

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-1124	Issue Date: SEP 25 2003	CBL: 347 B033001
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Location of Construction: 116 Hennessy Dr	Owner Name: Greenblatt Nancy L	Owner Address: 116 Hennessey Dr CITY OF PORTLAND	Phone: 207-797-7711
Business Name: n/a	Contractor Name: Maine Wide	Contractor Address: PO Box 2106 Augusta	Phone: 8004521940
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Additions - Dwellings	Zone: R3

Past Use: Single Family	Proposed Use: Single Family / Build 14' x 24' detached garage. 16'	Permit Fee: \$120.00	Cost of Work: \$10,026.00	CEO District: 2
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FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: accessory garage BOCA 1999
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Proposed Project Description: Build 14' x 24' detached garage. 16'	Signature: JMB 9/25/03
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PEDESTRIAN ACTIVITIES DISTRICT (P.A.E.)		
Action: <input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions	<input type="checkbox"/> Denied
Signature:	Date:	

Permit Taken By: gg	Date Applied For: 09/15/2003	Zoning Approval	
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: JMB 9/24/03	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: JMB
	approved		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

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Permit No: 03-1124	Date Applied For: 09/15/2003	CBL: 347 B033001
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Location of Construction: 116 Hennessy Dr	Owner Name: Greenblatt Nancy L	Owner Address: 116 Hennessy Dr	Phone: 207-797-7711
Business Name: n/a	Contractor Name: Maine Wide	Contractor Address: PO Box 2106 Augusta	Phone: (800) 452-1940
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Additions - Dwellings	

Proposed Use: Single Family / Build 16' x 24' detached garage.	Proposed Project Description: Build 16' x 24' detached garage.
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Dept: Zoning **Status:** Approved **Reviewer:** Jeanine Bourke **Approval Date:** 09/25/2003

Note: 9/23/03 passed on from Tammy (vacation) **Ok to Issue:**
 9/24/03 Spoke w/Tina (ME Wide) about discrepancies in the size of the structure, she verified 16'x24'. Also note that there are 2 lots totalling 11,000 SF.

- 1) It is the homeowners responsibility to string the property lines based on established pins for setback measurements. This setback is very close to the 8' requirement and may require a survey.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 09/25/2003

Note: **Ok to Issue:**

- 1) No stars are shown on the plans therefore none are allowed
- 2) Design load specs for the garage header beam must be submitted to this office, 2-2x12 are not allowed
- 3) Per Tina, the gable ends run along the length of the building.

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

R3

Current Owner Information

Card Number	1 of 1
Parcel ID	347 B033001
Location	116 HENNESSY DR
Land Use	SINGLE FAMILY
Owner Address	GREENBLATT NANCY L 116 HENNESSEY DR PORTLAND ME 04103
Book/Page	
Legal	347-B-33 HENNESSY DR 114-118 6500 SF

Valuation Information

Land	Building	Total
\$31,710	\$77,810	\$109,520

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres		
1962	Cape	1	1445	0.149		
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement	
3	1	1	7	Full Finsh	Full	

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
SHED-FRAME	1	1993	8X10	C	A

Sales Information

Date	Type	Price	Book/Page
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Picture and Sketch

<u>Picture</u>	<u>Sketch</u>
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[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1
 Parcel ID 347 8009001
 Location PENNELL AVE
 Land Use VACANT LAND

Owner Address GREENBLATT NANCY L & GEORGE B WILMOT JR JTS
 116 HENNESSEY DR
 PORTLAND ME 04103

Book/Page 19078/043
 Legal 347-B-9
 PENNELL AVE
 4500 SF

Valuation Information

Land	Building	Total
\$1,580	\$ 0.00	\$1,580

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
				0.103	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales Information

