

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

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|---|--|--|
| <div style="text-align: center; border: 2px solid black; padding: 5px;"> PERMIT ISSUED 02-0394 MAY 1 2002 CITY OF PORTLAND </div> | | CBL: 347 C038014 |
| Permit No: 02-0394 | Issue Date: MAY 1 2002 | Phone: 797-9534 |
| Owner Name: Jandie Development Corp | Owner Address: 2 Flintlock Ln | Phone: 2077979534 |
| Contractor Name: Jandie Development Corp. | Cost of Work: 2 Flintlock Lane Falmouth | Phone: 2077979534 |
| Lessee/Buyer's Name | Phone: | Permit Type: Multi Family Duplex |
| Past Use: Vacant Land | Proposed Use: 2 Condominium Units | Zone: R-3 PRUD |
| Permit Fee: \$723.00 | | Cost of Work: \$100,000.00 |
| FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied N/A | | INSPECTION: Use Group: R3 Type: SB BOCA 1999 |
| Proposed Project Description: Construct 2 Condominium Units | | Signature: |
| PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: Date: | | |

| | |
|-------------------------|---------------------------------|
| Permit Taken By: gad | Date Applied For: 04/17/2002 |
|-------------------------|---------------------------------|

| Zoning Approval | | |
|--|---|---|
| 1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. | Special Zone or Reviews <input type="checkbox"/> Shoreland N/A <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone panel 2C zone X <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan reviewed under original PRUD Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 4/26/02 | Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: |
| | | Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: |

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

| | | | |
|---|---------|------|-------|
| SIGNATURE OF APPLICANT | ADDRESS | DATE | PHONE |
| RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE | | DATE | PHONE |

Application ID Number: 2-0394

Department: Zoning

Status: Approved with Conditions

Reviewer: Marge Schmuckal

Comments: 69 & 70 Mugway Lane

Approval Date: 04/26/2002

Issue Date: 04/23/2002

2000 Code Projects Name: Marge Schmuckal Date: 04/26/2002

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Separate permits shall be required for future decks, sheds, pools, and/or garages.

NO DECKS INCLUDED WITH THE SUBMITTED PLANS. ANY FUTURE DECKS SHALL REQUIRE A SEPARATE PERMIT APPLICATION APPROVAL PRIOR TO CONSTRUCTION.

Created Date: 04/22/2002 By: gad Update Date: 04/26/2002 By: mes

Applicant:

De Rise

Date:

4/26/02

Address:

68⁺70 Mug Why Lane

C-B-L:

