

**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: <b>142 Hennessey Drive</b>		Owner: <b>Jana &amp; Susan St. Pierre</b>	Phone: <b>878-3949</b>	Permit No: <b>990165</b>
Owner Address: <b>SAA 04103</b>	Lessee/Buyer's Name:	Phone:	BusinessName:	<b>PERMIT ISSUED</b> <b>MAR - 3 1999</b> <b>CITY OF PORTLAND</b>
Contractor Name: <b>Owner</b>	Address:	Phone:		
Past Use: <b>Single Family Dwelling</b>	Proposed Use: <b>Same</b>	<b>COST OF WORK:</b> \$ <b>1,600.00</b>	<b>PERMIT FEE:</b> \$ <b>30.00</b>	Zone: <b>R3</b> CBL: <b>347-B-028</b>
		<b>FIRE DEPT.</b> <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<b>INSPECTION:</b> Use Group <b>R3</b> Type: <b>5B</b> <b>608498</b> Signature: <i>[Signature]</i>	
Proposed Project Description: <b>Remove cement steps in front of house and replace with a front porch. Also to add an arch on the front lawn over the sidewalk.</b>		<b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b>		Zoning Approval: <i>[Signature]</i> <b>Special Zone or Reviews:</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		
Permit Taken By: <b>UB</b>	Date Applied For: <b>25 February 1999</b>			<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

**PERMIT ISSUED WITH REQUIREMENTS**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

**25 February 1999**

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS: \_\_\_\_\_ DATE: \_\_\_\_\_ PHONE: \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ PHONE: \_\_\_\_\_

CEO DISTRICT



COMMENTS

3/10/99 - Pre construction meeting on site - discussed stairs, guardrails, handrails, frost depth for sauna tubes - owner wants to use lattice for guardrail - told them they were not allowed to. TM.

4/8/99 Inspected Sauna Tubes (Pre-Pour) and measured distance from House. Told owner it was O.K. to Pour for

4/29/99 Final Insp. Front Porch - Rails, Steps & Rise all O.K., Archway not to be constructed (DC)

Inspection Record		Date
Type		
Foundation:	_____	_____
Framing:	_____	_____
Plumbing:	_____	_____
Final:	_____	_____
Other:	_____	_____

**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED**

**Building or Use Permit Pre-Application  
Additions/Alterations/Accessory Structures  
To Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

**NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

* Location/Address of Construction: 142 HENNESSEY DRIVE, PORTLAND			
Tax Assessor's Chart, Block & Lot Number Chart# 347 Block# B Lot# 28		Owner: ST. PIERRE, DONA R O SUSAN G	
Owner's Address: 142 HENNESSEY DRIVE 04103		Telephone#: 878-3949	
Lessee/Buyer's Name (If Applicable)		Cost Of Work: \$1600	Fee \$30.00
Proposed Project Description: (Please be as specific as possible) REMOVE CEMENT STEPS IN FRONT OF HOUSE AND REPLACE WITH A FRONT PORCH. ALSO TO ADD AN PATCH ON THE FRONT LAWN OVER THE SIDE WALK.			
Contractor's Name, Address & Telephone DONA R. ST. PIERRE		Rec'd By: UB	

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

If there is expansion to the structure, a complete plot plan (Site Plan) must include:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and required zoning district setbacks

**4) Building Plans (Sample Attached)**

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.



**Certification**

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <i>Donna R. St. Pierre</i>	Date: <i>12 February 1999</i>
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Building Permit Fee: \$25.00 for the 1st \$1000. cost plus \$5.00 per \$1,000.00 construction cost thereafter.

