minimum standards for a site plan.

4) Building Plans

Unless exempted by State Law, construction documents must be designed by a registered design professional.

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Julie A. DePina	Date: 12-10-99
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Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.
Additional Site review and related fees are attached on a separate addendum

Inspection Services
Michael J. Nugent
Manager



Department of Urban Development
Joseph E. Gray, Jr.
Director

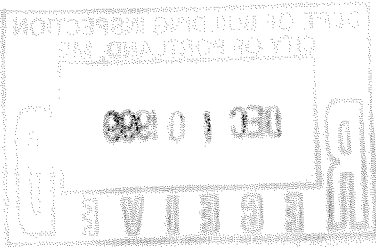
CITY OF PORTLAND

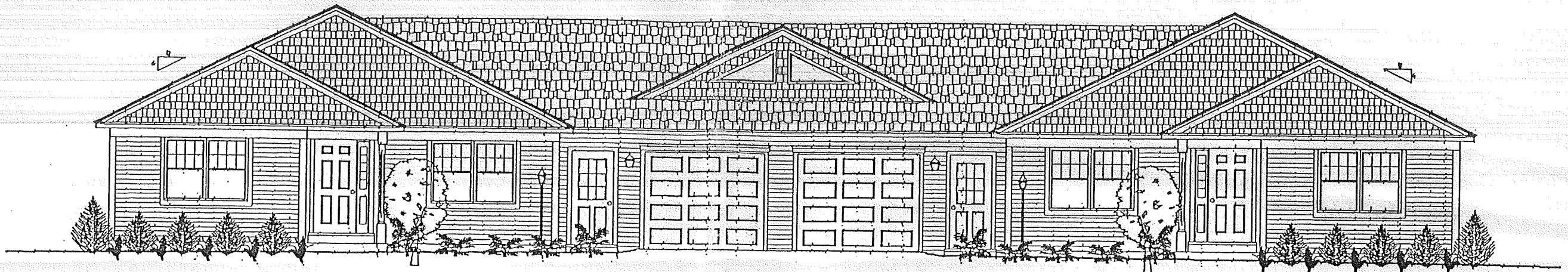
congratulations !!!!!

Building or Use Permit Application Attached Single Family Dwellings/Two-Family Dwelling Multi-Family or Commercial Structures and Additions Thereto

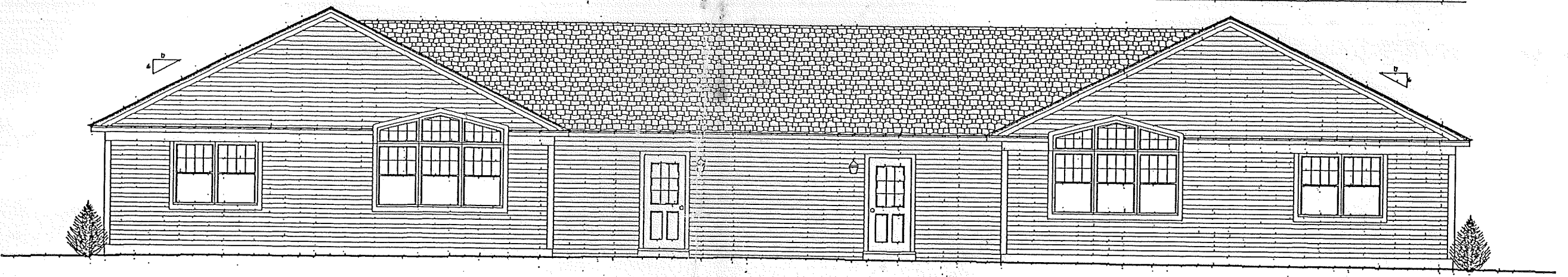
As an applicant for a building permit, you are about to enter into a relationship with our Office. We welcome any questions, comments or suggestions that will make the process more efficient. Attached you will find an application and some samples of the submissions you will provide at application time. Please read ***ALL*** of the information and if you need any further assistance please call 874-8703 or 874-8693.

Minor or Major site plan review will be required for the most of the above proposed projects.