347-C-38

CHECK-LIST AGAINST ZONING ORDINANCE

Date -

NEW

permit # 02-0394

Zone Location -

R-3 PRUD

Interior of corner lot -

Proposed Use/Work -

construct 2 unit bldg # 13^{units}, 14[#] called 68⁺70 Mug Why

Sewage Disposal -

City

Lot Street Frontage -

50' OK -

Front Yard -

① min bldg setback from external subdivision prop. Lines = 25' req 25' shown

Rear Yard -

② min dist. between detached PRUD dwelling units

Side Yard -

16' required - 23' shown

Projections -

③ recreation areas shall be located at least 25' from dwelling units - OK

Width of Lot -

Height -

1 story - OK - 35' MAX

Lot Area -

PRUD

Lot Coverage/ Impervious Surface -

Area per Family -

Off-street Parking -

2 per each unit - total 4 - OK

Loading Bays -

N/A

Site Plan -

Already reviewed under PRUD

Shoreland Zoning/ Stream Protection -

N/A

Flood Plains -

Panel 2C - Zone X

020394

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

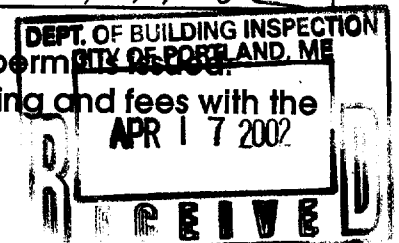
| | | |
|--|---|--|
| Location/Address of Construction: <u>68-70 Mugwhy Lane</u> | | |
| Total Square Footage of Proposed Structure <u>1494</u> | Square Footage of Lot <u>PRUD</u> | |
| Tax Assessor's Chart, Block & Lot Chart# <u>347</u> Block# <u>C</u> Lot# <u>38</u> | Owner: <u>JANDIE DEVELOPMENT CORP</u> | Telephone: <u>797-9534</u> |
| Lessee/Buyer's Name (If Applicable) <u>347-C-0380013114</u> | Applicant name, address & telephone: <u>JANDIE DEVELOPMENT</u> | Cost Of Work: \$ <u>100,000</u> Fee: \$ <u>103-</u> |
| Current use: _____ | | |
| If the location is currently vacant, what was prior use: <u>LAND</u> | | |
| Approximately how long has it been vacant: <u>FOREVER</u> | | |
| Proposed use: <u>2 unit condos PRUD</u> | | |
| Project description: _____ | | |
| Contractor's name, address & telephone: _____ | | |
| Who should we contact when the permit is ready: <u>JANDIE Development Corp</u> | | |
| Mailing address: <u>2 FLINTLOCK LANE PALMOUTH, ME. 04105</u> | | |
| We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>797-9534</u> | | |

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

| | |
|--|-----------------------|
| Signature of applicant: <u>Julie K. K...</u> | Date: <u>04-17-02</u> |
|--|-----------------------|

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or ~~874-8695~~ to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

done **Footing/Building Location Inspection:** Prior to pouring concrete

done **Re-Bar Schedule Inspection:** Prior to pouring concrete

done **Foundation Inspection:** Prior to placing ANY backfill

Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling

Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

_____ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

X 
Signature of applicant/designee

Date

5/2/02

Signature of Inspections Official

Date

CBL: 347 6038 Building Permit #: 02 0394

askell
19

N/F
Jon B. Passmore
Geraldine Pompeo-
Passmore
6379/172

N/F
Kenneth C. Poore
Lorraine A. Poore
2662/447

N/F
Gilbert W. Howard
Joan T. Howard
2674/207

N/F
Joseph M. Napoleone
Anne M. Napoleone
12056/276

N/F
Judith A. I
2716/17

3/4" IP, up 0.9'

1 1/2" IP, up 1.5'

1/2" IP, up 1', bent

3/4" IP, flush

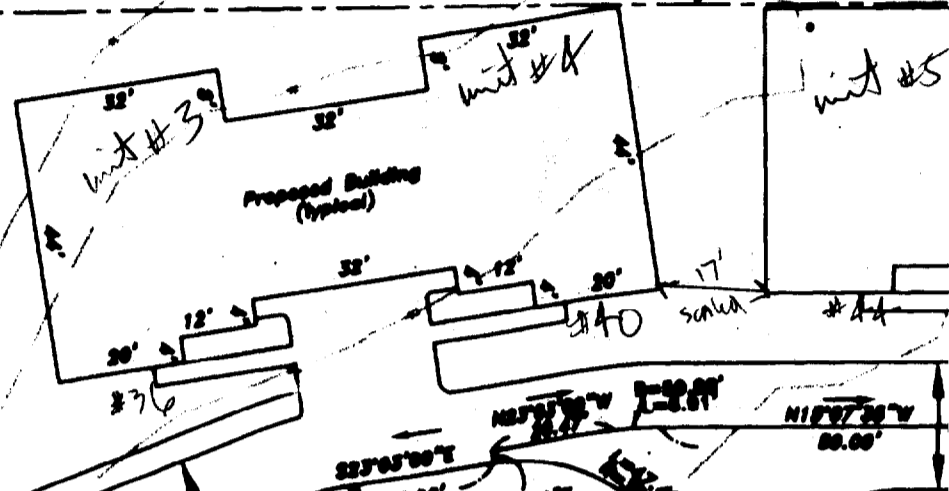
343.50

1 1/2" IP, up 1.1'

N15°09'47"W
16' wide
Drainage Easement

N/F
Jandle Development Corp.
13961/52
Parcel 1
47,207 sf

F
Sanders
Sanders
/564



S75°14'07"W
372.92

S75°14'07"W
158.21

S14°59'47"E
53.00

S75°14'07"W
110.00

N/F
J. Powers
n R. Powers
397/151



Magnolia Lane

S14°59'47"E
54.00
3/4" IP, up 0.7'

