

**PERMIT ISSUED**

**City of Portland, Maine - Building or Use Permit Application**  
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 01-0782	Issue Date: 11/1/2001	CBL: 347 C038011
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Location of Construction: 62 Mugwhy Ln	Owner Name: Jandie Development Corp	Owner Address: 2 Flintlock Ln	Phone: 207-797-9534
Business Name: n/a	Contractor Name: Jandie Development Corp.	Contractor Address: 2 Flintlock Lane Falmouth	Phone: 2077979534
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Multi Family	Zone: R-3 PRUD

Past Use: Vacant Lot	Proposed Use: New 2- Unit Condo Complex. Call Jandie Dev. At 797-9534 when ready.	Permit Fee: \$624.00	Cost of Work: \$100,000.00	CEO District: 2
Proposed Project Description: Build a 2 Unit Condo Complex <i>foundation permit already issued</i>		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: <i>Sec. 310.</i> Use Group: <i>A-3</i> Type: <i>53</i>	

Signature:		<b>PERMIT ISSUED WITH REQUIREMENTS</b>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
Signature:		Date:	

Permit Taken By: cjh	Date Applied For: 06/28/2001	<b>Zoning Approval</b>	
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>ok 7/9</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
	<i>foundation already in this for the big const</i>		

**PERMIT ISSUED WITH REQUIREMENTS**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 62 and 64 Mugwhy Lane

Total Square Footage of Proposed Structure	Square Footage of Lot <u>PRUD</u>
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Tax Assessor's Chart, Block & Lot Chart# <u>347</u> Block# <u>C</u> Lot# <u>38</u>	Owner: <u>JANDIE Development CORP.</u>	Telephone: <u>797-9534</u>
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Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>SANDIE DEVELOPMENT</u>	Cost Of Work: <u>\$ 100,000.-</u> Fee: <u>\$ 624.<sup>00</sup></u>
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Current use: \_\_\_\_\_

If the location is currently vacant, what was prior use: LAND

Approximately how long has it been vacant: forever

Proposed use: to live there / 2 unit condo

Project description:

Contractor's name, address & telephone:

Who should we contact when the permit is ready: SANDIE Development CORP

Mailing address: 2 Flintlock Lane  
FALMOUTH, ME. 04105 Phone: 797-9534

**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: <u>Julie</u>	Date: <u>6-28-01</u>
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**This is not a permit, you may not commence ANY work until the permit is issued**

**CITY OF PORTLAND, ME  
BOCA 1999 Plan Review Record  
One and Two Family Dwelling**

Valuation: \$100,000.00 Plan Review # \_\_\_\_\_

Fee: \$624.00 Date: 3 July 2001

Building Location: 62164 ~~3~~ Mugwhy Ln CBL: 347-C-030

Building Description: To Construct a 2 Family Dwelling (Condo)

Reviewed By: S. Hoffses

Use or Occupancy: R-24 Type of Construction: 5.B

Numerals indicated in parenthesis are applicable code sections of the 1999 Edition of the BOCA National Building Code. The plan review accomplished as indicated in this record is limited to those code sections specifically identified herein. This record references commonly applicable code sections with due regard for the amount and type of detailed information which is typically found on construction documents for one and two family dwellings. It does not reference all code provisions, which may be applicable to specific buildings. This record is designed to be used only by those who are knowledgeable and capable of exercising competent judgment in evaluating construction documents for code compliance.

\*NR: Not Required      NA: Not Applicable      SR: See Report      X: OK per plan

Correction List		
NO:	Description	Code Section
1.	All site plan and building code requirements shall be completed before a certificate of occupancy can or will be issued.	111.0 118.0
2.	<del>Before placing concrete for foundation you shall call for a setback inspection</del>	<del>111.0</del>
3.	Foundation drains shall comply with section 1813.5.2	1813.5.2
4.	Foundation anchors shall comply with section 2305.17	2305.17
5.	Waterproofing & damp proofing shall comply with section 1813.0	1813.0
6.	Private garages shall comply with section 407.0	407.0
7.	Chimneys and vents shall comply with NFPA 211	NFPA 211
8.	Sound transmission control shall comply with section 1214.0	1214.0
9.	Sleeping room egress or rescue windows shall comply with section 1010.4	1010.4
10.	Smoke detectors shall comply with section 920.3.2	920.3.2
11.	Ventilation and access shall comply with sections 1210.0 & 1211.0	1210.0 1211.0
12.	Bldg. elements shall fastening shall comply with section Table	Table 2305.2

REV: PSH 6/16/01



BUILDING PERMIT REPORT

DATE: 3 July 2001 ADDRESS: 62-64 Mugwhay Ln. (conts 11 1/2) OBL: 347-C-038

REASON FOR PERMIT: To Construct a 2 Family dwelling (condo)

BUILDING OWNER: Jundie Development Corp.

PERMIT APPLICANT: /CONTRACTOR SAO

USE GROUP: R-4 CONSTRUCTION TYPE: 5B CONSTRUCTION COST: 100,000. PERMIT FEES: 62400

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

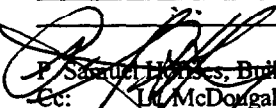
This permit is being issued with the understanding that the following conditions shall be met: \*1, \*2, \*3, \*4, \*5, \*8, \*9, \*10, \*16, \*20, \*27, \*28, \*29, \*30, \*33, \*34, \*35, \*36, \*38

- \*1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
\*2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained.
\*3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
\*4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts.
\*5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete and masonry.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
\*8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
\*9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
\*10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
12. Headroom in habitable space is a minimum of 7'6".
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/4" maximum rise.
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
15. The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less than 36".
\*16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
17. Each apartment shall have access to two (2) separate, remote and approved means of egress.
18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's.
19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment.

6/29

- X 20. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
  - In the immediate vicinity of bedrooms
  - In all bedrooms
  - In each story within a dwelling unit, including basements
- 21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
- 22. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
- 23. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
- 24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
- 25. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
- X 27. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
- X 28. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
- X 29. All requirements must be met before a final Certificate of Occupancy is issued.
- X 30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
- X 31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
- 32. Please read and implement the attached Land Use Zoning report requirements.
- X 33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
- X 34. Bridging shall comply with Section 2305.16.
- X 35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
- X 36. All flashing shall comply with Section 1406.3.10.
- 37. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).

X 38. Section 310.6 of the bldg. Code requires that use group R-2 states the two dwelling units shall be separated from each other by wall and/or floor assemblies of not less than 1-hour fire-resistive rating. Fire-resistive-rated floor-ceiling and wall assemblies shall extend to and be tight against and exterior wall, and wall assemblies shall extend to the underside of the roof sheathing.