Date	Type	Price	Book/Page
03/01/2003	LAND + BLDING	\$6,000	19078-43

Picture and Sketch

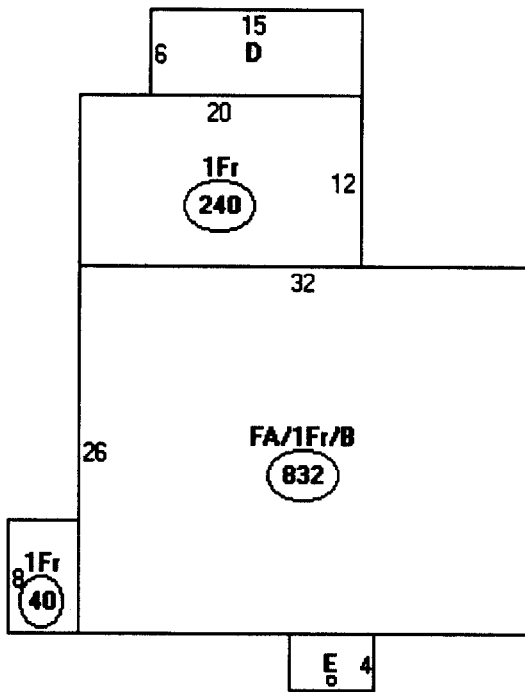
Picture Sketch

[Click here to view Tax Roll Information.](#)

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Descriptor/Area

- A: FA/1Fr/B
832 sqft
- B: 1Fr
40 sqft
- C: 1Fr
240 sqft
- D: WD
90 sqft
- E: OFF
24 sqft

1,226
80 shed

1,306
384 garage

1,690

SF Lot ~~6,500~~
~~x 25%~~
~~1,625~~

Lot 6500
Lot 4500

11,000
x .25%

2750 SF

OK

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 116 Hennesey Street

Total Square Footage of Proposed Structure ~~336 SF~~ 384 Square Footage of Lot 6500 ± 4500

Tax Assessor's Chart, Block & Lot Chart# 347 Block# B Lot# 33 Owner: George Wilmot Telephone: 797-7711

Lessee/Buyer's Name (If Applicable) N/A Applicant name, address & telephone: George Wilmot 116 Hennesey Street Portland ME 04103 Cost Of Work: \$ 10,026 Fee: \$ 100⁰⁰

Current use: Residential
 If the location is currently vacant, what was prior use: N/A
 Approximately how long has it been vacant: N/A
 Proposed use: Residential Garage
 Project description: 14x24 (336 SF) Garage as per plans & specs 16 384

Owes 20.00
 Total 4120.00
 + 20.00
 9/23/03

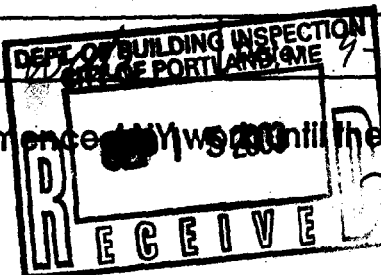
Contractor's name, address & telephone: MAINE-WIDE CONSTRUCTION PUB 2106, AUGUSTA ME 1-800-452-1940
 Who should we contact when the permit is ready: MAINE-WIDE CONSTRUCTION
 Mailing address: PUB 2106, Augusta ME 04338-2106
 Phone: 800-452-1940

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: G. Wilmot/maine wide DEPT OF BUILDING INSPECTION CITY OF PORTLAND ME 9-10-03

This is not a permit, you may not commence work until the permit is issued



By Mail

Job Ticket ID Number: 1136

September 10, 2003

Special Instructions: Building

Customer Information:

Job Number: 2003530
 George Wilmot
 116 Hennesey Drive
 Portland, ME 04103
 (207) 797-7711

SPECIAL INSTRUCTIONS:

16/14x24 Garage w/ Slab

1. Strict codes
2. Anchor bolts
3. 2x12 header over OHD - double — *max span 7'3"*
4. Form & final inspections - call for appointment
5. Be sure slab is ok before ordering trusses
6. Have building inspector inspect forms before pouring slab
7. Send site plan to site contractor
8. Note: Gable is 24' wide
9. Order (9) 8/12 attic trusses 24' wide setting on 2"x4" wall (stock)
10. Space all trusses at 24" OC
11. Do not install stairs
12. Install plywood floor
13. Frame gable door so bottom of door is flush w/ plywood on trusses
14. Frame gable door 4'x6' (+ or -)
15. Install (2) customer windows - frame R/O on site
16. Install (2) std garage windows
17. (1) 14x7-S-NI-NG OHD - Colonial Braces
18. Shingles: IKO Dual Black

UPON COMPLETION BEFORE LEAVING SITE:

- Collect \$10,016.00
- Have customer sign MW Completion Certificate



MAINE WIDE CONSTRUCTION, INC.