N, up 0.8'
leaning

Parcel 3A
3,445 sf

N/F
Donald A. Daly
Valerie J. Daly
13951/236

N/F
Francis M. Brown
12374/81

Parcel 3
7,950 sf

N/F
Francis M. Brown
13588/1

N/F
Paul F. Heidenthal
Mary Heidenthal
3636/196

Parcel 2A
1,333 sf

N/F
M. Colburn
125/200

3/4" IP, up 0.1'



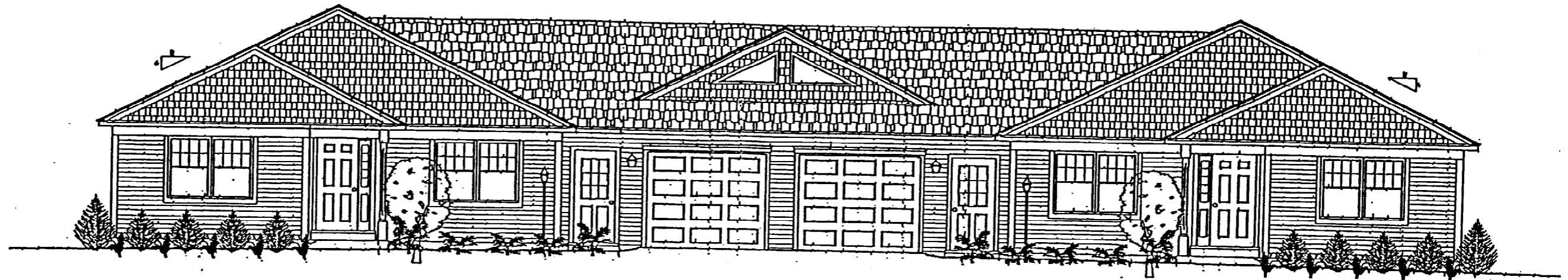
N75°14'07"E
325.00

S75°14'07"W
65.00

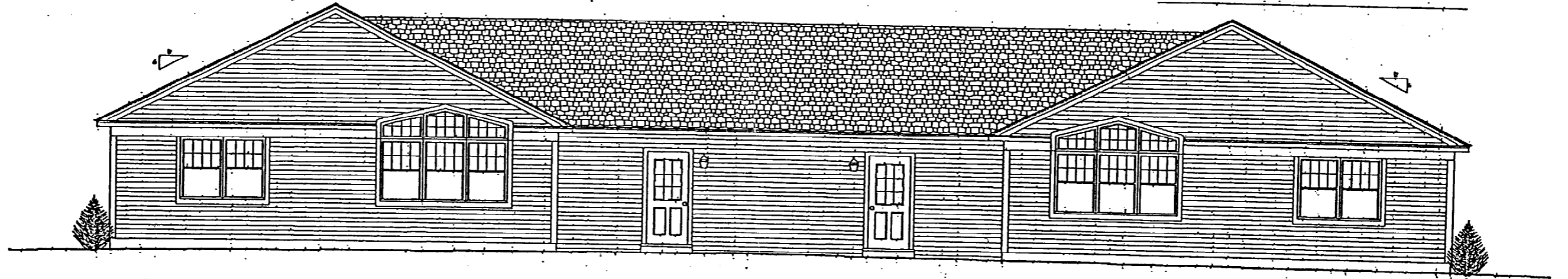
S75°14'07"W
150.00

S14°59'