  
 P. Samuel Hennes, Building Inspector  
 cc: Lt. McDougall, PFD  
 Marge Schmuckal, Zoning Administrator  
 Michael Nugent, Inspection Service Manager

PSH 10/100

**\*\*This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.**

**\*\*\*THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. ( You Shall Call for Inspections )**

**\*\*\*\*ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.**

**\*\*\*\*\*CERTIFICATE OF OCCUPANCY FEE \$50.00**

Applicant: Jandrie Development Corp Date: 7/9/01  
Address: ~~62-64~~ Mugwhy (unit #11 & 12) B-L: 347-C-038

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-3 PRUD

Interior or corner lot -

Proposed Use/Work -

construct 2 unit Bldg unit #11 & 12  
foundation already in - This

Sewage Disposal - city

Lot Street Frontage - 50' ok

Front Yard - (1) min. bldg setback from external subdivision property lines: 25' req - 25' shown  
is for the bldg construction

Rear Yard - (2) min. dist between detached PRUD dwelling units: 16' req

Projections - (3) recreation areas shall be located at least 25' from dwelling units

Width of Lot -

Height - 1 story shown

Lot Area -

Lot Coverage/ Impervious Surface -

Area per Family -

Off-street Parking - 2 each for each unit - ok

Loading Bays - N/A

Site Plan - already reviewed

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 2C - Zone X

## Foundations (Chapter 18)

### Wood Foundation (1808)

~~NA~~ Design  
~~NA~~ Installation

### Footings (1807.0)

~~X~~ Depth below (outside) grade 4' minimum;  
but below frost line except for insulated footings.  
~~NA~~ Insulated footing provided  
~~X~~ Soil bearing value (table 1804.3)  
~~X~~ Footing width  
~~X~~ Concrete footing (1810.0) .3.1, 3.2  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

### Foundation Walls

~~X~~ Design (1812.1)  
~~X~~ Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2)  
~~SA~~ Water proofing and damp proofing Section 1813  
~~X~~ Sill plate (2305.17)  
~~SA~~ Anchorage bolting in concrete (2305.17)  
~~X~~ Columns (1912)  
~~SA~~ Crawl space (1210.2) Ventilation  
~~SA~~ Crawl opening size (1210.2.1)  
~~SA~~ Access to crawl and attic space ( 1211.0 )  
\_\_\_\_\_

### Floors (Chapter 16-23)

~~NA~~ Joists - Non sleeping area LL40PSF (Table - 1606)  
~~X~~ Joists - Sleeping area LL30PSF (Table - 1606)  
~~X~~ Grade  
~~X~~ Spacing  
~~X~~ Span  
~~X~~ Girder 4" bearing 2305



### Floors (contd.)

- ~~X~~ Bearing (1 1/2" minimum on wood or steel 3" on masonry) and lapped (3")
- ~~SI~~ Bridging (2305.16)
- ~~SI~~ Boring and notching (2305.5.1)
- ~~SI~~ Cutting and notching (2305.3)
- ~~SI~~ Fastening table (2305.2)
- ~~NA~~ Floor trusses (AFPANDS Chapter 35)
- ~~X~~ Draft stopping (721.7)
- ~~A~~ Framing of openings (2305.11) (2305.12)
- ~~X~~ Flooring - (2304.4) 1" solid - 1/2" particle board
- ~~X~~ Concrete floors (1905) 3 1/2" 6 mil polyethylene vapor retarder
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

### Wall Construction (Chapter 2300)

- ~~X~~ Design (1609) wind loads
- ~~X~~ Load requirements
- ~~I~~ Grade
- ~~SI~~ Fastening schedule (Table 2305.2)
- ~~X~~ Wall framing (2305.4.1)
- ~~X~~ Double top plate (2305.4.2)
- ~~X~~ Bottom plates: (2305.4.3)
- ~~SI~~ Notching and boring: (2305.4.4) studs
- ~~X~~ Non load bearing walls (2305.5)
- ~~SI~~ Notching and boring (2305.5.1)
- ~~X~~ Wind bracing (2305.7)
- ~~X~~ Wall bracing required (2305.8.1)
- ~~I~~ Stud walls (2305.8.3)
- ~~X~~ Sheathing installation (2305.8.4)
- ~~X~~ Minimum thickness of wall sheathing (Table 2305.13)
- ~~NA~~ Metal construction
- ~~NA~~ Masonry construction (Chapter 21)
- ~~X~~ Exterior wall covering (Chapter 14)
- ~~X~~ Performance requirements (1403)
- ~~A~~ Materials (1404)
- ~~NA~~ Veneers (1405)
- ~~X~~ Interior finishes (Chapter 8)

### Roof-Ceiling Construction (Chapter 23)

- Roof rafters - Design (2305.15) spans
- Roof decking and sheathing (2305.15.1) 5/8" boards and (2307.3) (Table 2307.3.1(2))
- Roof trusses (2313.3.1)

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**Roof Coverings (Chapter 15)**

- Approved materials (1404.1)
- Performance requirement (1505)
- Fire classification (1506)
- Material and installation requirements (1507)
- Roof structures (1510.0)
- Type of covering (1507)

**Chimneys and Fireplaces  
BOCA Mechanical/1993**

- Masonry (1206.0)
- Factory - built (1205.0)
- Masonry fireplaces (1404)
- Factory - built fireplace (1403)
- NFPA 211

**Mechanical  
1993 BOCA Mechanical Code**

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### Load Design Criteria

Floor live load sleeping	<u>30 PSF</u>	<u>X</u>
Floor live load non sleeping	<u>40 PSE</u>	<u>X</u>
Roof live load	<u>42 PSF</u>	<u>X</u>
Seismic Zone	<u>C</u>	<u>L</u>
Weathering area	<u>S</u>	<u>X</u>
Frost line depth	<u>4' MIN</u>	<u>X</u>
Exterior balconies	<u>60 PSF</u>	<u>NA</u>
Decks	<u>42 PSF</u>	<u>NA</u>
Guardrails & Handrails	<u>200 Live Load</u>	<u>NT</u>

### Glazing (Chapter 24)

- SK Labeling (2403.1)
- SK Louvered window or jalousies (2403.5)
- SK Human impact loads (2406.0)
- SK Specific hazardous locations (2406.2)
- SK Sloped glazing and skylights (2405)
- SK Safety glazing (2406.0)

### Private Garages (Chapter 4)

- SK General (407)
- SK Beneath rooms (407.3)
- SK Attached to rooms (407.4)
- SK Door sills (407.5)
- SK Means of egress (407.8)
- SK Floor surface (407.9)

**Egress (Chapter 10)**

- X One exit from dwelling unit (1010.2)
- 53 Sleeping room window (1010.4)
- 1 EXIT DOOR (1017.3) 32" W 80" H
- NA Landings (1014.3.2) stairway
- NA Ramp slope (1016.0)
- NA Stairways (1014.3) 36" W
- 1 Treads (1014.6) 10" min.
- 1 Riser (1014.6) 7 3/4" max.
- 1 Solid riser (1014.6.1)
- 1 Winders (1014.6.3)
- 1 Spiral and Circular (1014.6.4)
- 1 Handrails (1022.2.2.) Ht.
- 1 Handrail grip size (1022.2.4) 1 1/4" to 2"
- 1 Guards (1012.0) 36" min.
- 
- 
- 