Scale $3/4" = 1'-0"$

Approved By

Drawn By *TL*

Date *9-7-03*

LRVROT

Revised

Drawn For

WILMOT

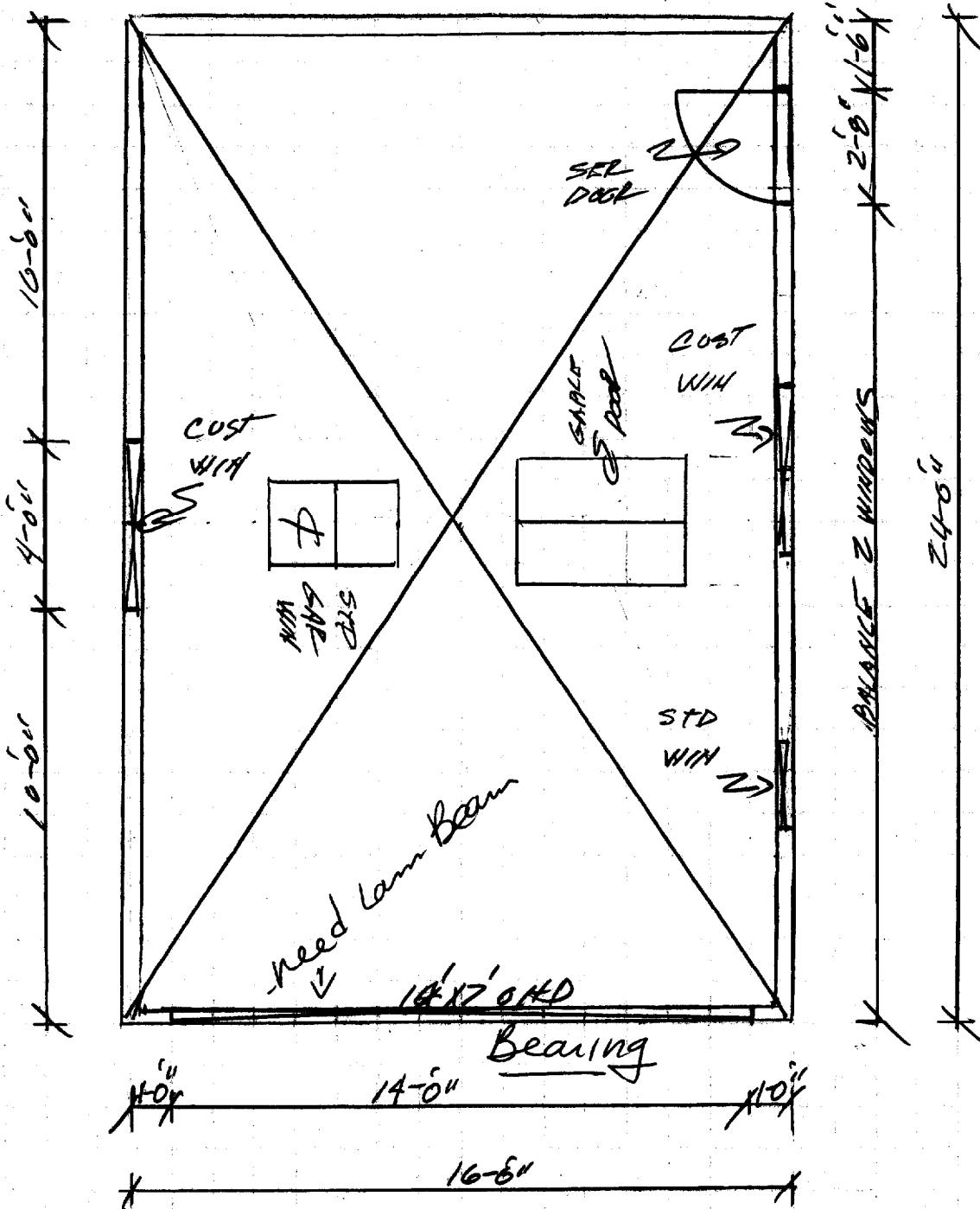
Location

PORTLAND ME

Drawing #

1

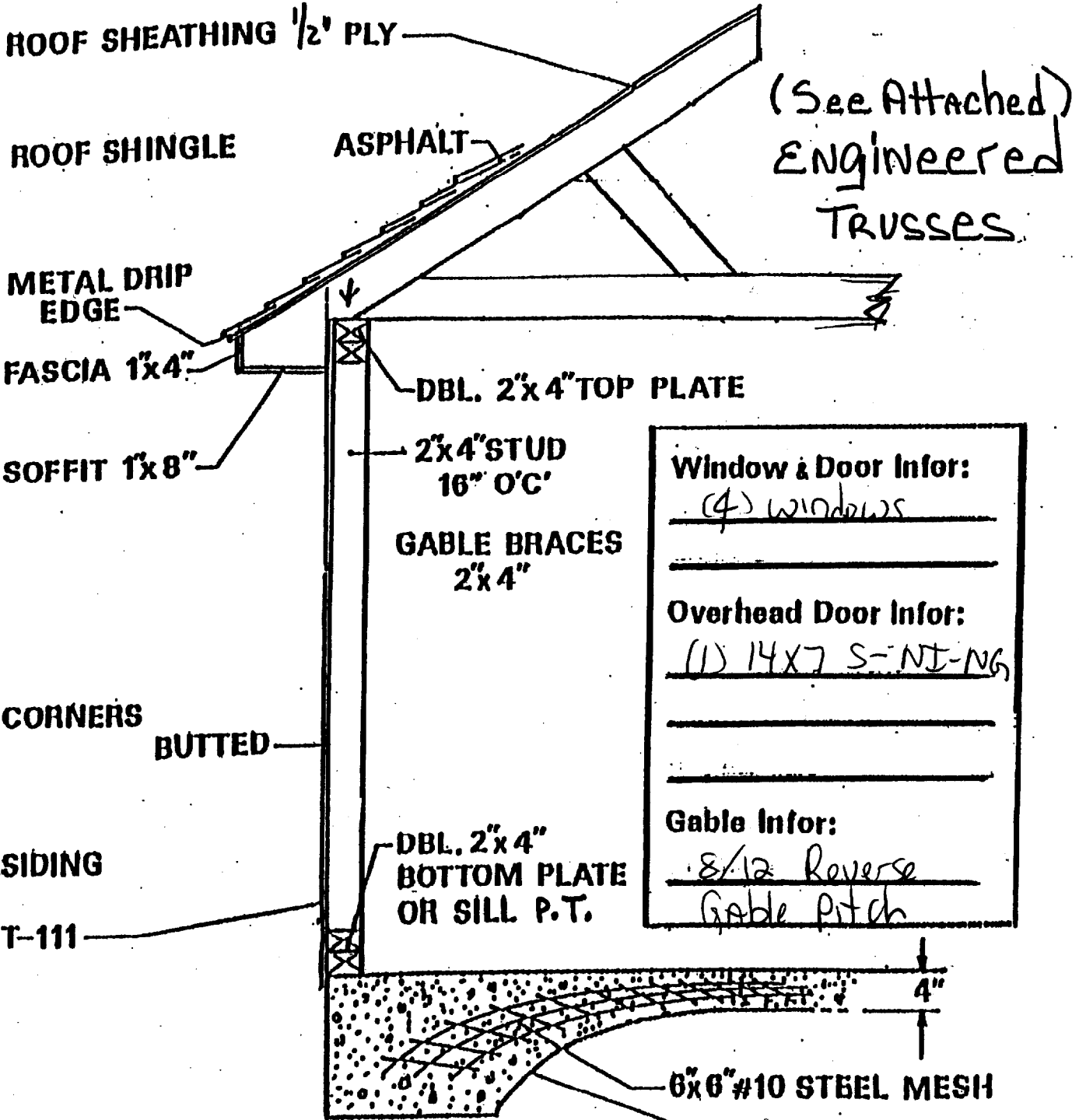
Gable End



CS

CROSS SECTION

Maine-Wide Construction, Inc
P.O. Box 2106 Ph. 1-800/452-1940
Augusta, ME 04338-2106



~~Db1 2x12 Header over OHD~~
2x6 Header over Service Door & Window(s)
Anchor bolts in slab