LAND USE - ZONING REPORT

ADDRESS: 142 Hennessey Dr DATE: 3/2/99

REASON FOR PERMIT: construct porch & Archway

BUILDING OWNER: Dan & Susan St Pierre C-B-L: 347-B-28

PERMIT APPLICANT: owner

APPROVED: with conditions DENIED: \_\_\_\_\_

(#1) #6

CONDITION(S) OF APPROVAL

- 1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2. During its existence, all aspects of the Home Occupation criteria, Section 14-410, shall be maintained.
- 3. The footprint of the existing \_\_\_\_\_ shall not be increased during maintenance reconstruction.
- 4. All the conditions placed on the original, previously approved, permit issued on \_\_\_\_\_ are still in effect for this amendment.
- 5. Your present structure is legally nonconforming as to rear and side setbacks. If you were to demolish the building on your own volition, you will not be able to maintain these same setbacks. Instead you would need to meet the zoning setbacks set forth in today's ordinances. In order to preserve these legally non-conforming setbacks, you may only rebuild the \_\_\_\_\_ in place and in phases.
- 6. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 7. Our records indicate that this property has a legal use of \_\_\_\_\_ units. Any change in this approved use shall require a separate permit application for review and approval.
- 8. Separate permits shall be required for any signage.
- 9. Separate permits shall be required for future decks, sheds, pool(s), and/or garage.
- 10. This is not an approval for an additional dwelling unit. You shall not add any additional kitchen equipment, such as stoves, microwaves, refrigerators, or kitchen sinks, etc. without special approvals.

11. Other requirements of condition The placement of The Archway  
IS DENIED. This office does not have the  
 Authority to grant you the right to place this  
 structure on city property, ~~at this location~~

Marge Schmuckal, Zoning Administrator

A separate Amendment would be required  
 to allow this structure elsewhere.  
 Marge Schmuckal

BUILDING PERMIT REPORT

DATE: 2 March 1999 ADDRESS: 142 Hennessey DA. CBL 347-B-028  
REASON FOR PERMIT: Proposed front porch - (Arch desired zoning problem)  
BUILDING OWNER: ST. Pierre  
CONTRACTOR: owner  
PERMIT APPLICANT: [Signature]  
USE GROUP R-3 BOCA 1996 CONSTRUCTION TYPE 5B

CONDITION(S) OF APPROVAL

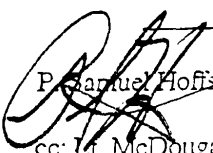
This Permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: \*1, \*8, \*10, \*26, \*28, \*31, \*32

- \*1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
\*2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
2.5 Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
2.6 Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' o.c. between bolts.
3. Precaution must be taken to protect concrete from freezing.
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
\*8. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
9. Headroom in habitable space is a minimum of 7'6".
\*10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise.
11. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or

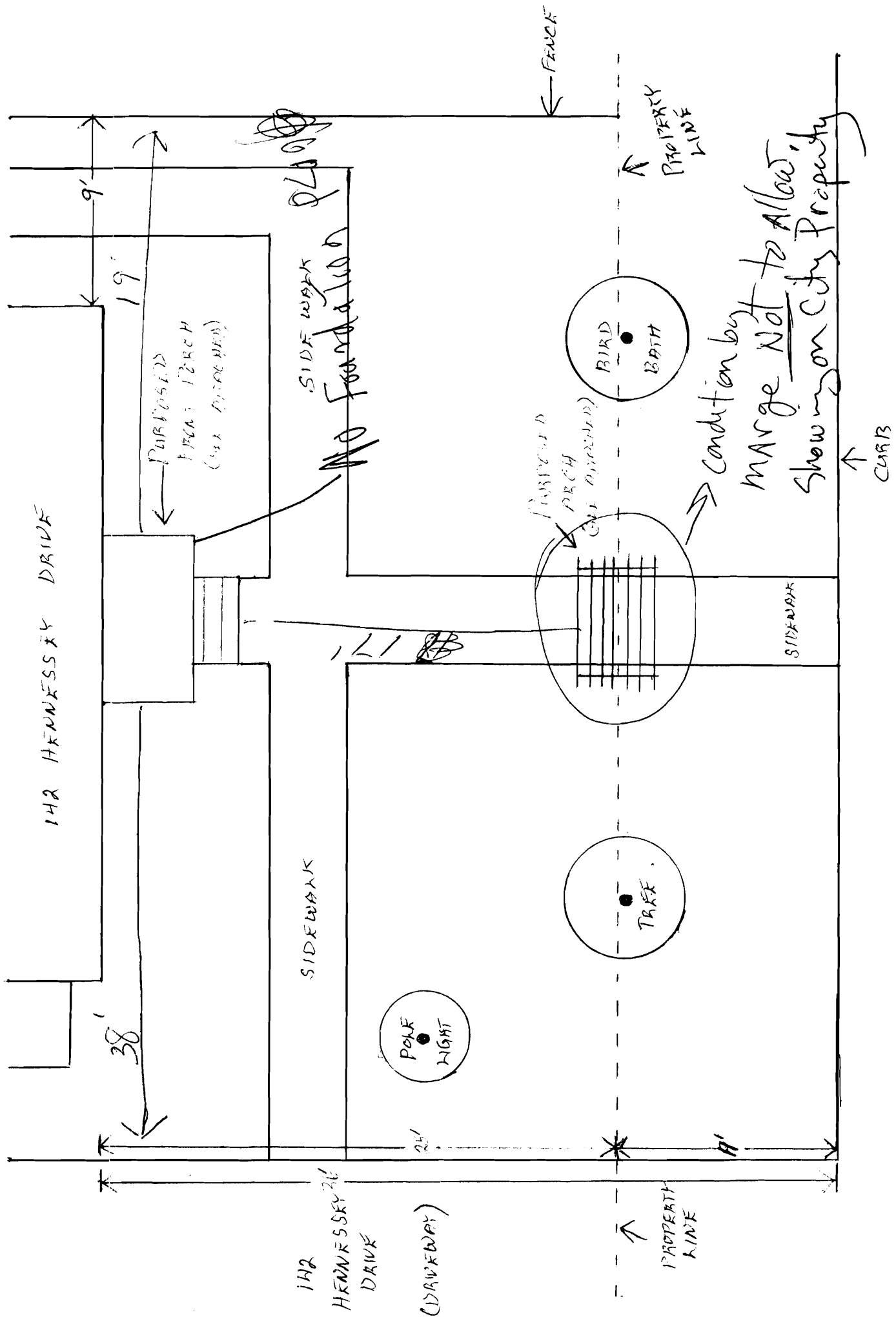
knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. ( Section 1018.6 )