**Smoke Detectors (920.3.2)**

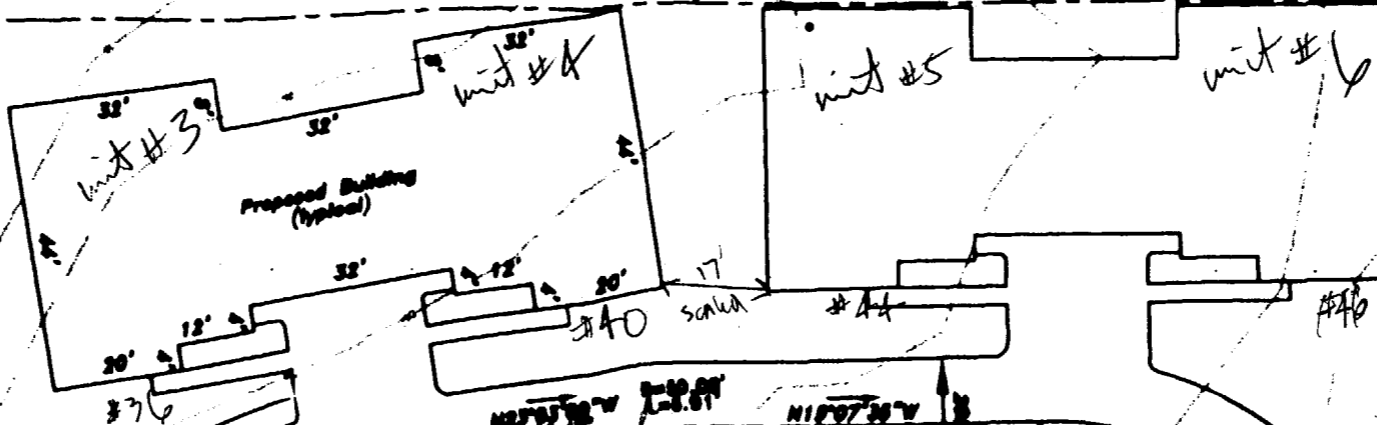
- 53 Location and interconnection
- 53 Power source

**Dwelling Unit Separation  
Table 602**

*USE Group A-4  
Type of Const. 53*

*1 Hr. fire rated assembly*

N/F  
Jungle Development Corp.  
13961/52  
Parcel 1  
47,207 sf



Parcel 2  
86,996 sf  
N/F  
Francis M. Brown  
13588/1

N/F  
Robert E. Bur  
Valerie A. Mc  
11720/24

S75°14'07"W  
372.92

S75°14'07"W  
158.21

N75°16'18"E  
268.21

S14°59'47"E  
53.00

S75°14'07"W  
110.00

N75°16'18"E  
85.00

S14°59'47"E  
54.00  
3/4" IP, up 0.7

S75°14'07"W  
65.00

Parcel 3A  
3,445 sf

Parcel 4A  
11,366 sf

N/F  
Donald A. Daly  
Valerie J. Daly  
13951/236

3/4" IP, flush

Carrage Bolt  
1" Head Dia.,  
lying on side

1/2" IP, flush

3/4" IP

Mugwhy Lane

Mugwhy Lane

Foundation  
Already

S14°59'47"E

53.00

174.70

60.00

N/F

N/F

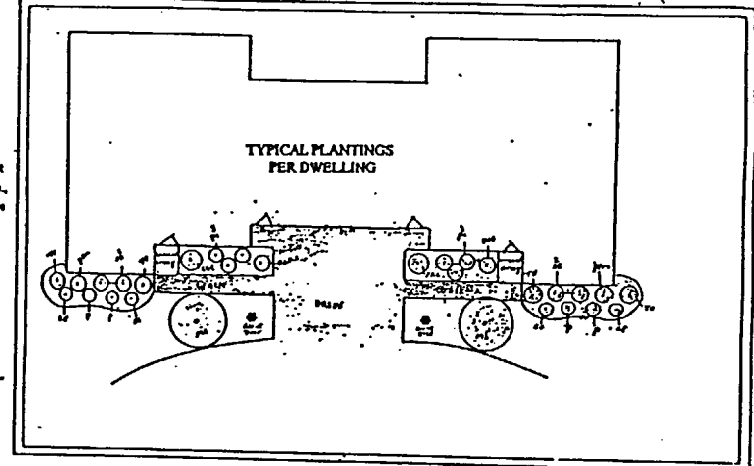
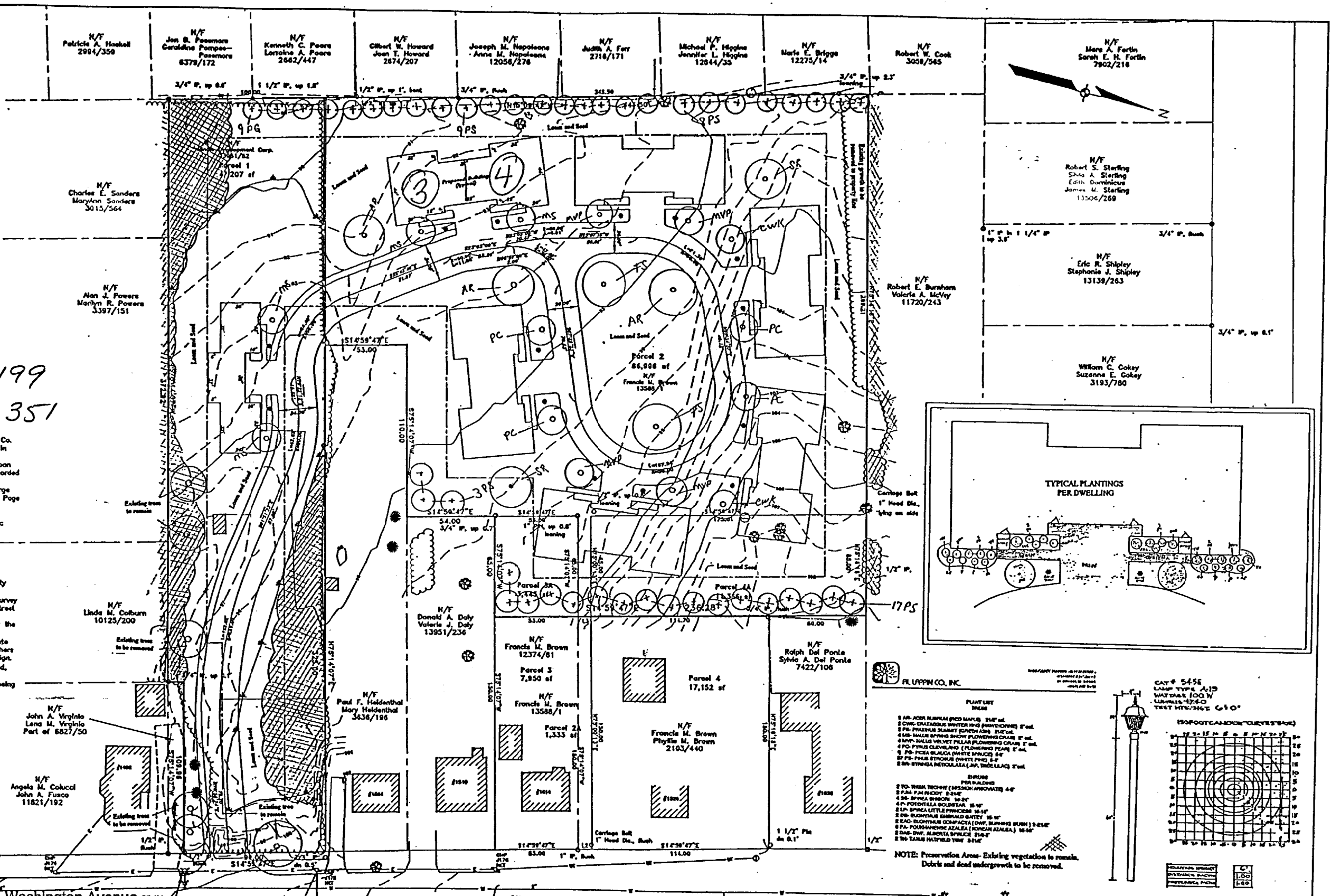
**LEGEND**