Job WSI_STK	Truss A824 A248	Truss Type ATTIC	Qty 100	Ply 1	42# snow 120 mph wind	M838405
Wood Structures, Biddeford, ME 04005			5.100 e Mar 25 2003 Mitek Industries, Inc. Fri May 30 11:18:43 2003 Page 1			

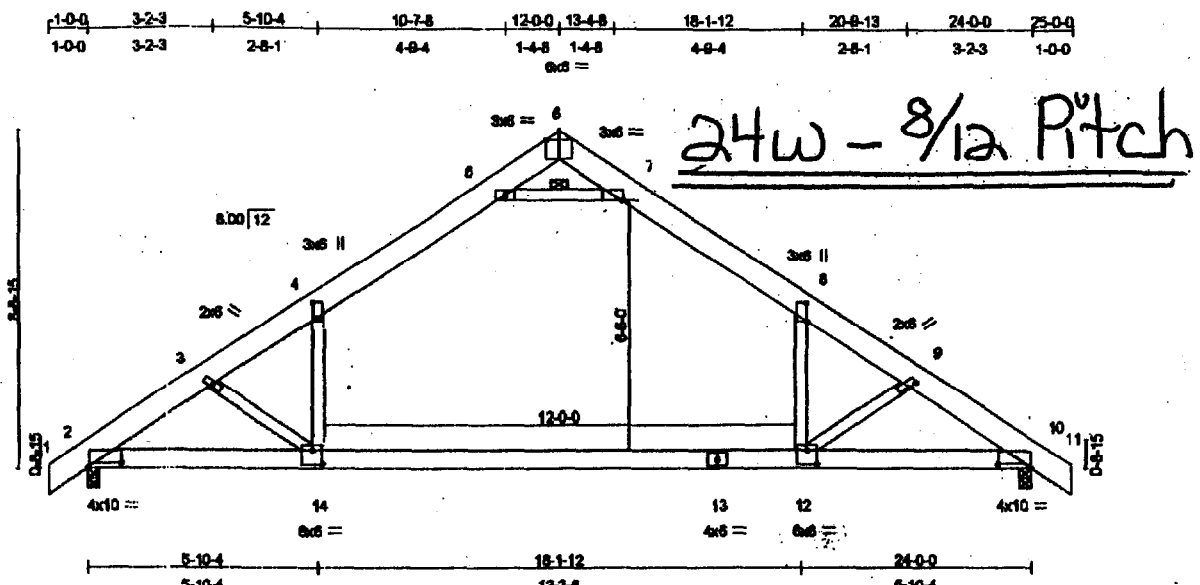


Plate Offsets (X,Y): [2:0-10:3,0-1-2], [4:0-4:12,0-1-8], [7:0-0:8,0-0-4], [8:0-6:16,0-0-4], [9:0-2:4,0-0-12], [10:0-10:3,0-1-2], [12:0-3:0,0-4-4], [14:0-3:0,0-4-4]

LOADING (psf) TCLL 42.0 TCDL 7.0 BCLL 0.0 BCDL 10.0	SPACING 2-0-0 Plates Increase 1.16 Lumber Increase 1.16 Rep S:ress Incr YES Code BOCA/ANSI95	CSI TC 0.78 BC 0.80 WB 0.78 (Matrix)	DEFL in (loc) l/def L/d Vert(LL) -0.67 12-14 >423 240 Vert(TL) -0.89 12-14 >321 180 Horz(TL) 0.05 10 n/a n/a	PLATES M120 GRIP 169/123 Weight: 135 lb
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LUMBER TOP CHORD 2 X 6 SPF 1650F 1.7E BOT CHORD 2 X 6 SPF 1650F 1.6E WEBS 2 X 4 SPF-6 Stud	BRACING TOP CHORD Sheathed or 4-8-7 oc putins. BOT CHORD Rigid ceiling directly applied or 9-4-6 oc bracing. WEBS 1 Row at midpt 6-7
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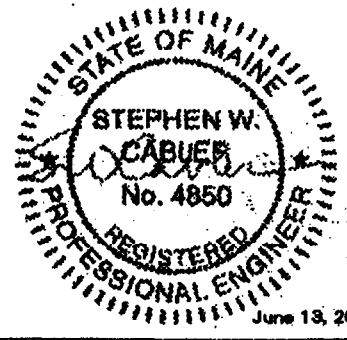
THIS TRUSS IS DESIGNED FOR RESIDENTIAL USE ONLY!
30 - LOAD IS ADEQUATE FOR ATTIC LIGHT STORAGE AREA AND/OR SLEEPING ROOMS ONLY
(50 PSF IS NOT ADEQUATE FOR A WATERBED LOAD, CORRIDORS, OR BASIC FLOOR AREA)