13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. Section 1010.1
14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1)hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.) Section 710.0
15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment. Table 302.1.1
16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
  - In the immediate vicinity of bedrooms
  - In all bedrooms
  - In each story within a dwelling unit, including basementsIn addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required) Section 920.3.2
17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. Section 921.0
18. The Fire Alarm System shall be maintained to NFPA #72 Standard.
19. The Sprinkler System shall maintained to NFPA #13 Standard.
20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
23. Ventilation shall meet the requirements of Chapter 12 Sections 1210. Of the City's Building Code. (crawl spaces & attics)
24. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
25. All requirements must be met before a final Certificate of Occupancy is issued.
- \* 26. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code. (The BOCA National Building Code/1996).
27. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993). ( Chapter M-16 )
- \* 28. Please read and implement the attached Land Use-Zoning report requirements.
29. Boring, cutting and notching shall be done in accordance with Sections 2305.4.4, 2305.5.1 and 2305.3. of the City's building code.
30. Glass and glazing shall meet the requirements of Chapter 24 of the building code.
- \* 31. The proposed Arch is denied. (See Zoning report).
- \* 32. The plan you submitted with your application did not have a framing detail or Foundation detail - These must be submitted for review and approval before work begins. You my FAX. This information to me. at 874-8716 - Care of S. Hoffses
- 33.