- Iron pipe found
- Monument found
- Utility pole
- Edge of pavement
- Curb (granite, unless noted)
- Wood guard rail
- UT Underground telephone
- E Overhead electric
- W Water line
- S Sewer line
- Chain link fence
- Stockade fence
- Existing contour
- Catch basin
- Water valve
- Sewer Manhole
- Telephone Manhole
- Fire hydrant
- Deciduous tree
- Coniferous tree
- Shrub
- Guy wire
- Wetland flag
- Sign
- 11.2 Spot elevation
- ▨ Existing building

Book 199  
Page 351

- References**
1. Plan of Portland Highlands owned by H.R. Lovd Land Co. Inc., by Ernest W. Branch, dated July 22, 1924, recorded in Plan Book 16 Page 10.
  2. Plan of the Highlands owned by the City and Suburban Land Trust, by E.C. Jordan, dated September of 1921, recorded in Plan Book 14 Page 70.
  3. Plan of Hanson Manor for Charles H. Hanson, by George Wheaton, dated March of 1961, recorded in Plan Book 57 Page 69.
  4. City of Portland Engineering Department Right of Way Plans, on file at the City of Portland, Department of Public Works.

- Notes**
1. Bearings are referenced to magnetic north 1998.
  2. Book and Page references are to the Cumberland County Registry of Deeds unless otherwise noted.
  3. Elevations are based on the US Coast and Geodetic Survey 1929 Datum. Benchmark Granite monument on Auburn Street at second angle point northerly of Washington Avenue (Monument is inside a manhole rim approximately 2' below the sidewalk). Elevation: 85.50'.
  4. Locations of utilities shown on this plan are approximate based on field observations and information supplied by others and should be field verified prior to any excavation or design.
  5. Tax Map and Lot references are to the City of Portland, Maine.
  6. See Book 13981, Page 52 for reference to Parcel 1 being "subject to any and all appearances of record."
  7. Wetlands mapped by R.A. Sweet & Associates.



**PLANT LIST**

- 1 AR. ACER RUBRA (RED MAPLE) 3/4" x 6"
- 2 C. CRATAEGUS BENTLEYANA (BENTLEY'S HAWTHORN) 1" x 6"
- 3 FR. PRUNUS SP. (FRUITING) 1" x 6"
- 4 SP. MAHOGANY (FRUITING) 1" x 6"
- 5 SP. MAHOGANY (FRUITING) 1" x 6"
- 6 SP. MAHOGANY (FRUITING) 1" x 6"
- 7 SP. MAHOGANY (FRUITING) 1" x 6"
- 8 SP. MAHOGANY (FRUITING) 1" x 6"
- 9 SP. MAHOGANY (FRUITING) 1" x 6"
- 10 SP. MAHOGANY (FRUITING) 1" x 6"
- 11 SP. MAHOGANY (FRUITING) 1" x 6"
- 12 SP. MAHOGANY (FRUITING) 1" x 6"
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- 14 SP. MAHOGANY (FRUITING) 1" x 6"
- 15 SP. MAHOGANY (FRUITING) 1" x 6"
- 16 SP. MAHOGANY (FRUITING) 1" x 6"
- 17 SP. MAHOGANY (FRUITING) 1" x 6"
- 18 SP. MAHOGANY (FRUITING) 1" x 6"
- 19 SP. MAHOGANY (FRUITING) 1" x 6"
- 20 SP. MAHOGANY (FRUITING) 1" x 6"
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- 23 SP. MAHOGANY (FRUITING) 1" x 6"
- 24 SP. MAHOGANY (FRUITING) 1" x 6"
- 25 SP. MAHOGANY (FRUITING) 1" x 6"
- 26 SP. MAHOGANY (FRUITING) 1" x 6"
- 27 SP. MAHOGANY (FRUITING) 1" x 6"
- 28 SP. MAHOGANY (FRUITING) 1" x 6"
- 29 SP. MAHOGANY (FRUITING) 1" x 6"
- 30 SP. MAHOGANY (FRUITING) 1" x 6"

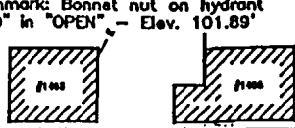
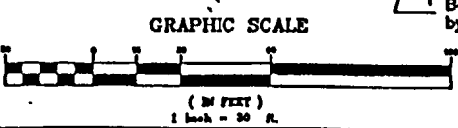
**STRUCTURE PER BUILDING**

- 1 2" x 4" BRACKET (BRUSH APPROXIMATE) 4"
- 2 2" x 4" BRACKET (BRUSH APPROXIMATE) 4"
- 3 2" x 4" BRACKET (BRUSH APPROXIMATE) 4"
- 4 2" x 4" BRACKET (BRUSH APPROXIMATE) 4"
- 5 2" x 4" BRACKET (BRUSH APPROXIMATE) 4"
- 6 2" x 4" BRACKET (BRUSH APPROXIMATE) 4"
- 7 2" x 4" BRACKET (BRUSH APPROXIMATE) 4"
- 8 2" x 4" BRACKET (BRUSH APPROXIMATE) 4"
- 9 2" x 4" BRACKET (BRUSH APPROXIMATE) 4"
- 10 2" x 4" BRACKET (BRUSH APPROXIMATE) 4"
- 11 2" x 4" BRACKET (BRUSH APPROXIMATE) 4"
- 12 2" x 4" BRACKET (BRUSH APPROXIMATE) 4"
- 13 2" x 4" BRACKET (BRUSH APPROXIMATE) 4"
- 14 2" x 4" BRACKET (BRUSH APPROXIMATE) 4"
- 15 2" x 4" BRACKET (BRUSH APPROXIMATE) 4"
- 16 2" x 4" BRACKET (BRUSH APPROXIMATE) 4"
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- 29 2" x 4" BRACKET (BRUSH APPROXIMATE) 4"
- 30 2" x 4" BRACKET (BRUSH APPROXIMATE) 4"