REACTIONS (lb/size) 2--1942/0-3-8, 10--1942/0-3-8
Max Horz 2--493(load case 5)
Max Uplift 2--706(load case 6), 10--706(load case 7)

FORCES (lb) - First Load Case Only
TOP CHORD 1-2--46, 2-3--3007, 3-4--2624, 4-5--1876, 5-6--1033, 6-7--1033, 7-8--1876, 8-9--2624,
9-10--3007, 10-11--46
BOT CHORD 2-14--2904, 13-14--1811, 12-13--1811, 10-12--2304
WEBS 5-7--3064, 4-14--1070, 8-12--1070, 3-14--612, 9-12--612

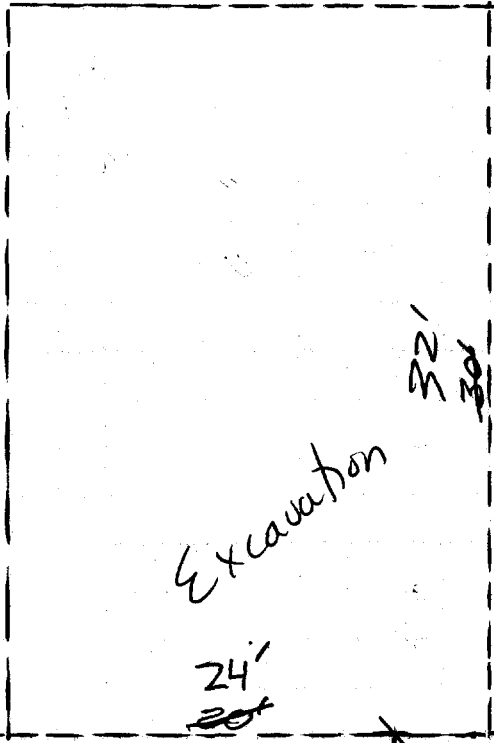
- NOTES**
- 1) Wind: ASCE 7-98; 120mph; h=36ft; TCCL=4.2psf; BCDL=3.0psf; Category II; Exp C; enclosed; MWFRS gable end zone; cantilever left and right exposed; Lumber DOL=1.33 plate grip DOL=1.33.
 - 2) Design load is based on 42.0 psf specified roof snow load.
 - 3) Unbalanced snow loads have been considered for this design.
 - 4) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas with a clearance greater than 3'-0" between the bottom chord and any other members.
 - 5) Ceiling dead load (5.0 psf) on member(s): 4-5, 7-8, 5-7
 - 6) Bottom chord live load (30.0 psf) and additional bottom chord dead load (0.0 psf) applied only to room 12-14
 - 7) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 706 lb uplift at joint 2 and 706 lb uplift at joint 10.

LOAD CASE(S) Standard
DESIGN LOADING:
TCLL/TOTAL (PSF)
4259 @ 24" oc.
5374 @ 18.2" oc.
6379 @ 16" oc.