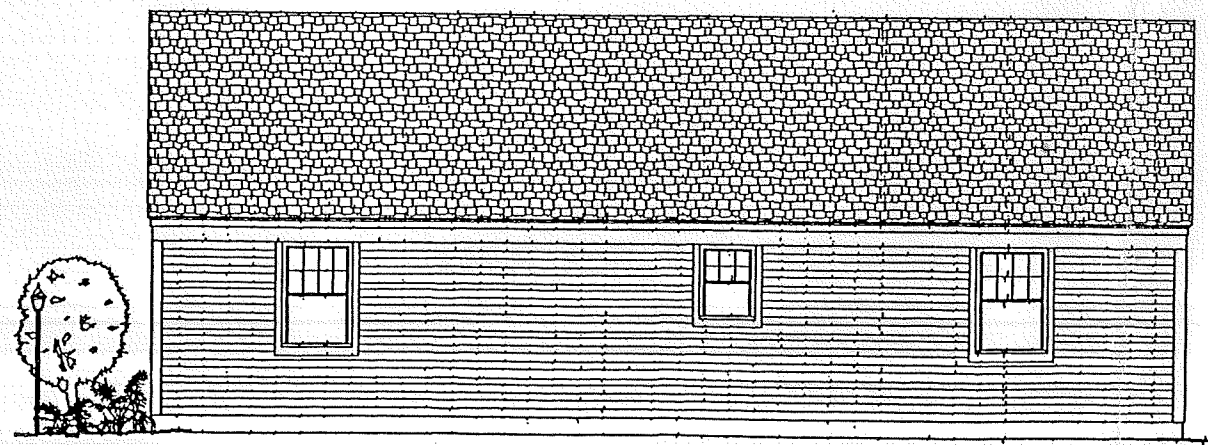




MAIN ELEVATION

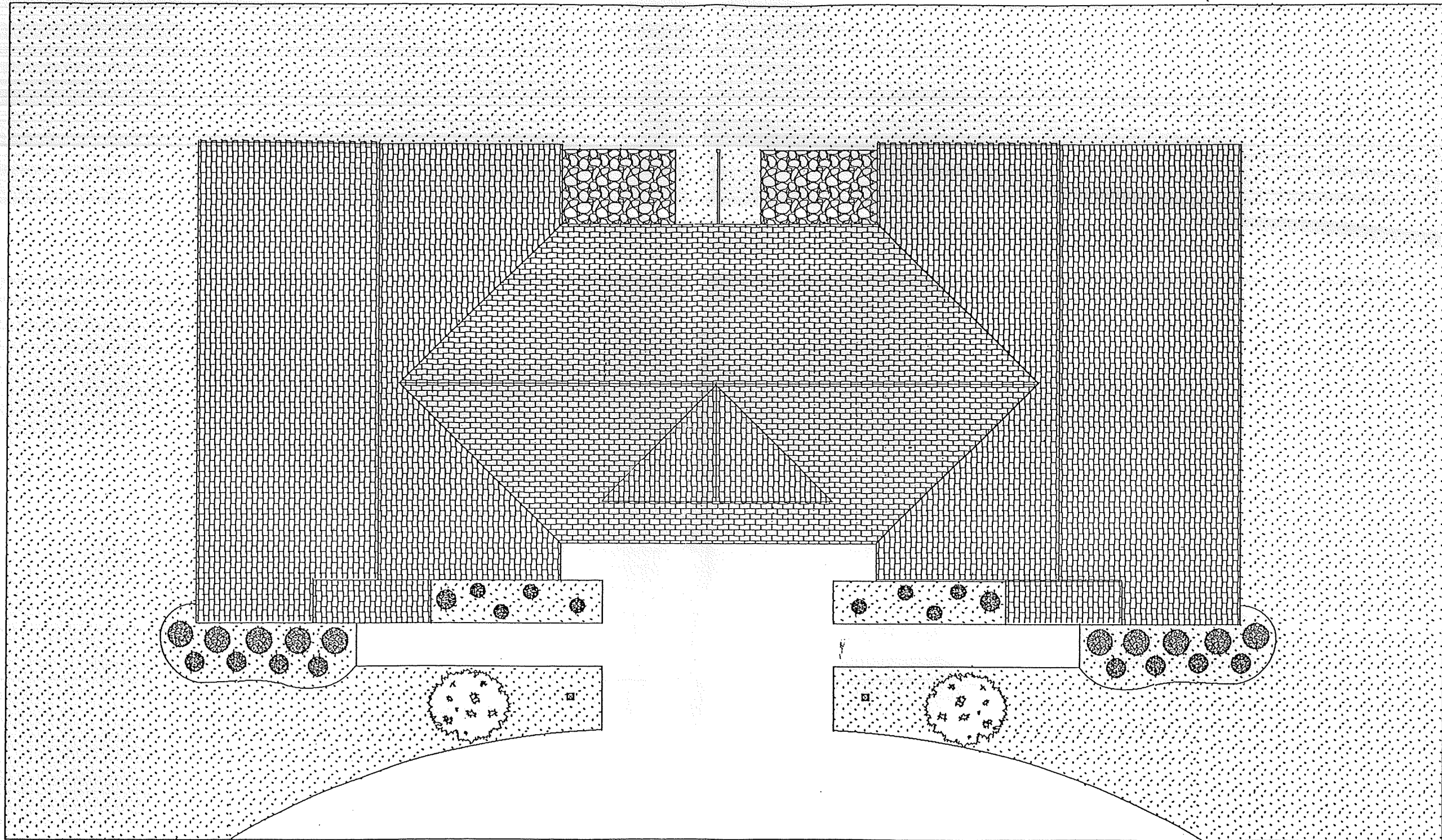


REAR ELEVATION



SIDE ELEVATION

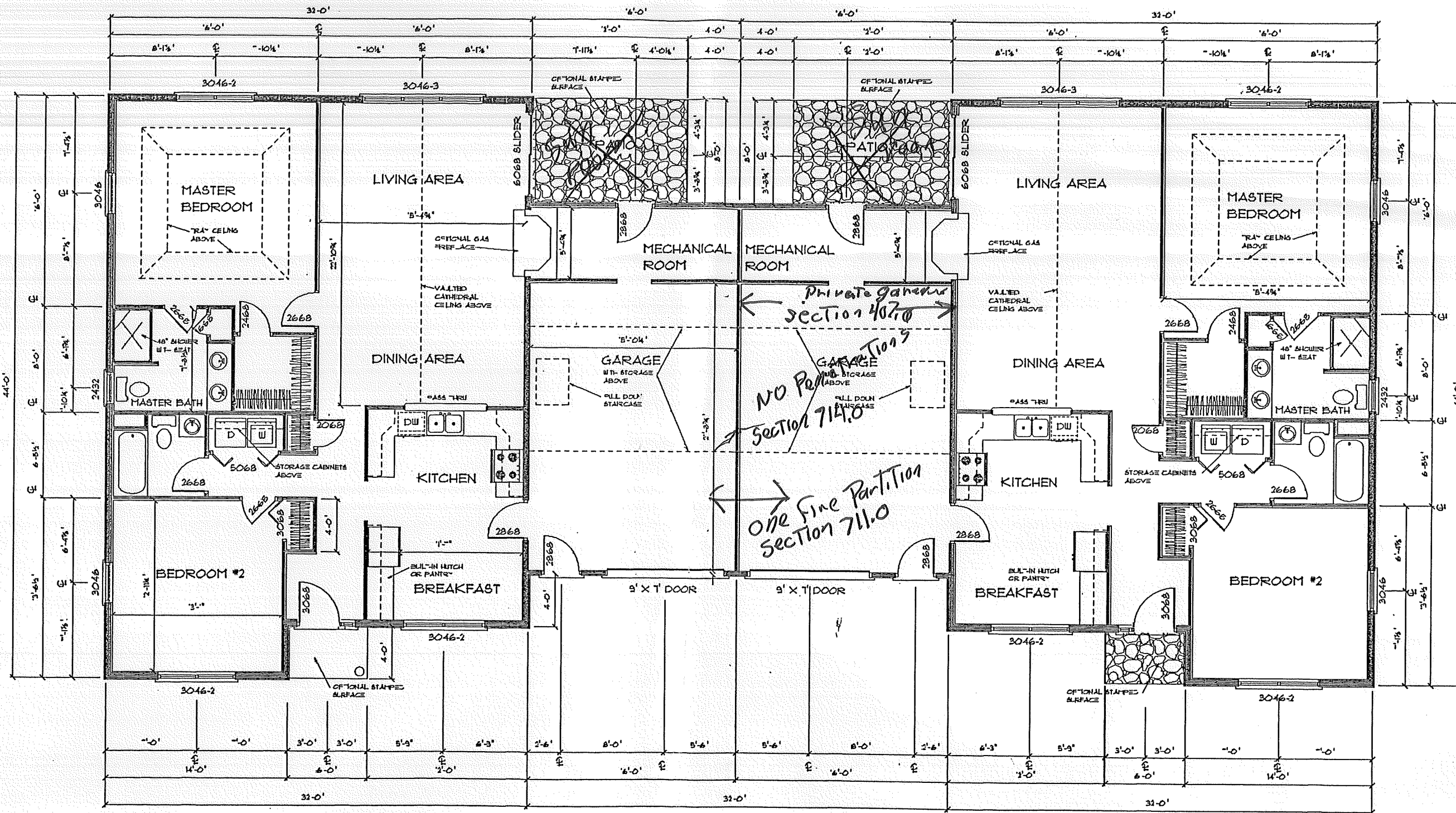
JANDIE DEVELOPMENT CORPORAION
2 FLINTLOCK LANE
FALMOUTH MAINE 04105



JANDIE DEVELOPMENT CORPORAION

2 FLINTLOCK LANE
FALMOUTH MAINE 04105

With SUNROOM



ROOF SYSTEM:

ASPHALT ROOF SHINGLES
 6" GALVANIZED DRIP EDGE
 ROOF SHEATHING WITH CLIPS
 MANUFACTURED TRUSSES 24" O.C.
 CONTINUOUS RIDGE VENT
 R-30 INSULATION
 PROPER VENTS AS REQUIRED
 STRAPPING 16" O.C.
 1/2" DRYWALL