**NOTE:** Preservation Area - Existing vegetation to remain. Debris and dead undergrowth to be removed.

**Line Table**

L1	S14°45'53"E	10.00
L2	S14°59'47"E	9.19
L3	S14°59'47"E	8.58



Area: 149,014 square feet  
3.42 acres

Applicant: Jandie Development Corp.  
2 Flintlock Lane  
Falmouth, ME 04105

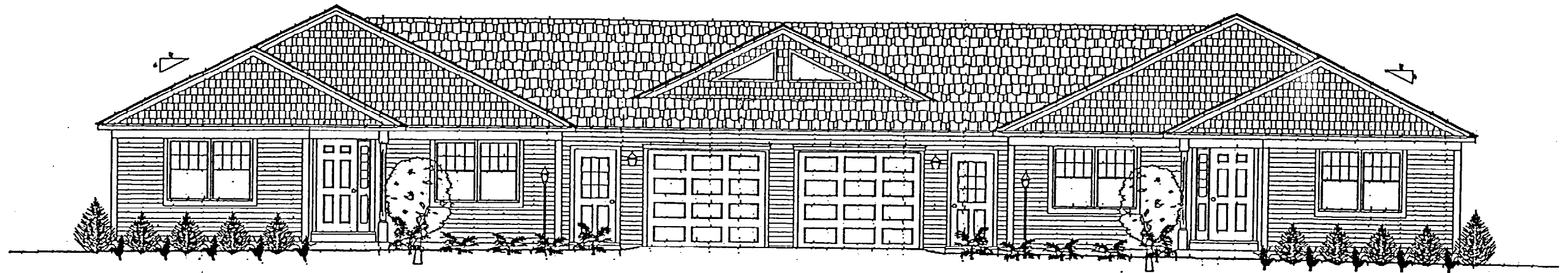
**LANDSCAPE, LANDSCAPE PRESERVATION AND LIGHTING PLAN**  
1500 Washington Avenue  
Portland, Maine

MADE FOR  
**Jandie Development Corp.**  
2 Flintlock Lane  
Falmouth, Maine

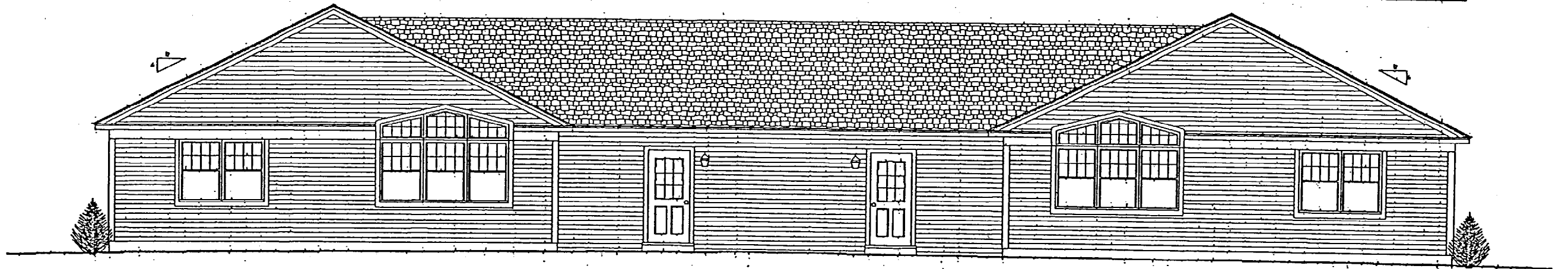
JOB# 90050 DATE: 10/1/98 SCALE: 1"=30'

BOOK# 678 DISC# F02558 FILE# 7007

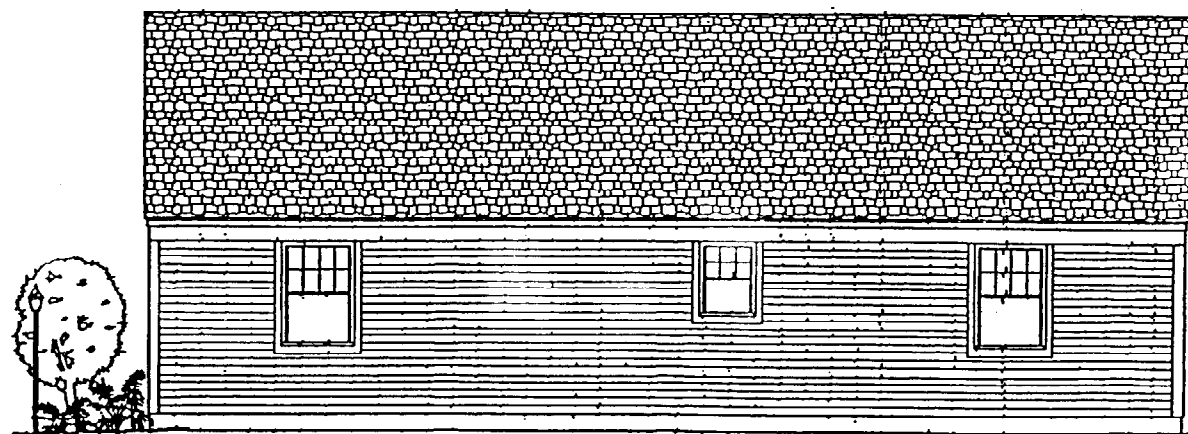
**Tilcomb Associates**  
133 Gray Road  
Falmouth, Maine 04105