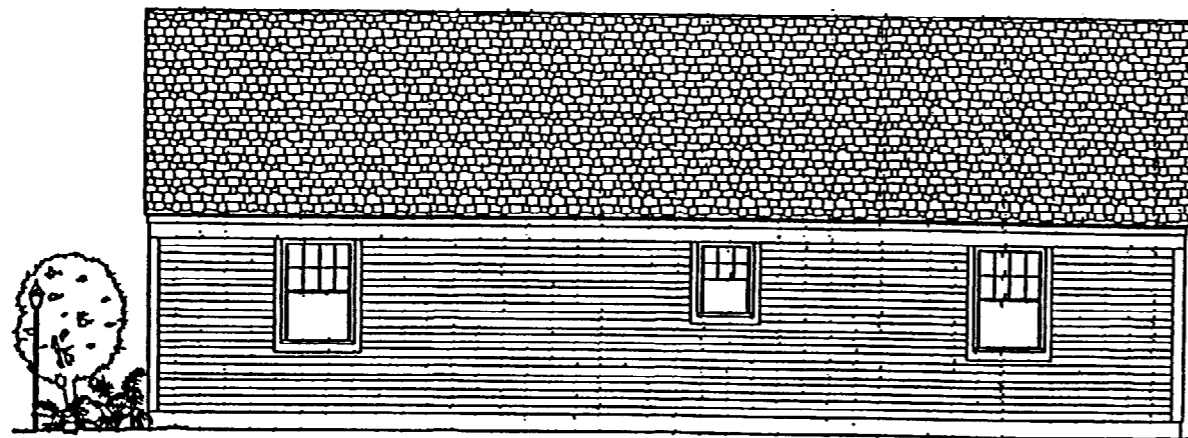
N75°00'13"