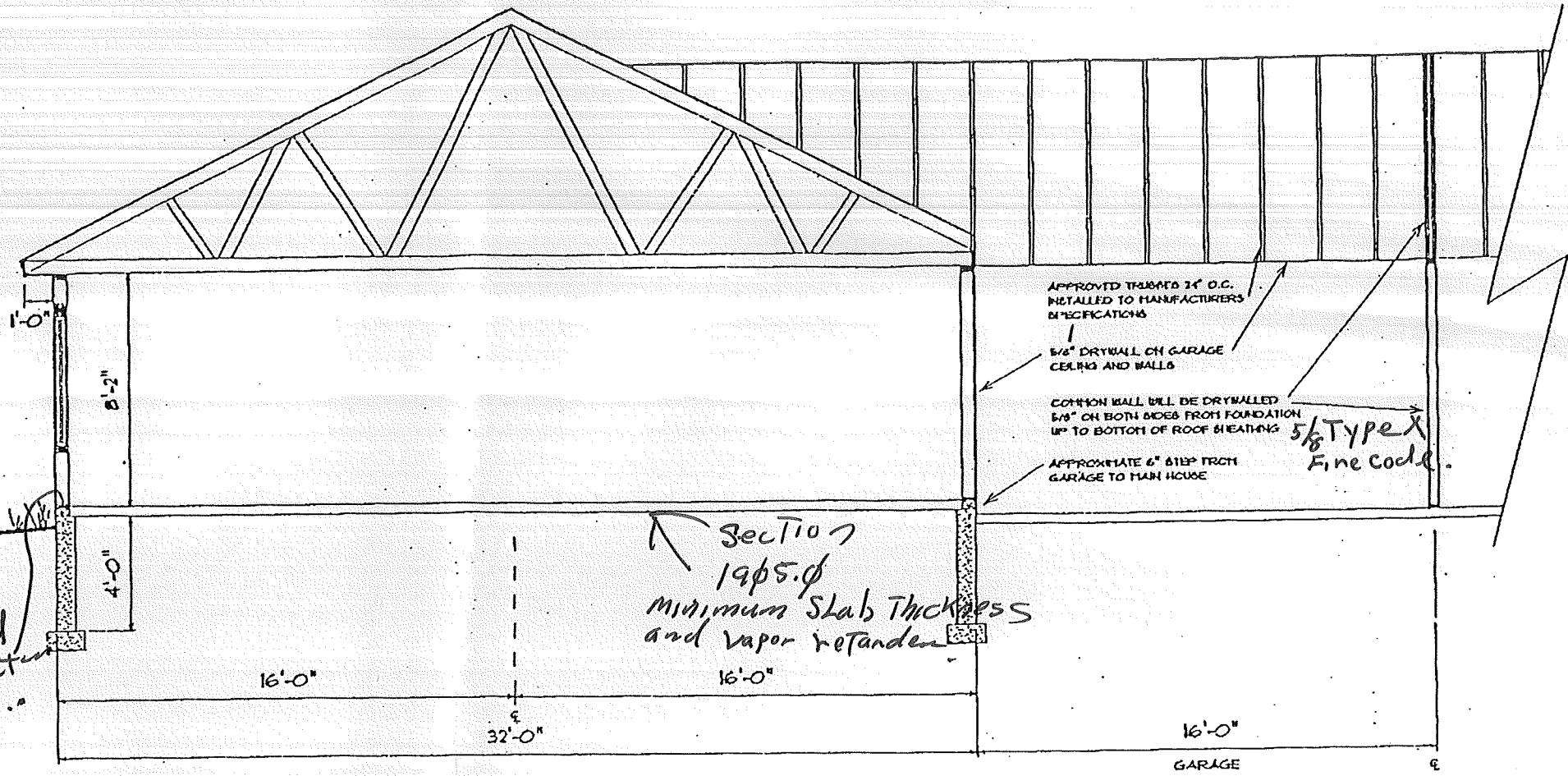
EXTERIOR WALLS:

PT 4 X 6 BILL PLATE
 HEADERS BUILT UP 2X6
 VINYL SIDING
 VINYL BOFFIT VENT
 HOUSEWRAP
 1/2" OSB SHEATHING
 2 X 6 STUDS 16" O.C.
 R-13 KRAFT FACED INSULATION
 1/2" DRYWALL

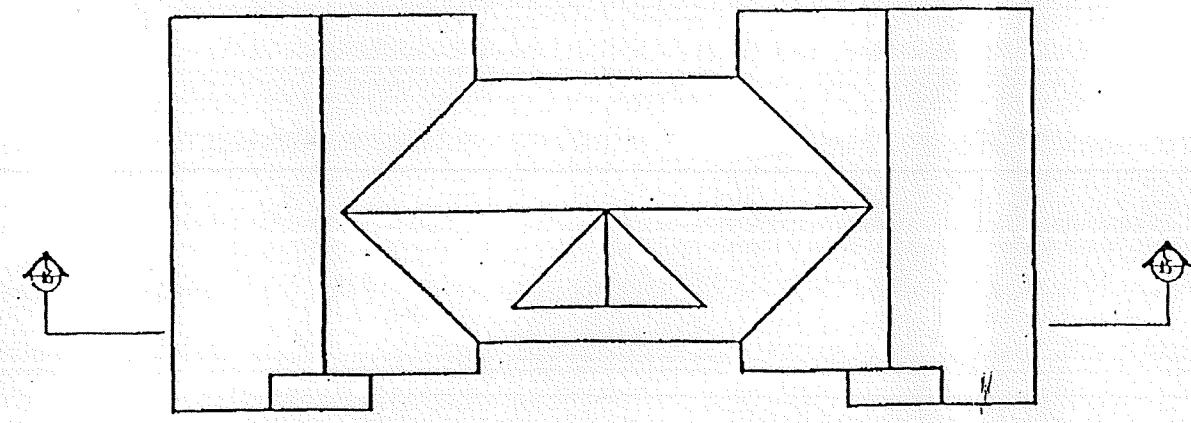
INTERIOR WALLS:

2 X 4 16" O.C.
 1/2" DRYWALL

*Framing
 within 6" of ground
 shall comply with section
 2311.0 of the BC.*

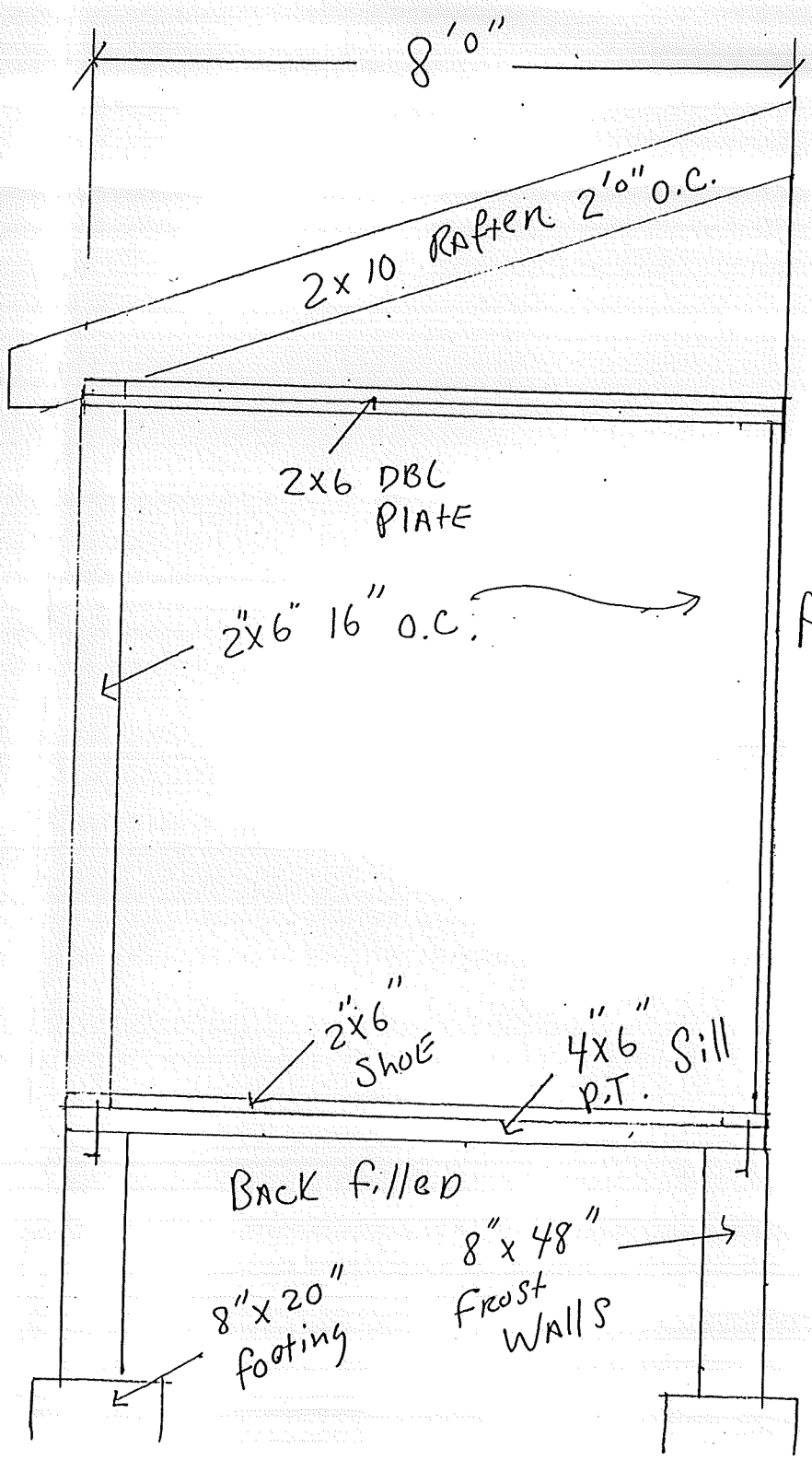
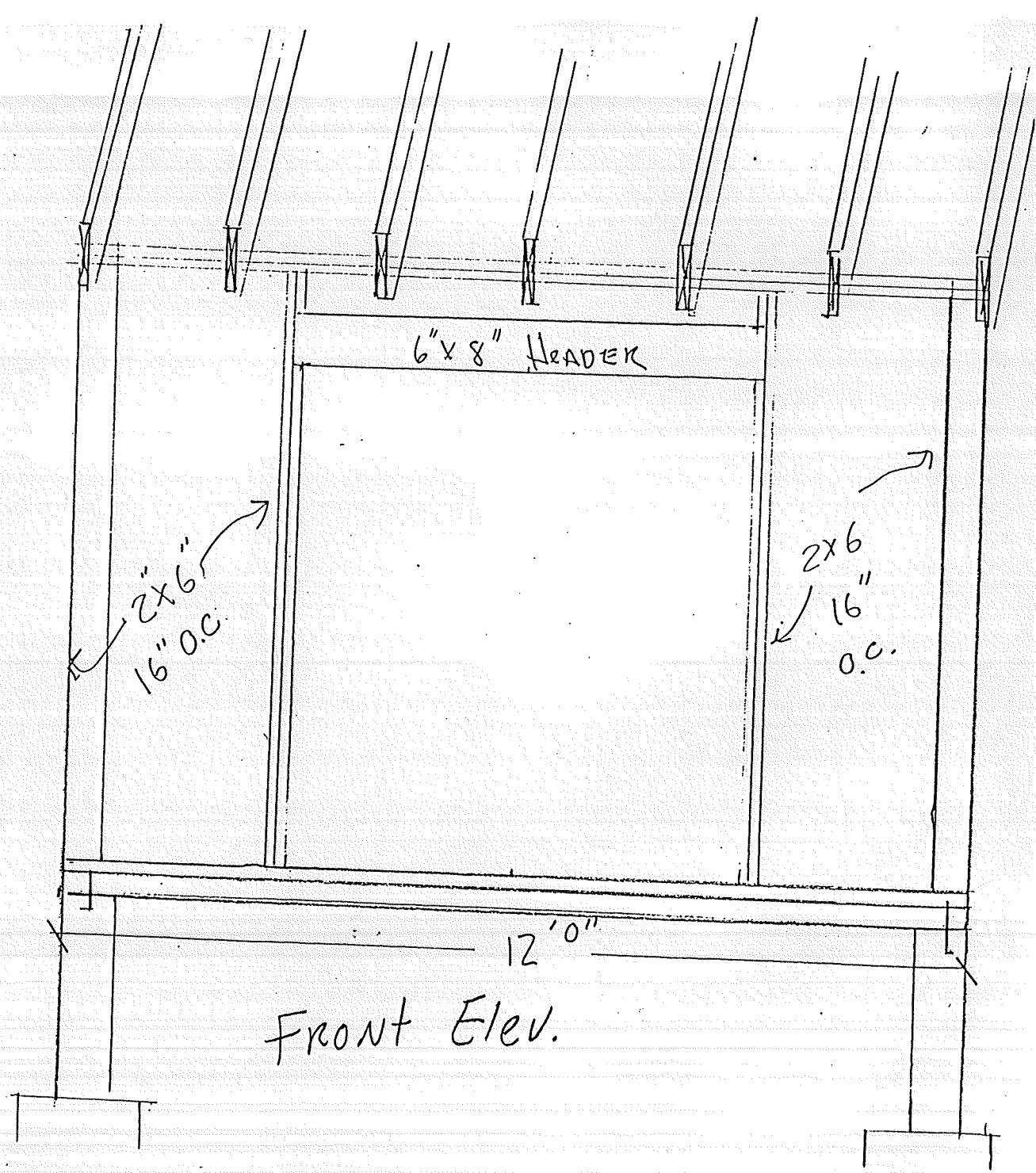