June 13, 2003

PROPERTY LINE

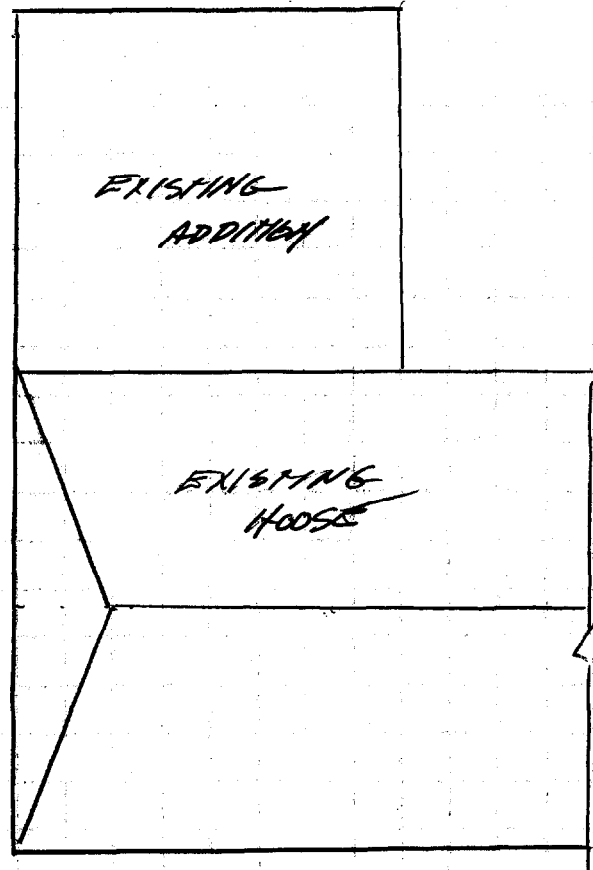



SPECIAL INSTRUCTIONS:

16

16x24 garage w/ Slab

1. Start site even w/ edge of addition & 2'-0" behind addition
2. Excavate existing top soil
3. Place 2" foam under garage site & extend foam (4' out) beyond slab around entire perimeter 24'
4. Slab is 16'x26" (see drawing)
5. Place 12" gravel base
6. Place 6" of 1" minus or dead sand on top of gravel
7. Square & level pad
8. Finish grade to be set by site contractor & home owner
9. If you have any questions call Tim or Judy at 1-800-452-1940



 HOME-WIRE CONSTRUCTION, INC.			
Scale	8"=24'	Approved By	Drawn By TC
Date	9-7-03	SITE PLAN	Printed
Drawn For	WILMOT		
Location	PORTLAND ME	Drawing #	2

RECOMMENDED CONSTRUCTION METHODS AND DETAILS

UNHEATED BUILDINGS

Additional measures are required when using a FPSF on an unheated building. While a drainage layer is only recommended under wing insulation for heated buildings, a 6-inch drainage layer is always required under unheated FPSF designs. Additionally, the horizontal ground insulation extends not only as a wing beyond the perimeter of the building, but continues under the entire unheated portion of the building. This insulation layer can be installed either directly under the slab as shown in Figure 18, or entirely at one level as shown in Figure 19. In either case, the compressive load of the building on the insulation must be determined to compare to the compressive resistance of the foam (see design examples). The horizontal insulation must have a minimum of 10 inches of soil cover.