MAIN ELEVATION

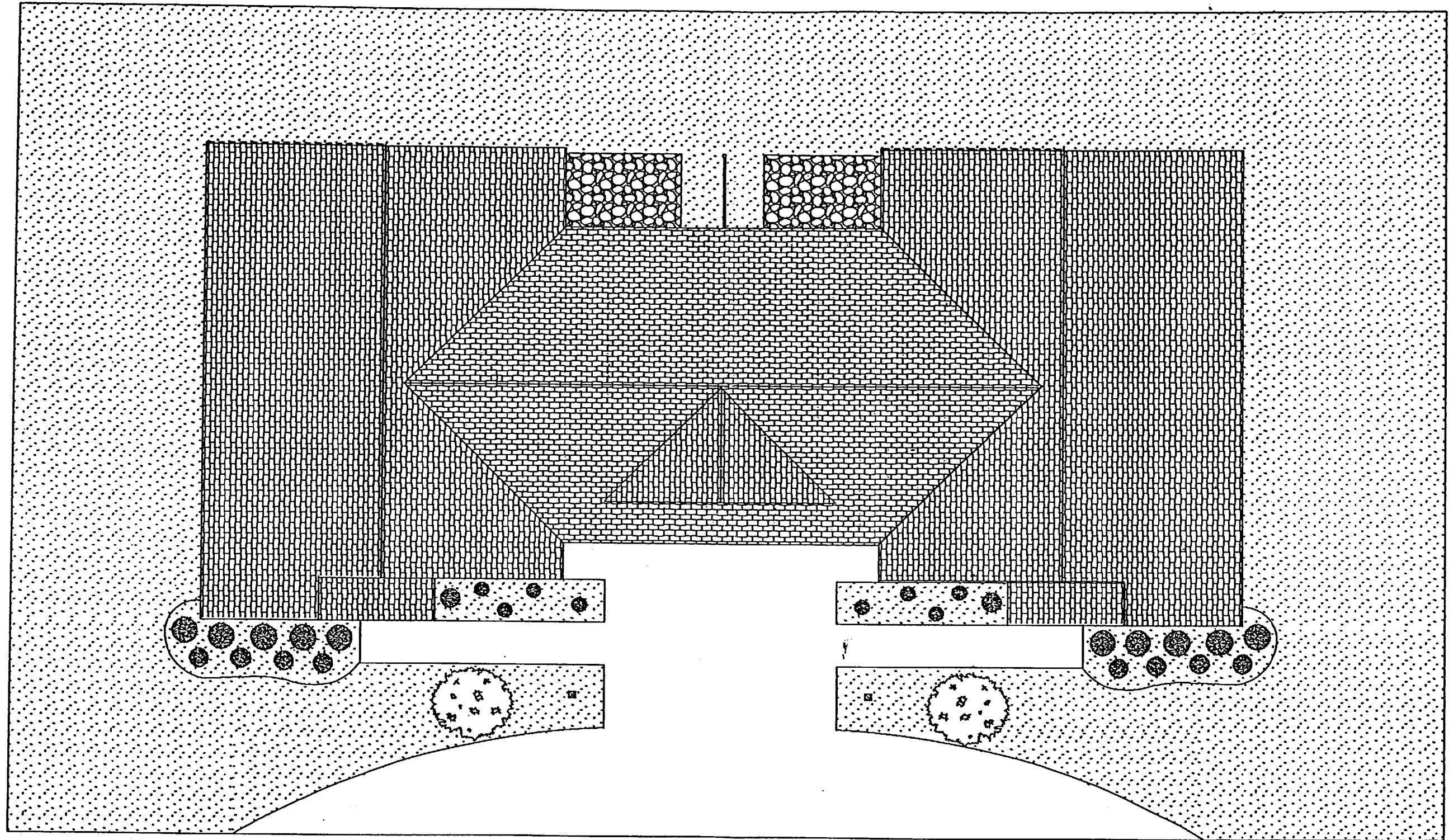


REAR ELEVATION



SIDE ELEVATION

JANDIE DEVELOPMENT CORPORAION
2 FLINTLOCK LANE
FALMOUTH MAINE 04105



JANDIE DEVELOPMENT CORPORAION

2 FLINTLOCK LANE
FALMOUTH MAINE 04105

ROOF SYSTEM:

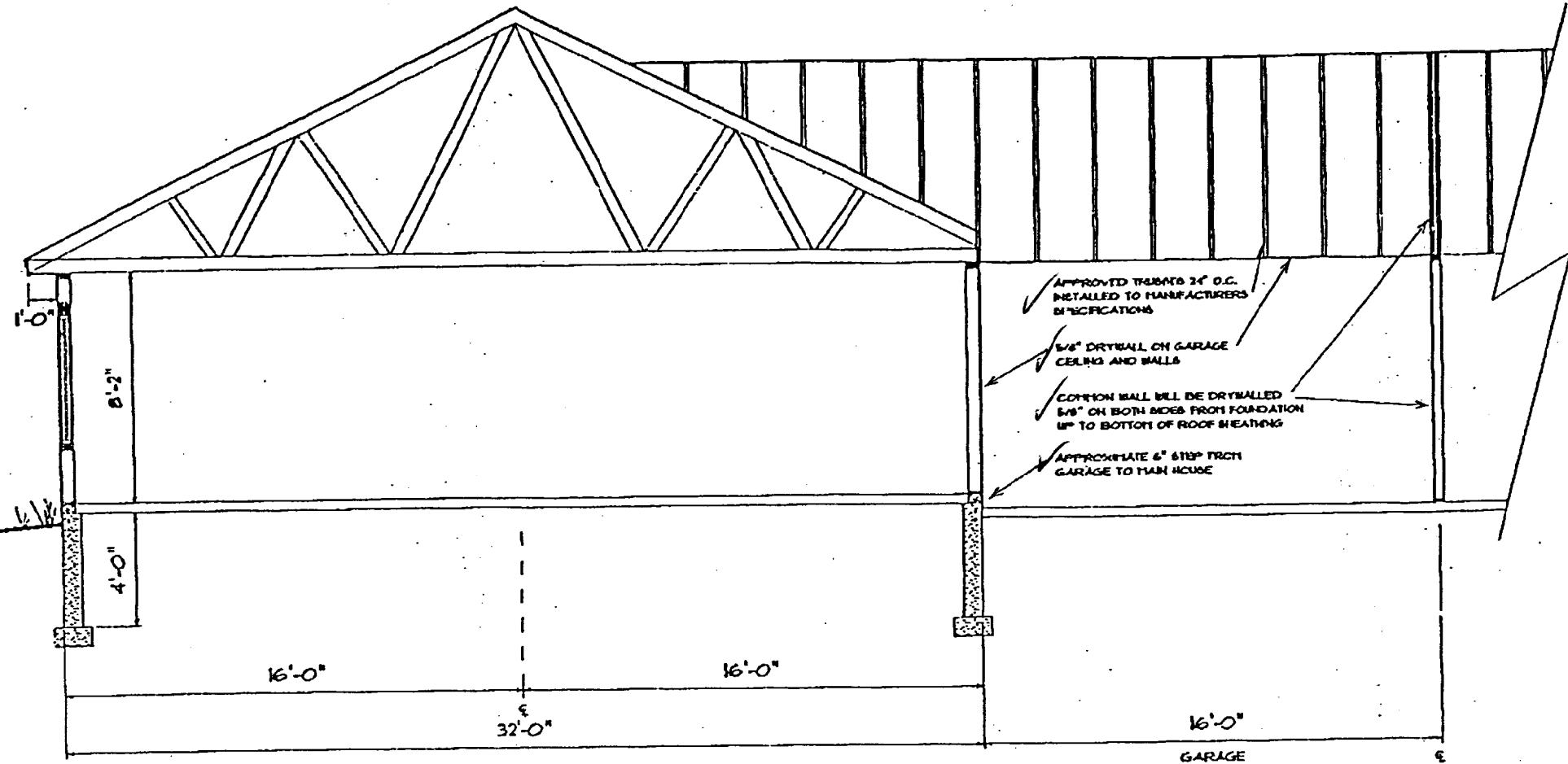
- ✓ ASPHALT ROOF SHINGLES
- ✓ 6" GALVANIZED DRIP EDGE
- ✓ ROOF SHEATHING WITH CLIPS
- ✓ MANUFACTURED TRUSSES 24" O.C.
- ✓ CONTINUOUS RIDGE VENT
- ✓ R-30 INSULATION
- ✓ PROPER VENTS AS REQUIRED
- ✓ STRAPPING 16" O.C.
- ✓ 1/2" DRYWALL