SECTION A



APPROXIMATE LOCATION OF CROSS SECTION

JANDIE DEVELOPMENT CORP		A1
MEADOW RIDGE	DATE: 9/17/99	
CONSTRUCTION DOCUMENTS	SCALE: 1/4"=0"	
CROSS SECTION	DRAWN BY: MR	
APPROVED BY:	DATE:	
APPROVED BY:	DATE:	



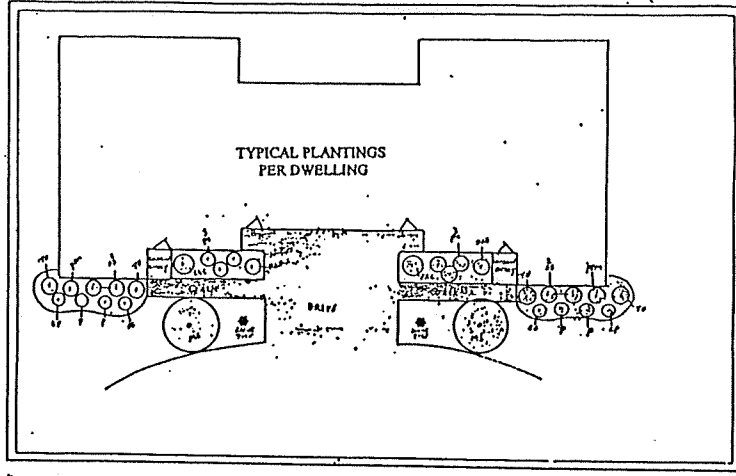
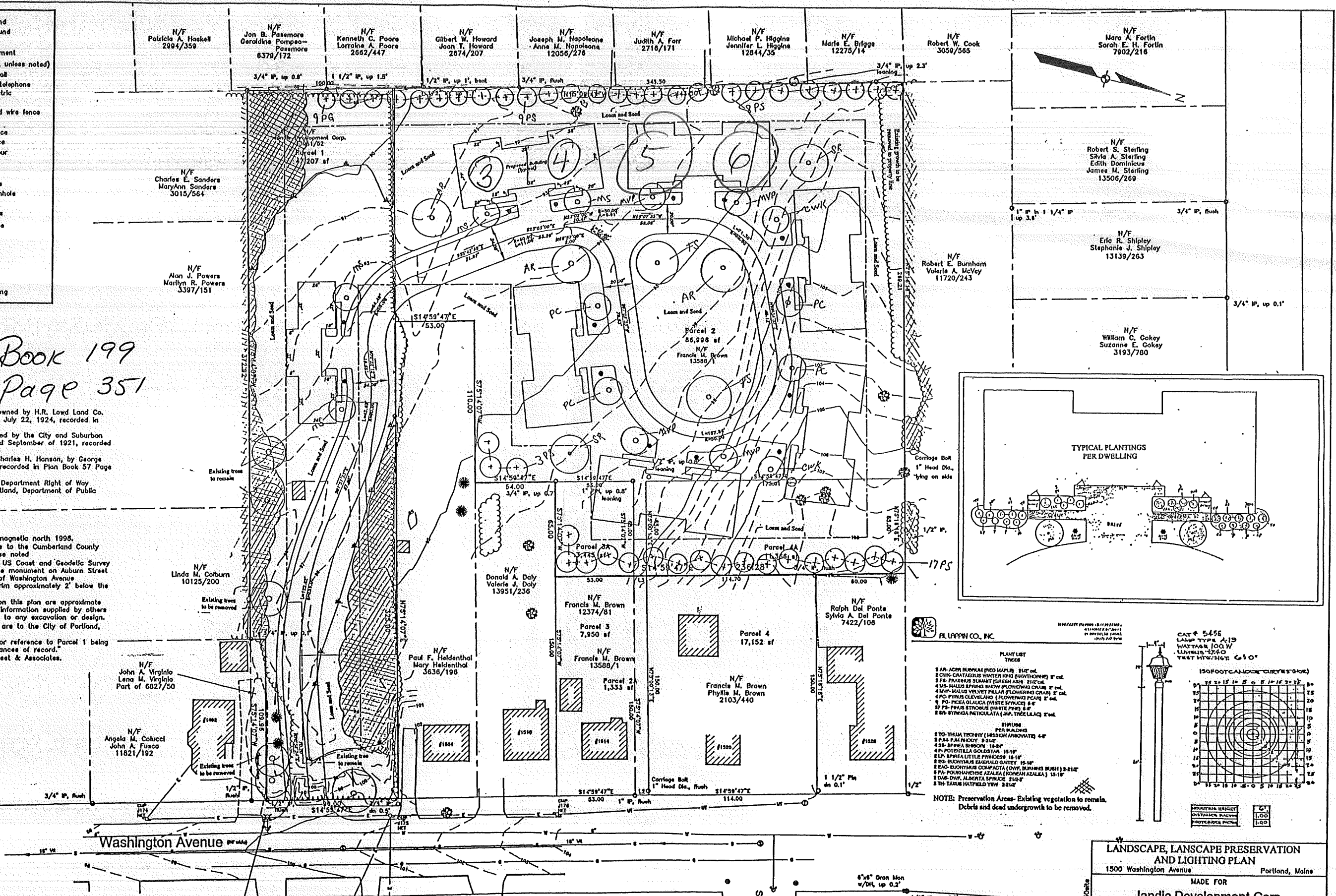
Side Elev.

LEGEND	
○	Iron pipe found
□	Monument found
—	Utility pole
—	Edge of pavement
—	Curb (granite, unless noted)
—	Wood guard rail
—	Underground telephone
—	Overhead electric
—	Water line
—	Wire & barbed wire fence
—	Sewer line
—	Chain link fence
—	Stockade fence
—	Existing contour
□	Catch basin
○	Water valve
○	Sewer Manhole
○	Telephone Manhole
○	Fire hydrant
○	Deciduous tree
○	Coniferous tree
○	Shrub
—	Guy wire
—	Welland flag
—	Sign
•	Spot elevation
▨	Existing building

BOOK 199
PAGE 351

- References**
1. Plan of Portland Highlands owned by H.R. Lowd Land Co. Inc., by Ernest W. Branch, dated July 22, 1924, recorded in Plan Book 18 Page 10.
 2. Plan of the Holmsteads owned by the City and Suburban Land Trust, by E.C. Jordan, dated September of 1921, recorded in Plan Book 14 Page 70.
 3. Plan of Hanson Manor for Charles H. Hanson, by George Wheaton, dated March of 1961, recorded in Plan Book 57 Page 69.
 4. City of Portland Engineering Department Right of Way Plans, on file at the City of Portland, Department of Public Works.