MAIN ELEVATION

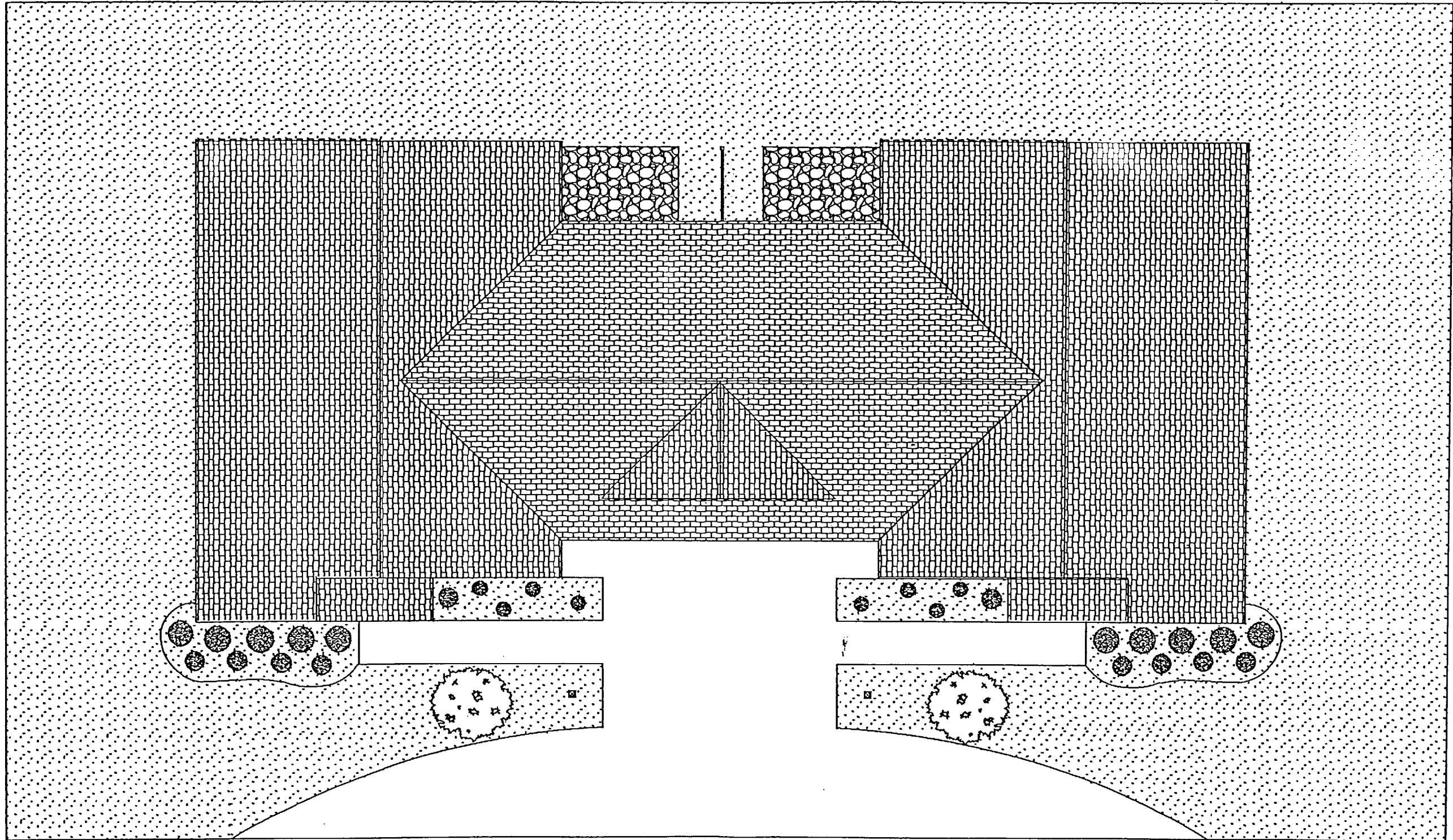


REAR ELEVATION



SIDE ELEVATION

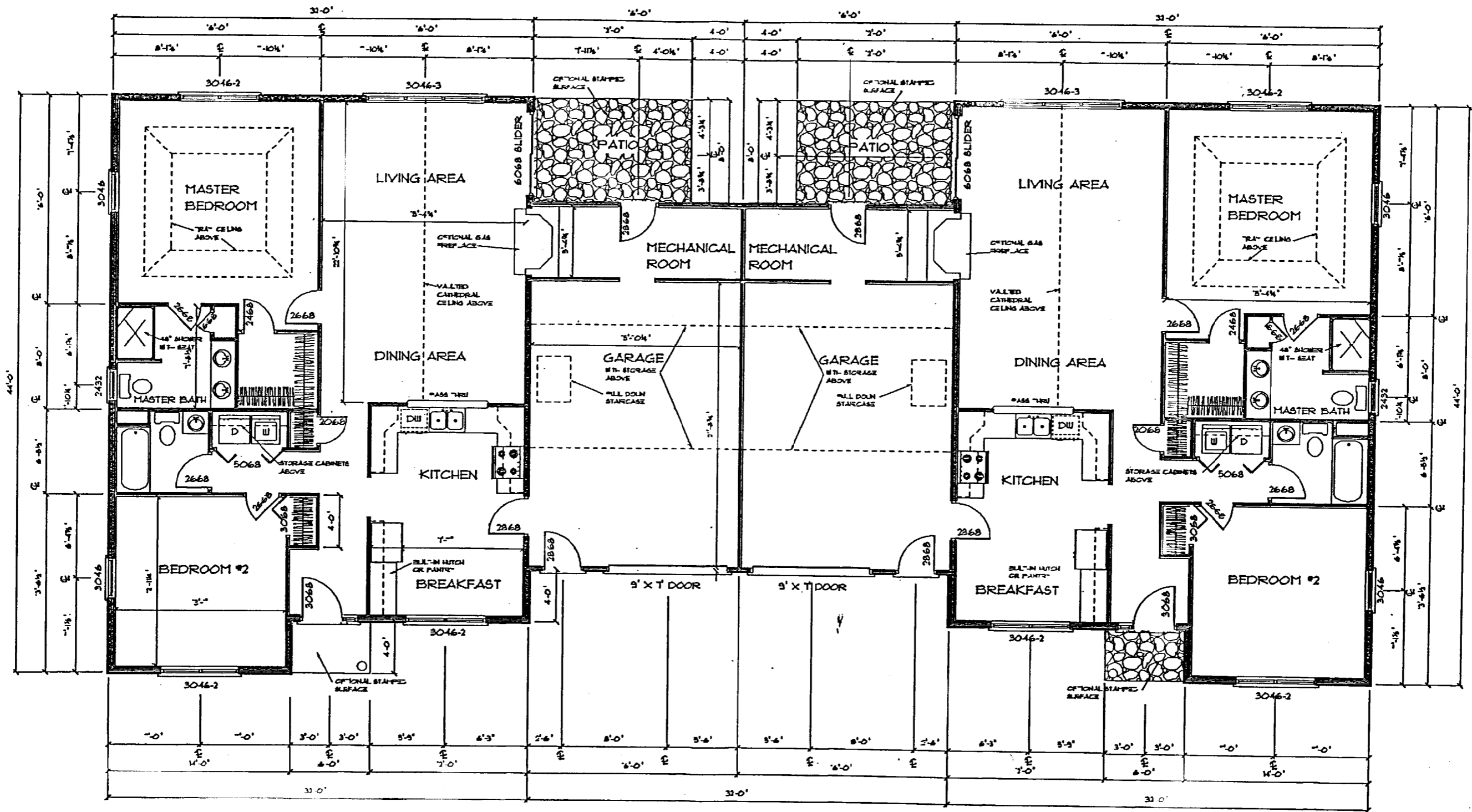
JANDIE DEVELOPMENT CORPORAION  
2 FLINTLOCK LANE  
FALMOUTH MAINE 04105



JANDIE DEVELOPMENT CORPORAION

2 FLINTLOCK LANE  
FALMOUTH MAINE 04105





**ROOF SYSTEM:**

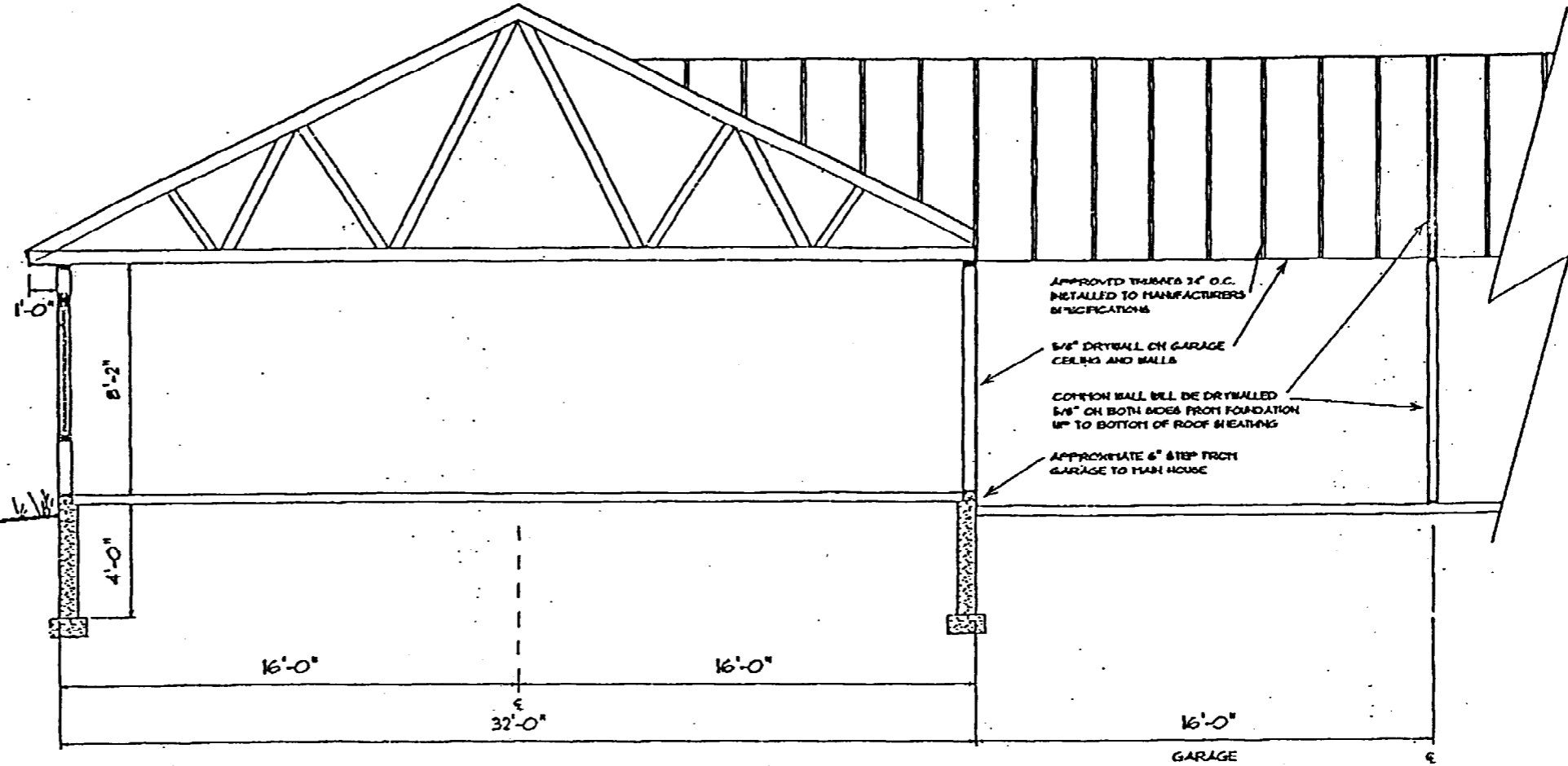
ASPHALT ROOF SHINGLES  
 6" GALVANIZED DRIP EDGE  