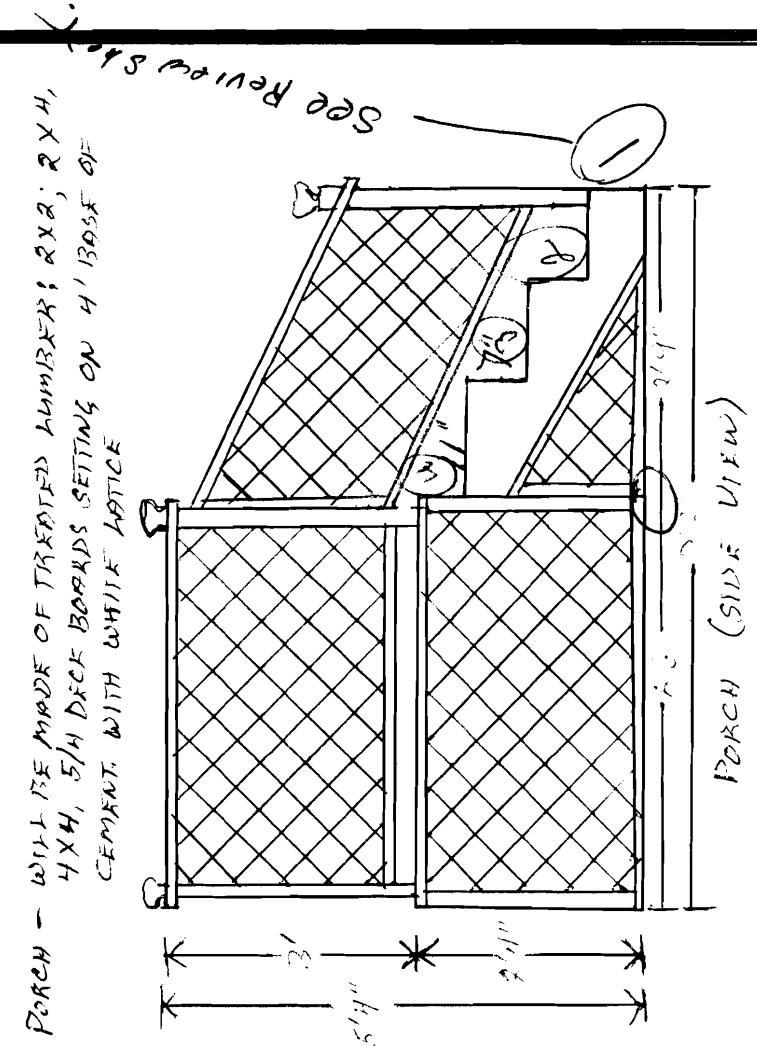
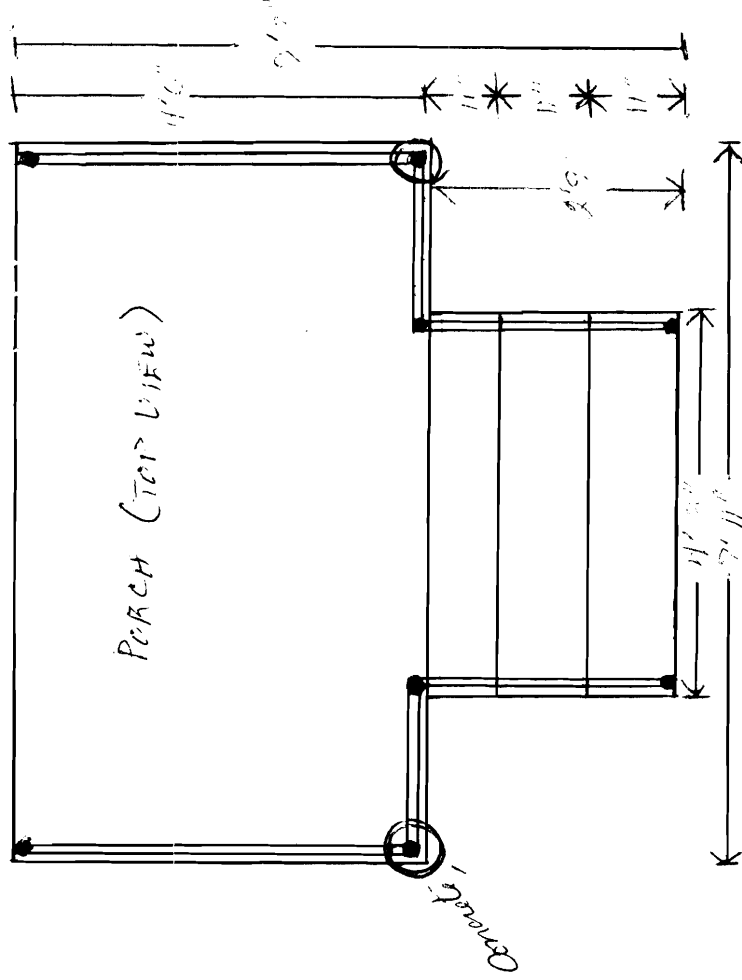
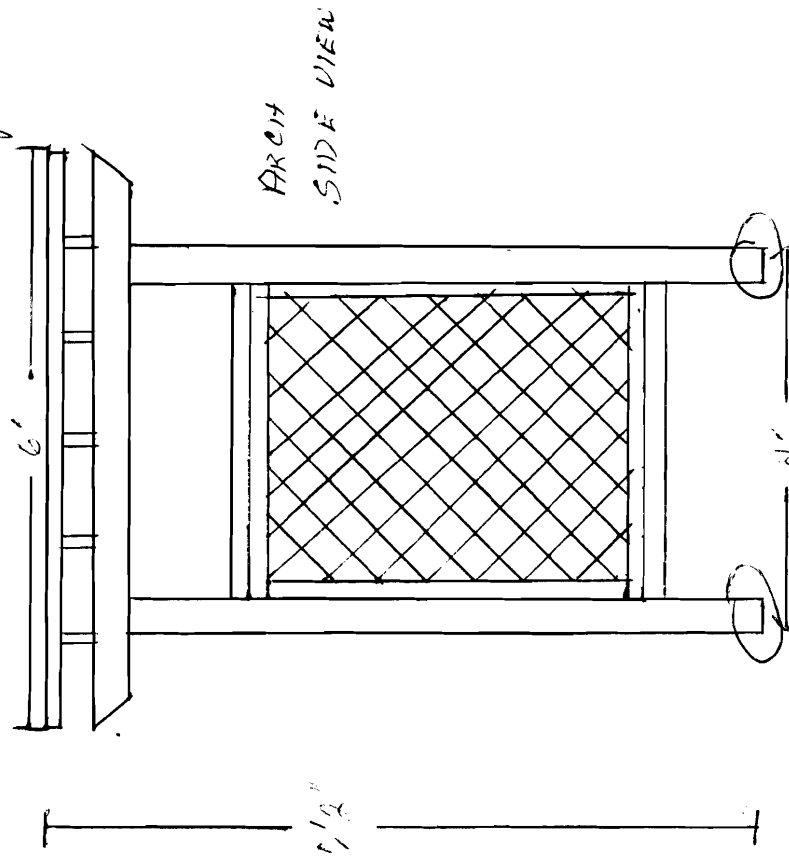
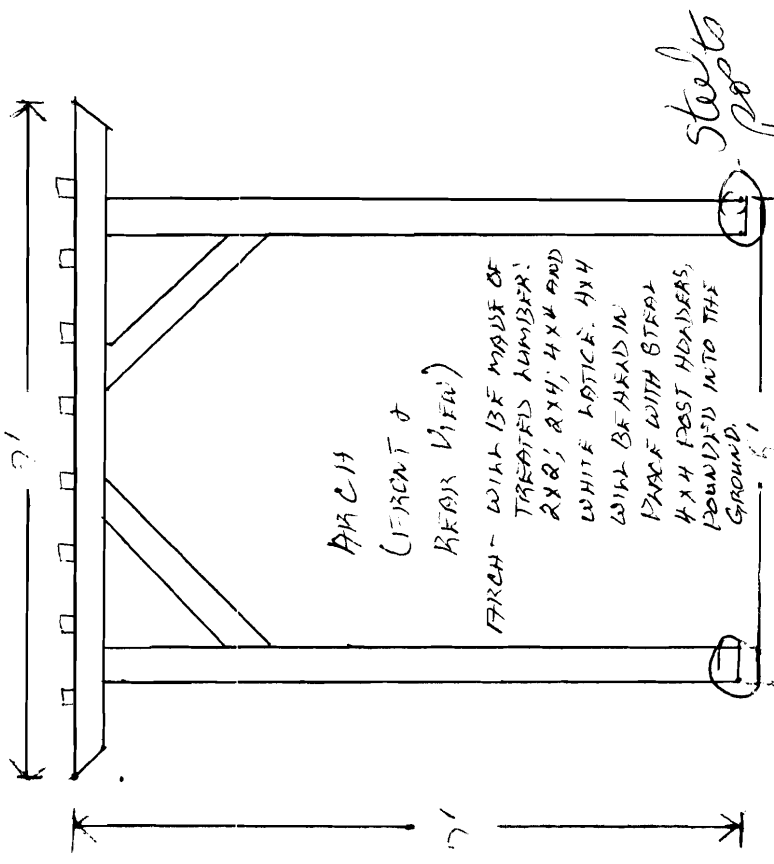
  