EXTERIOR WALLS:

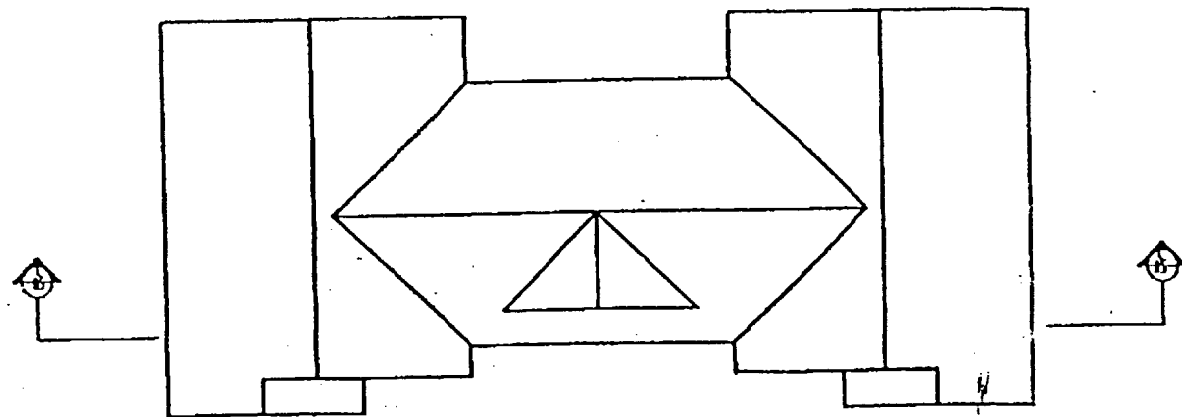
- ✓ PT 4 X 6 BOLL PLATE
- ✓ HEADERS BUILT UP 2X6
- ✓ VINYL SIDING
- ✓ VINYL SOFFIT VENT
- ✓ HOUSEWRAP
- ✓ 1/2" OSB SHEATHING
- ✓ 2 X 6 STUDS 16" O.C.
- ✓ R-15 KRAFT FACED INSULATION
- ✓ 1/2" DRYWALL

INTERIOR WALLS:

- ✓ 2 X 4 16" O.C.
- ✓ 1/2" DRYWALL

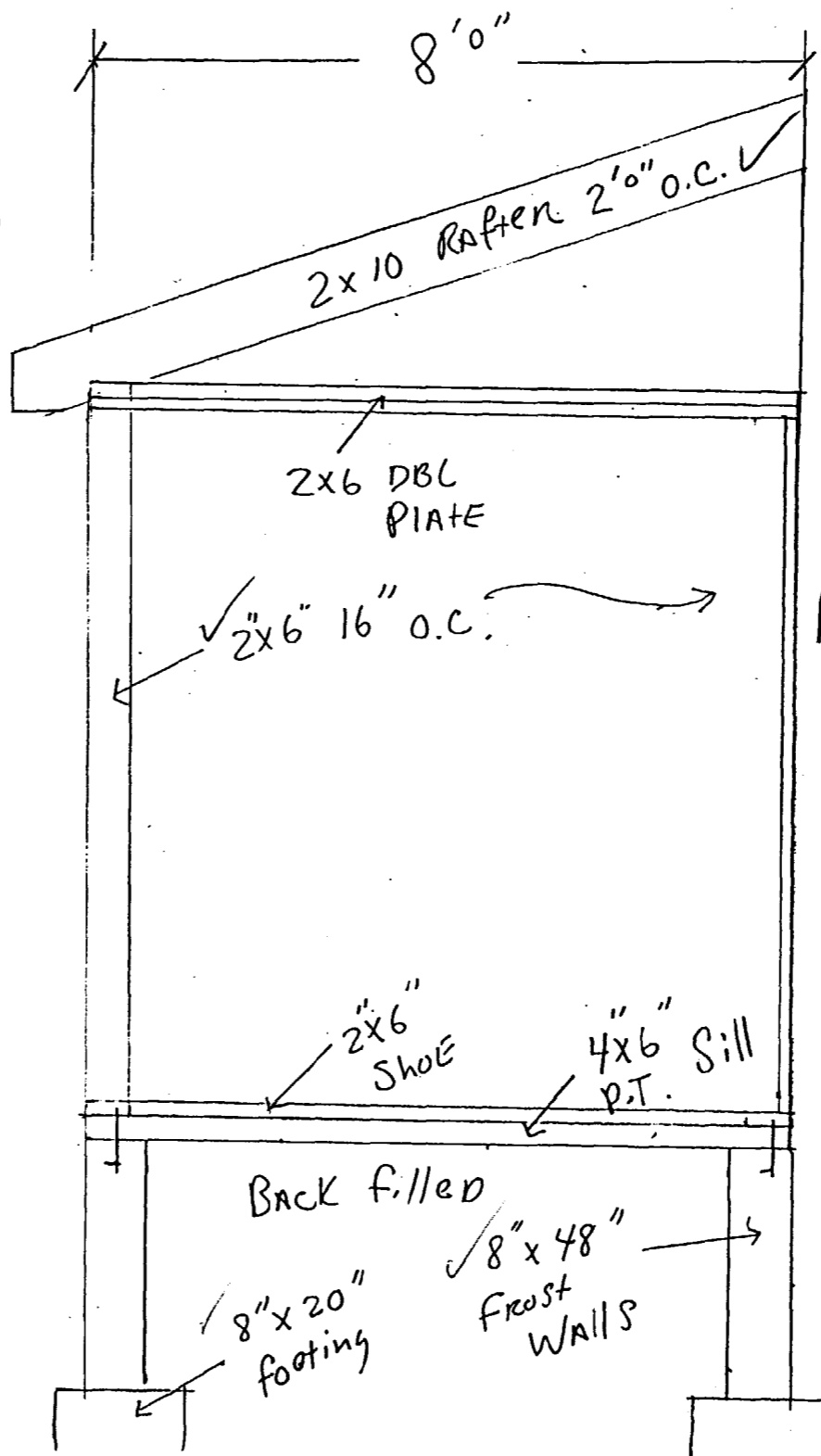
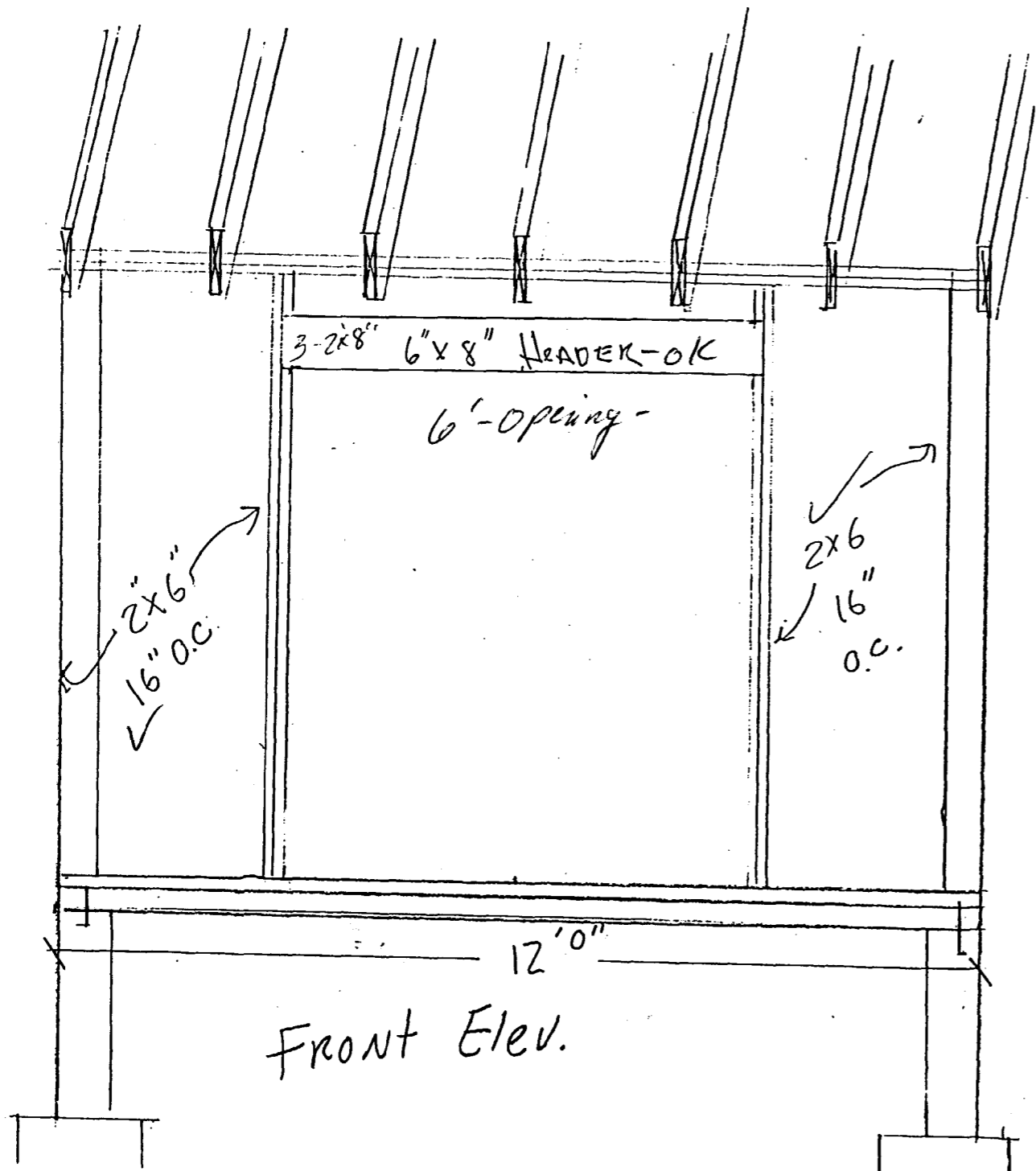


SECTION A



APPROXIMATE LOCATION OF CROSS SECTION

| | | |
|--------------------------------|----------------|----------------|
| JANDIE DEVELOPMENT CORP | | A1 |
| MEADOW RIDGE | DATE: 9/17/99 | |
| CONSTRUCTION DOCUMENTS | SCALE: 1/4"=0" | DATE: DATE: |
| CROSS SECTION | DRAWN BY: MR | |
| APPROVED BY: | | |
| APPROVED BY: | | |



SIDE ELEV.

SUNROOM