 ROOF SHEATHING WITH CLIPS  
 MANUFACTURED TRUSSES 24" O.C.  
 CONTINUOUS RIDGE VENT  
 R-30 INSULATION  
 PROPER VENTS AS REQUIRED  
 STRAPPING 16" O.C.  
 1/2" DRYWALL

**EXTERIOR WALLS:**

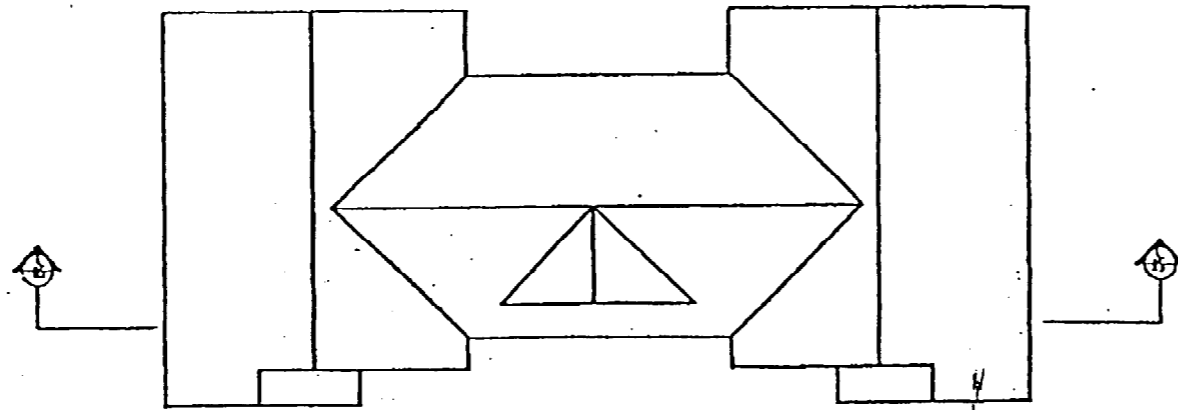
PT 4 X 6 BILL PLATE  
 HEADERS BUILT UP 2X6  
 VINYL SIDING  
 VINYL COFFIT VENT  
 HOUSEWRAP  
 1/2" OSB SHEATHING  
 2 X 6 STUDS 16" O.C.  
 R-19 KRAFT FACED INSULATION  
 1/2" DRYWALL

**INTERIOR WALLS:**

2 X 4 16" O.C.  
 1/2" DRYWALL

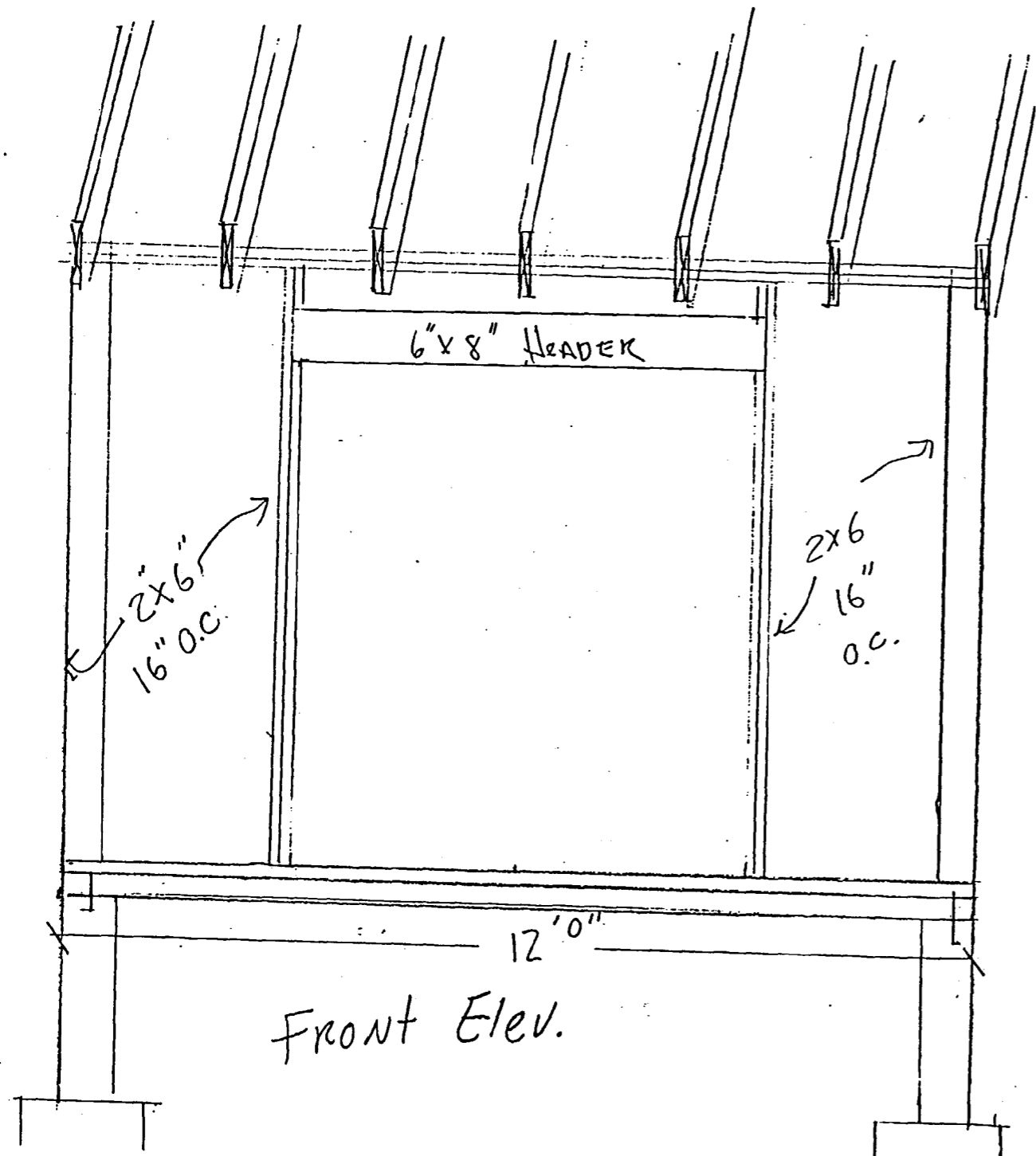


**SECTION A**

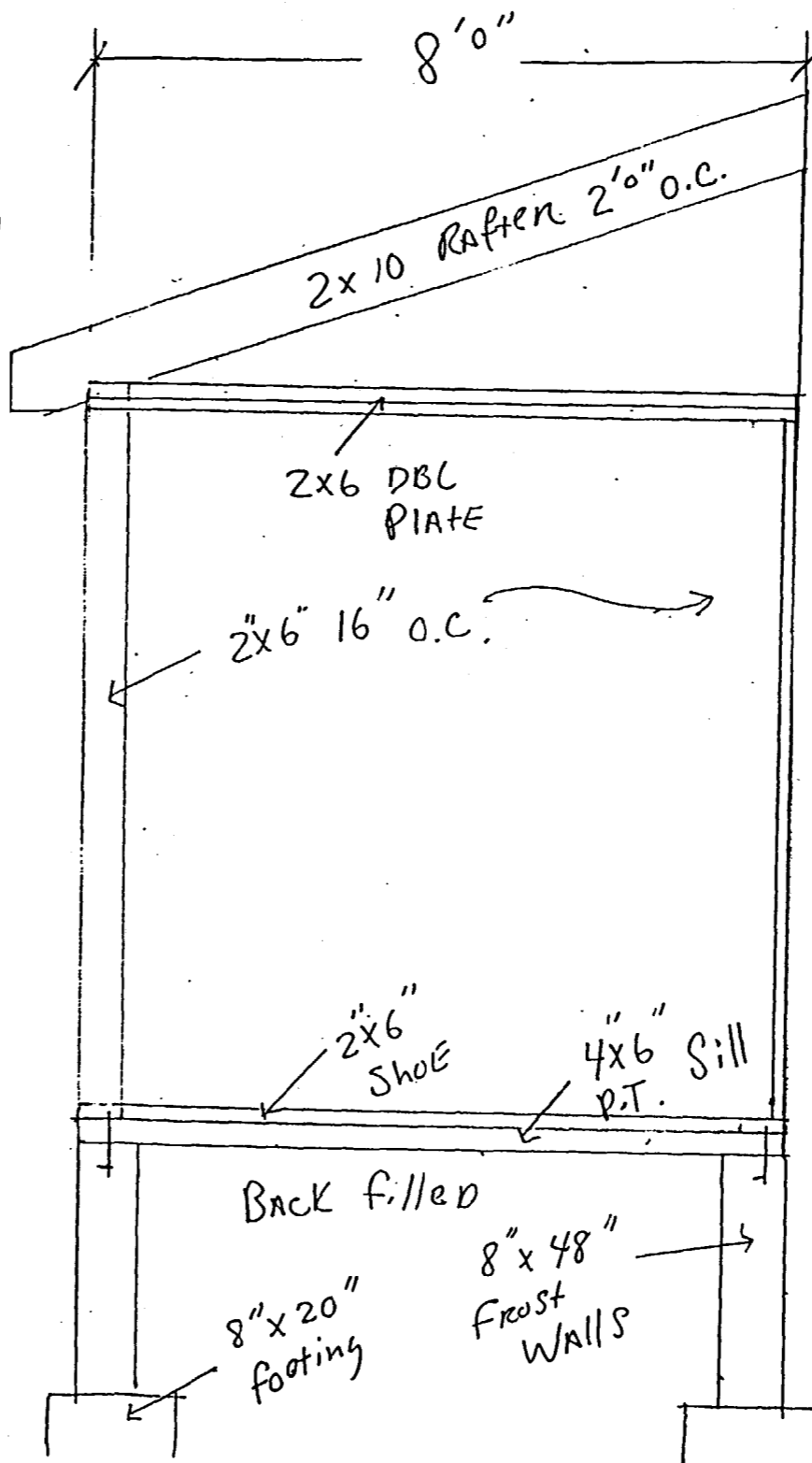


APPROXIMATE LOCATION  
 OF CROSS SECTION

<b>JANDIE DEVELOPMENT CORP</b>		<b>A1</b>
MEADOW RIDGE	DATE: 9/17/99	
CONSTRUCTION DOCUMENTS	SCALE: 1/4"=0"	DATE:
CROSS SECTION	DRAWN BY: MR	
APPROVED BY:		DATE:
APPROVED BY:		DATE:



Front Elev.



Attached to Building

Side Elev.