P. Samuel Hoffses, Building Inspector

cc: Lt. McDougall, PFD

Marge Schmuckal, Zoning Administrator



HENNESSY DRIVE



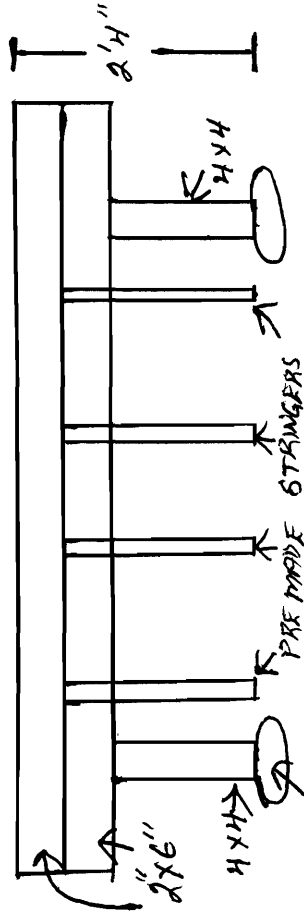
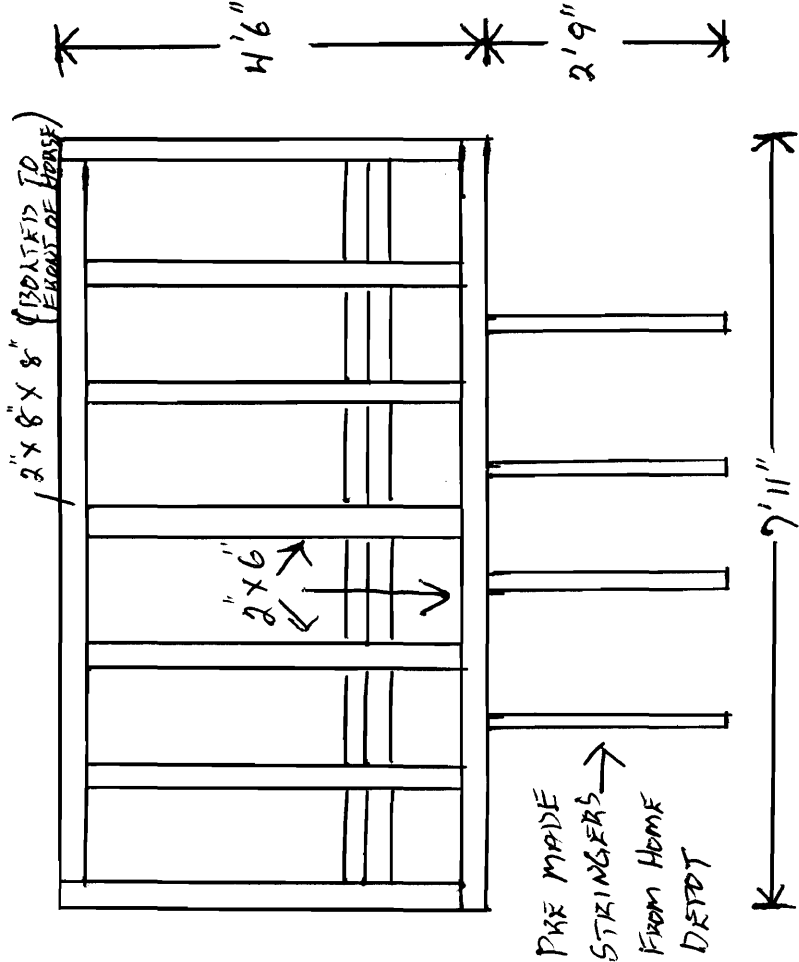


142 Hennessy Dr.

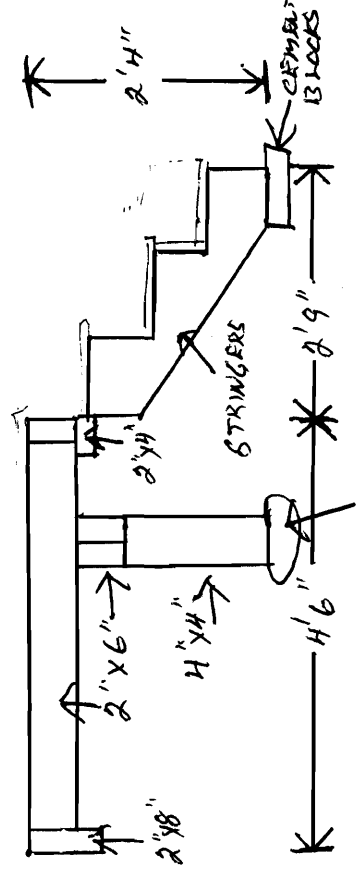
SUPPLEMENT INFORMATION FOR PERMIT NO. 990165 ISSUED MAR 3, 1999.

FOUNDATION OF THE FRONT STEPS WITH CONCRETE CEMENT MIXED - AND POURED INTO 10" TUBES AT A DEPT OF 4 1/2 FEET, GIVE OR TAKE A FEW INCHES. IT WILL BE THIS DEPT TO GO BELOW THE FROST LINE. THE FRONT OF THE STEPS WILL SIT ON PRE MADE CEMENT BLOCKS AND BARRIED TO GROUND LEVEL.

FRAMING DETAIL:



FRONT VIEW



CEMENT BASE 10" ROUND, 4 1/2 FEET DEEP

SIDE VIEW

TOP VIEW.