- Notes**
1. Bearings are referenced to magnetic north 1995.
 2. Book and Page references are to the Cumberland County Registry of Deeds unless otherwise noted.
 3. Elevations are based on the US Coast and Geodetic Survey 1929 Datum. Benchmark Granite monument on Auburn Street at second angle point northerly of Washington Avenue (Monument is inside a manhole rim approximately 2' below the sidewalk). Elevation: 95.80'.
 4. Locations of utilities shown on this plan are approximate based on field observations and information supplied by others and should be field verified prior to any excavation or design.
 5. Tax Map and Lot references are to the City of Portland, Maine.
 6. See Book 13961, Page 52 for reference to Parcel 1 being "subject to any and all appurtenances of record."
 7. Wetlands mapped by R.A. Sweet & Associates.



PLANT LIST

TREES

- 2 ACER MONSIEUR (RED MAPLE) 3 1/2" cal.
- 2 CORYLUS CORNUTA (WATER HAZEL) 2" cal.
- 2 FRAXINUS AMARUM (GREEN ASH) 2 1/2" cal.
- 4 LIRIODENDRON (YELLOW FLORIDING CHERRY) 2" cal.
- 4 NYCTAGINIA (WAXY FLOWERING CHERRY) 2" cal.
- 4 PC-PYRUS CLEVELAND (FLOWERING PEAR) 2" cal.
- 4 PO-PIRUS GLAUCA (WHITE SPURCH) 2" cal.
- 2 PR-PRUNUS STENOBLA (WHITE PEAR) 2" cal.
- 2 PR-PRUNUS METOCULATA (W.P. TREE LILAC) 2" cal.

SHRUBS

- 2 TO-TILIA TERRY (LASSON ARBOVITE) 4"
- 2 PA-PAN-PANODY 2 1/2"
- 4 SB-SPREA BRUNDA 18-24"
- 4 PO-POSTELLA GOLDSTAR 15-18"
- 2 LP-SPREA LITTLE PRINCESS 15-18"
- 2 RB-RHOXYTHUS EMERALD GATEWAY 15-18"
- 2 EB-ERANTHERIS COMPACTA (DWARF BURNING BUSH) 2 1/2"
- 2 PA-POUNCEWELL AZALEA (HONOLULU AZALEA) 15-18"
- 2 DA-DAW. ALBERTA SPRUCE 2 1/2"
- 2 TR-TILIA HATFIELD YEW 2 1/2"

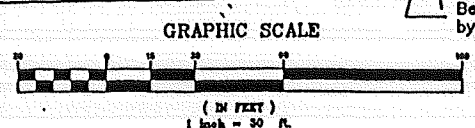
PER BUILDING

- 2 TO-TILIA TERRY (LASSON ARBOVITE) 4"
- 2 PA-PAN-PANODY 2 1/2"
- 4 SB-SPREA BRUNDA 18-24"
- 4 PO-POSTELLA GOLDSTAR 15-18"
- 2 LP-SPREA LITTLE PRINCESS 15-18"
- 2 RB-RHOXYTHUS EMERALD GATEWAY 15-18"
- 2 EB-ERANTHERIS COMPACTA (DWARF BURNING BUSH) 2 1/2"
- 2 PA-POUNCEWELL AZALEA (HONOLULU AZALEA) 15-18"
- 2 DA-DAW. ALBERTA SPRUCE 2 1/2"
- 2 TR-TILIA HATFIELD YEW 2 1/2"

NOTE: Preservation Areas- Existing vegetation to remain. Debris and dead undergrowth to be removed.

Line Table

L1	S14°45'53"E	10.00
L2	S14°59'47"E	9.19
L3	S14°59'47"E	8.58



Benchmark: Bonnet nut on hydrant by "O" in "OPEN" - Elev. 101.89'

Area: 149,014 square feet
3.42 acres

Applicant: Jandle Development Corp.
2 Flinlock Lane
Falmouth, ME 04105

LANDSCAPE, LANSCAPE PRESERVATION AND LIGHTING PLAN
1500 Washington Avenue
Portland, Maine

MADE FOR
Jandle Development Corp.
2 Flinlock Lane
Falmouth, Maine

JOBB# 98050 DATE: 10/1/98 SCALE: 1"=30'

BOOK# 678
DISC# F05556
FILE# 7807

Pitcomb Associates
133 Gray Road
Falmouth, Maine 04105