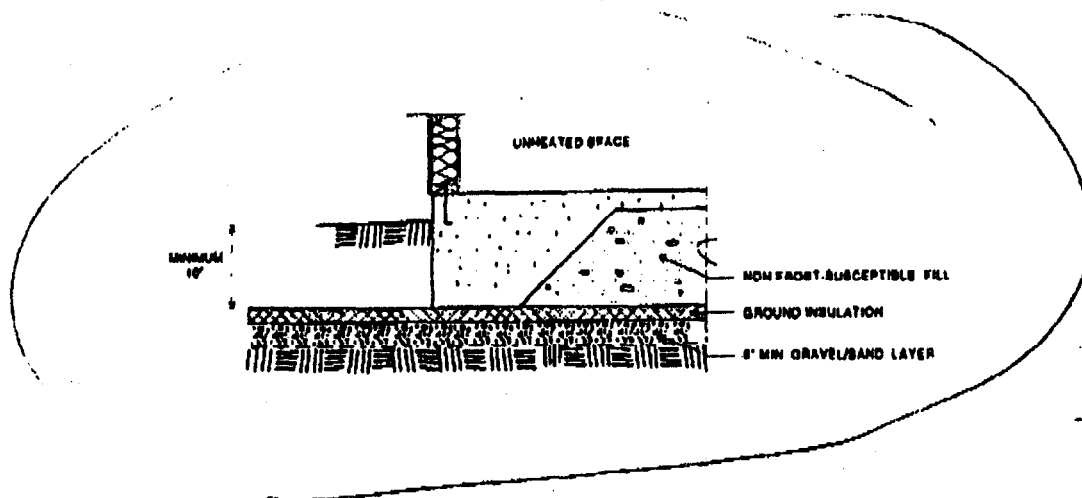
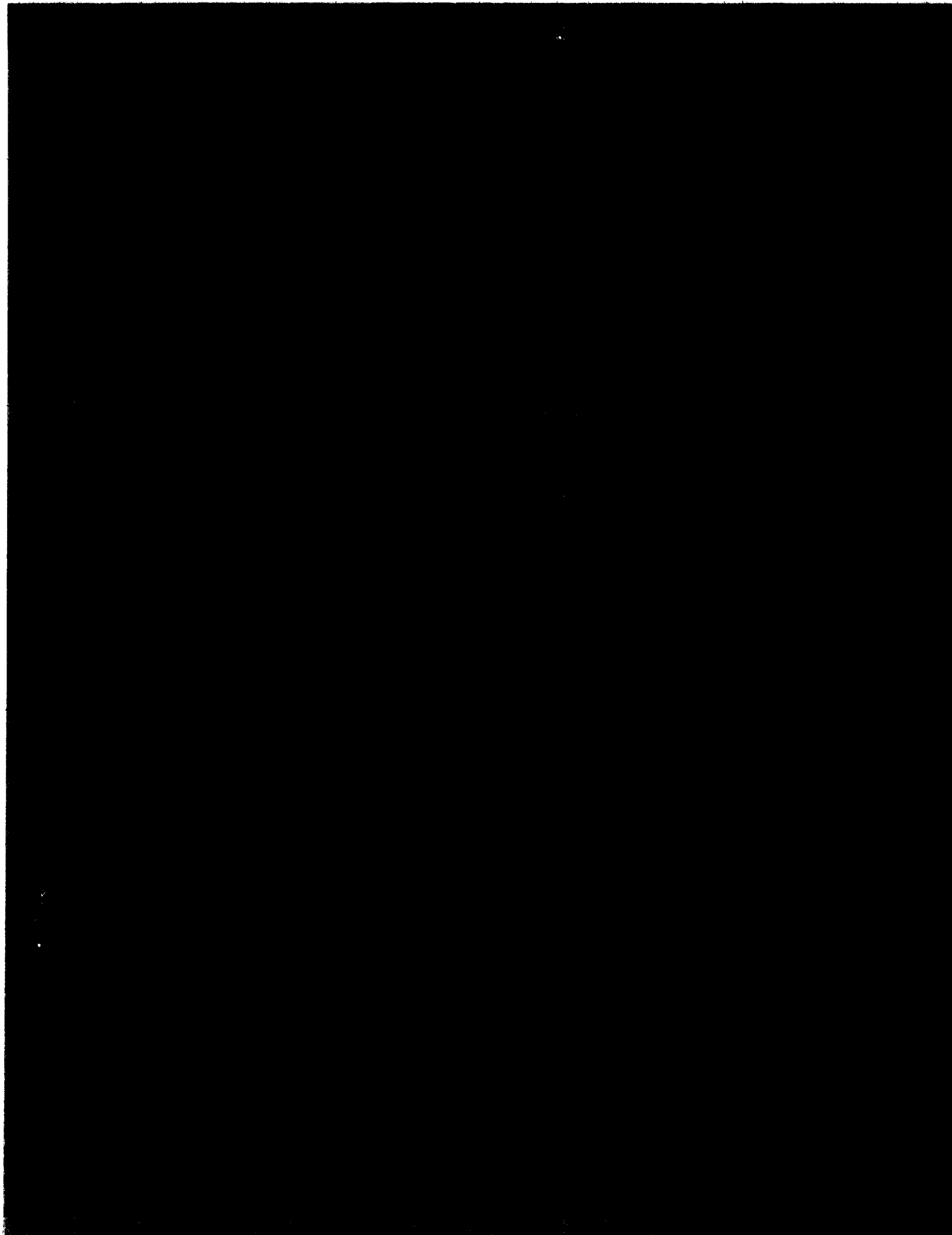


Figure 19. FPSF Design for Unheated Buildings with Insulation In Single Plane.



DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT ISSUED

Permit Number: 031124

SEP 25 2003

Please Read Application And Notes, If Any, Attached

This is to certify that Greenblatt Nancy L/Maine

has permission to Build 14' x 24' detached garage

CITY OF PORTLAND

AT 116 Hennessy Dr

347 B033001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification inspection must be given and written permission procured before this building or part thereof is leased or otherwise used-in. HOUR NOTICES REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____
Department Name

Jamie Bouke 9/25/03
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD