

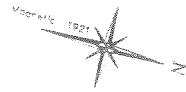
347-B-4

Pennell Ave.

3 lot Subdivision

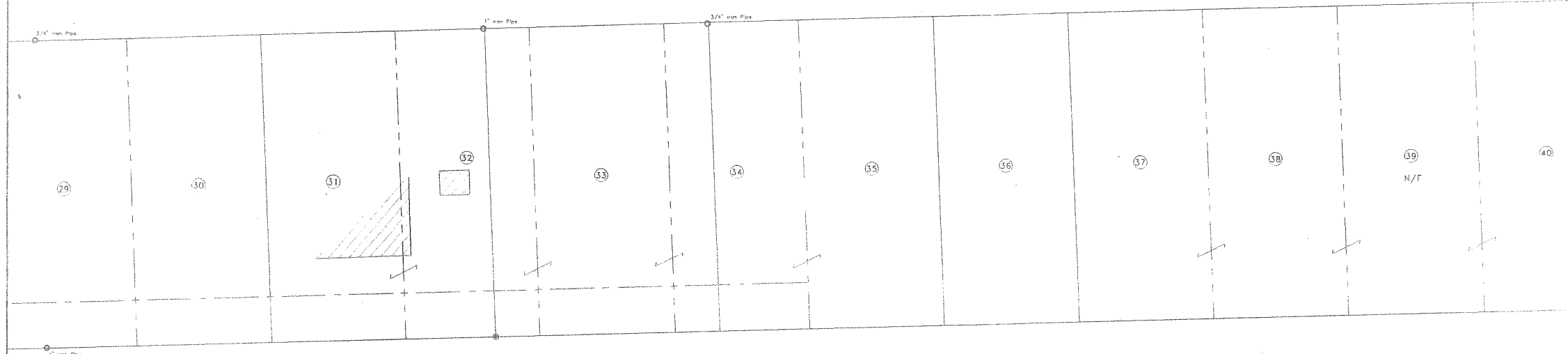
Diversified Prop.

2002-0212



⑤ TBM: Chiseled "C" on Northernly Side of Sewer Manhole Rim
Elevation = 83.40

LEGEND	
○	6" x 6" Monument set
⊙	Capped 5/8" iron rod set
○	Iron pin found
⊙	Utility pole
⊙	Sewer manhole
⊙	Storm drain manhole
⊙	Lot numbers per plan ref. 1
⊙	Lot numbers per plan ref. 2
---	Abutters lot line
---	Lot line per plan ref. 1
---	Easement line
▨	Existing building

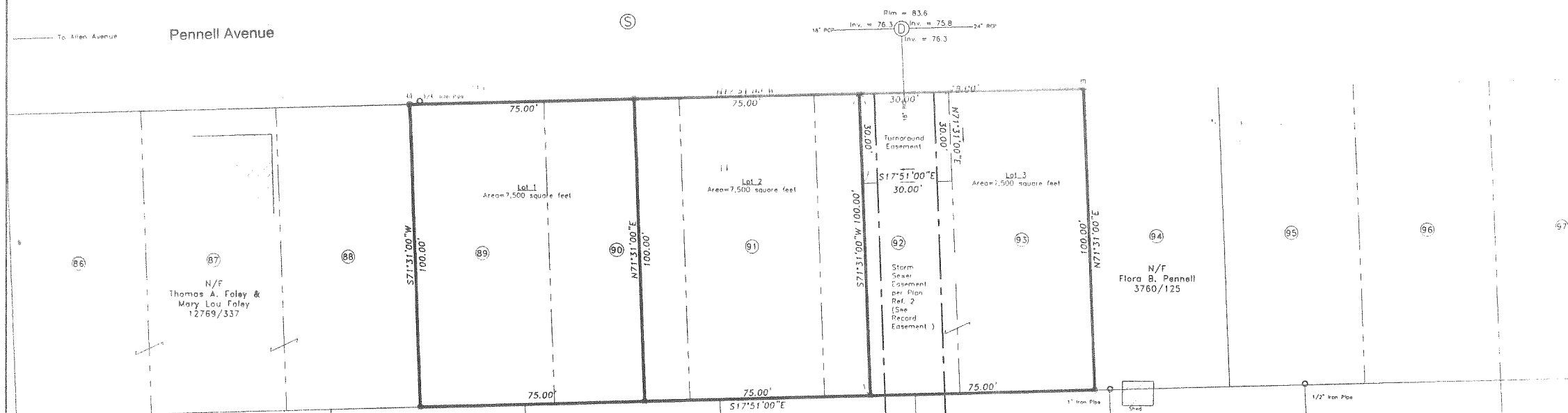


References

- 1) Plan of "The Hamsteads" by E.C. Jordan & Co. dated September, 1921. Recorded in the Cumberland County Registry of Deeds in Plan Book 14, Page 70.
- 2) Plan of "Hanson Mares, Portland, Maine" by George Abbotson dated March, 1901. Recorded in the Cumberland County Registry of Deeds in Plan Book 57, Page 69.
- 3) Amended Master Plan of "Washington Crossing Condominiums" by Sebago Technics dated October 10, 1997. Recorded in the Cumberland County Registry of Deeds in Plan Book 200, Page 91.

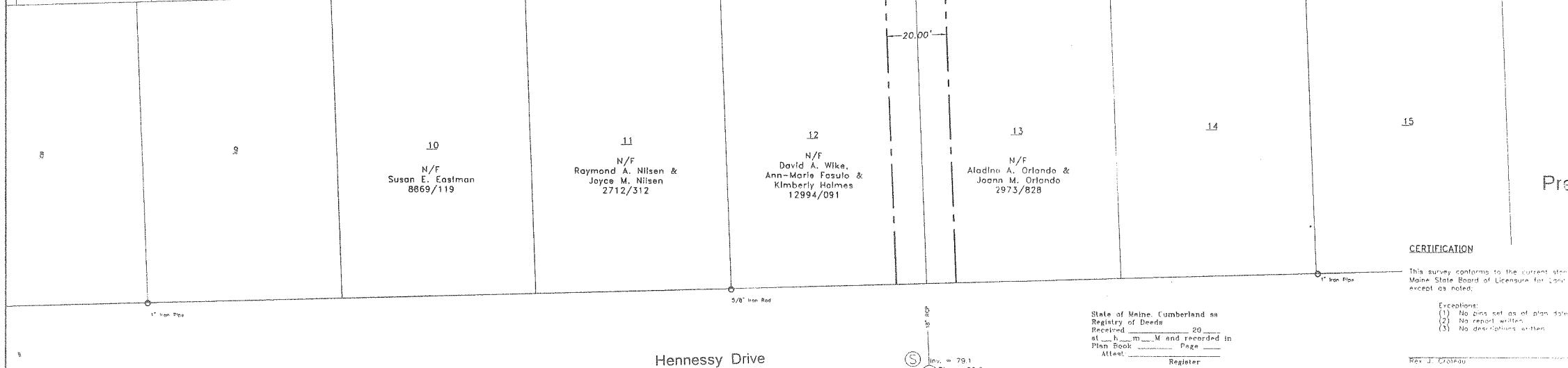
Easement(s) of Record

C.H. Hanson & Co. to the City of Portland 2650/308



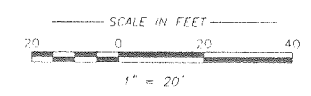
Notes

- 1) Bearings are based on Magnetic North 1921.
- 2) Utility information shown on this plan is approximate, based on field information, locations marked by stakes and information contained on plans and drawings. Prior to any excavation or construction, the appropriate utilities should be contacted.



Approved by the City of Portland Planning Board

Date: _____



Preliminary Plan

CERTIFICATION

This survey conforms to the current standards of the Maine State Board of Licensure for Land Surveyors except as noted:

Exceptions:
 (1) No pins set as of plan date
 (2) No report written
 (3) No descriptions written

Rev. J. Croshaw PLS #2277

State of Maine, Cumberland as
 Registry of Deeds
 Received _____ 20____
 at _____ m _____ M and recorded in
 Plan Book _____ Page _____
 Attest: _____
 Register

Standard Boundary Survey
 Minor Subdivision Plan
 Pennell Avenue Portland, Maine

MADE FOR
 Diversified Properties

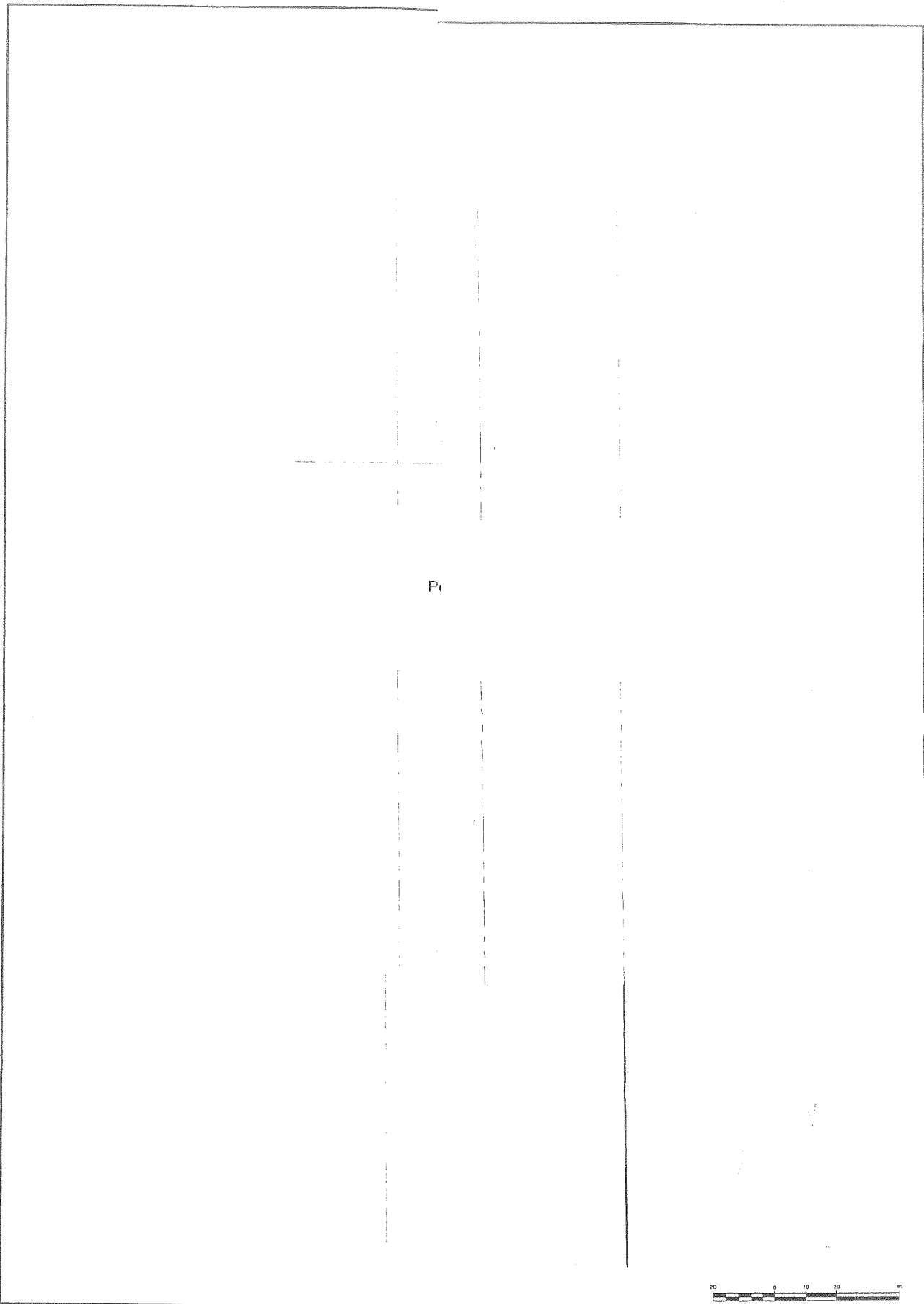
449 Forest Avenue Portland, Maine

JOB# 201047	DATE 06/30/01	SCALE: 1"=20'
BOOK# 729		
201047.dwg		
FILE# B277		

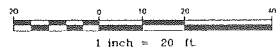
Tilcomb Associates
 133 Gray Road
 Falmouth, Maine 04105

Hennessy Drive

⑤ Inv. = 79.1
 ⑥ Rim = 86.0
 ⑦ Inv. = 80.2



Pi



Rev	Date	Revision

Issued For	Lots 4 & 5
	SNELL AVENUE EXTENSION
	DIVERSIFIED PROPERTIES 449 Forest Ave., Portland, Maine

Drawing No.
1

Att. 6



5 TBM: Chiseled "x" on Northernly Side of Sewer Manhole Rim Elevation = 83.40

LEGEND

⊙	6"x6" Monument set
⊗	Capped 5/8" iron rod set
○	Iron pin found
○	Utility pole
⊙	Sewer manhole
⊗	Storm drain manhole
①	Lot numbers per plan ref. 1
②	Lot numbers per plan ref. 2
---	Admitter's lot line
---	Lot line per plan ref. 1
---	Easement line
▨	Existing building

Additional Notes

- 1) Subdivision of the time of approval is defined as "Subdivision shall mean the division of a lot, tract or parcel of land into three (3) or more lots, including lots of forty (40) acres or more, within any five-year period whether accomplished by sale, lease, development, buildings or otherwise and as further defined in 30-A.M.R.S.A., Section 14-40. The term subdivision shall also include the division of a new structure or structures on a tract or parcel of land into three (3) or more dwelling units within a five-year period and the division of an existing structure or structures previously used for commercial or industrial use into three (3) or more dwelling units within a five-year period. The area included in the expansion of an existing structure is deemed to be a new structure for the purpose of this paragraph. A dwelling unit shall include any part of a structure which, through sale or lease, is intended for human habitation, including single-family and multi-family housing, condominiums, time-share units and apartments".
- 2) A minimum of two trees per unit shall be conserved or planted in the front yard of the units meeting the City of Portland Arboricultural Specification and Standard of Practice and Landscape Design Guidelines. Development may contract for the placement of landscaping, but shall remain ultimately liable to the City of Portland for financial obligation for compliance with City ordinances and approvals. Such financial obligation shall be neither transferable nor waivable by the developer.
- 3) The entire site shall be developed and or maintained as depicted on the plan. Approval of the Planning Authority or Planning Board shall be required for any alterations to or any deviations from the approved plan, including, without limitation, topography, drainage, landscaping, retention of wooded or lawn areas, access size, location, and surfacing of parking areas, and location and size of buildings.
- 4) Each lot shall require the submission of a minor site plan for review and approval prior to the issuance of a building permit and shall be subject to review pursuant to Article V (Site Plan) of Chapter 14 of the Portland City Code. All lots shall be graded and constructed to generally conform to the lot-grading plan shown on Sheet 2. Any changes which significantly deviate from the intended lot-grading plan, may only be approved by the Portland Planning Authority.

References

- 1) Plan of "The Hornsteins" by E.C. Jordan & Co. dated September, 1921. Recorded in the Cumberland County Registry of Deeds in Plan Book 14, Page 70.
- 2) Plan of "Hanson Manor, Portland, Maine" by George Wheaton dated March, 1961. Recorded in the Cumberland County Registry of Deeds in Plan Book 57, Page 69.
- 3) Amended Master Plan of "Washington Crossing Condominiums" by Sebago Technics dated October 10, 1997. Recorded in the Cumberland County Registry of Deeds in Plan Book 200, Page 91.

Easement(s) of Record
C.H. Hanson & Co. to the City of Portland 2650/368

Notes

- 1) Bearings are based on Magnetic North 1921
- 2) Book and Page references are to the Cumberland County Registry of Deeds
- 3) Utility information shown on this plan is approximate, based on field information locations marked by others and information contained on plans and drawings. Prior to any excavation or construction, the appropriate utilities should be contacted.

Area
Total Area of Lots 1-3 = 22,500 square feet

Approved by the City of Portland Planning Board

dated _____



CERTIFICATION

This survey conforms to the current standards of the Maine State Board of Licensure for Land Surveyors except as noted.

Exceptions:
 (1) No pins set as of plan date
 (2) No report written
 (3) No descriptions written

Rev. J. Crocena PLS #2273

State of Maine, Cumberland as
 Registry of Deeds
 Received _____ 20____
 at _____ m _____ and recorded in
 Plan Book _____ Page _____
 Attest _____
 Register

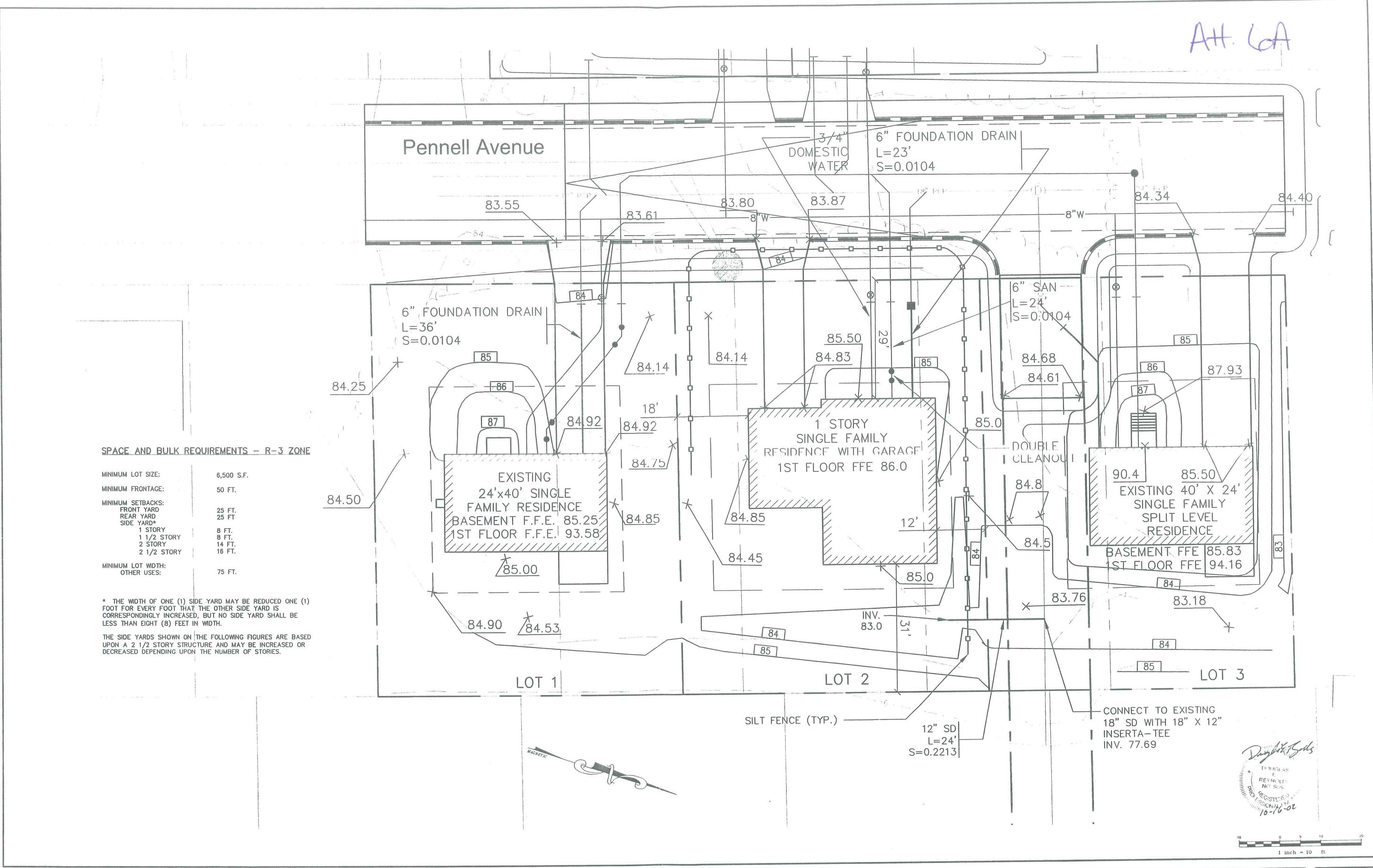
Standard Boundary Survey
Minor Subdivision Plan
 Pennell Avenue Portland, Maine

MADE FOR
**Diversified Properties
 &
 Construction Aggregate, Inc.**
 449 Forest Avenue Portland, Maine

JOB# 201047 DATE: 06/30/01 SCALE: 1"=20'
 BOOK# 729
 201047.dwg
 FILE# 8277

Tilcomb Associates
 133 Gray Road
 Falmouth, Maine 04105

Att. 6A



- SPACE AND BULK REQUIREMENTS - R-3 ZONE**
- MINIMUM LOT SIZE: 6,500 S.F.
 - MINIMUM FRONTAGE: 50 FT.
 - MINIMUM SETBACKS:
 - FRONT YARD: 25 FT.
 - REAR YARD: 25 FT.
 - SIDE YARD*:
 - 1 STORY: 8 FT.
 - 1 1/2 STORY: 8 FT.
 - 2 STORY: 14 FT.
 - 2 1/2 STORY: 16 FT.
 - MINIMUM LOT WIDTH: 75 FT.
 - OTHER USES:
- * THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.
- THE SIDE YARDS SHOWN ON THE FOLLOWING FIGURES ARE BASED UPON A 2 1/2 STORY STRUCTURE AND MAY BE INCREASED OR DECREASED DEPENDING UPON THE NUMBER OF STORIES.

S:\Land Projects\482_5.dwg 182_5-sp-without-middle-lot.dwg LOT LAYOUT - 10/15/2002 12:41:12 PM

Rev.	Date	Revision	Issued For	Date	By

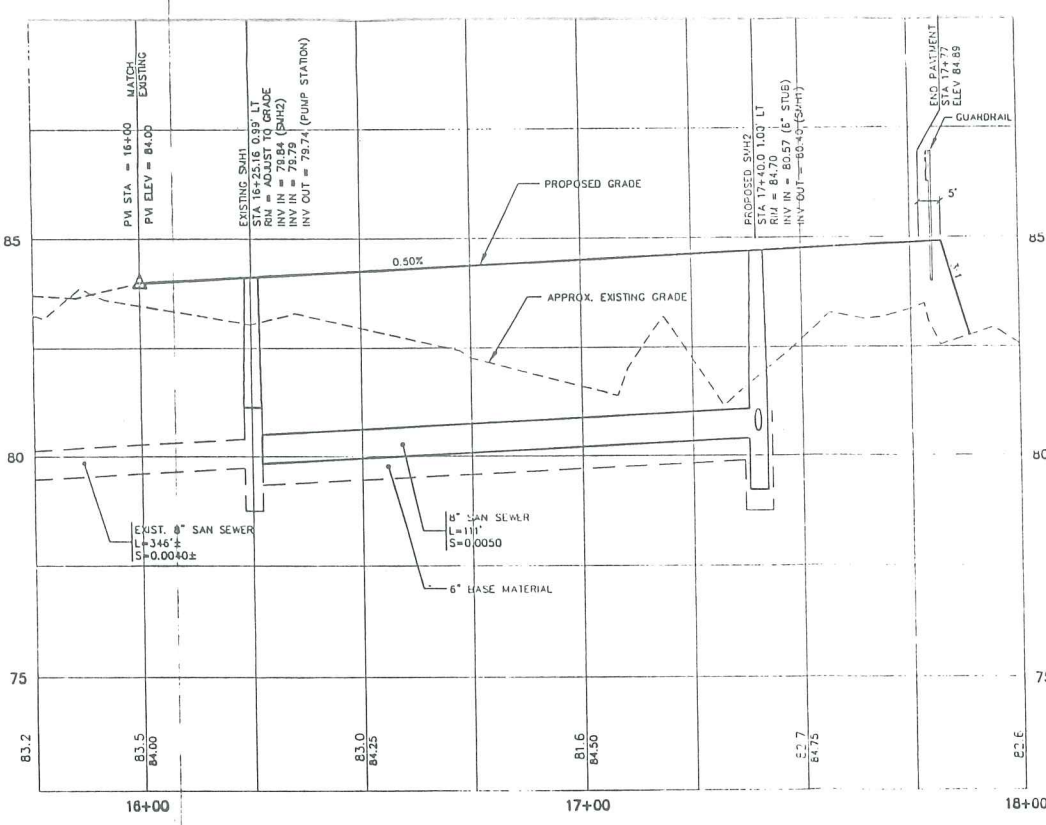
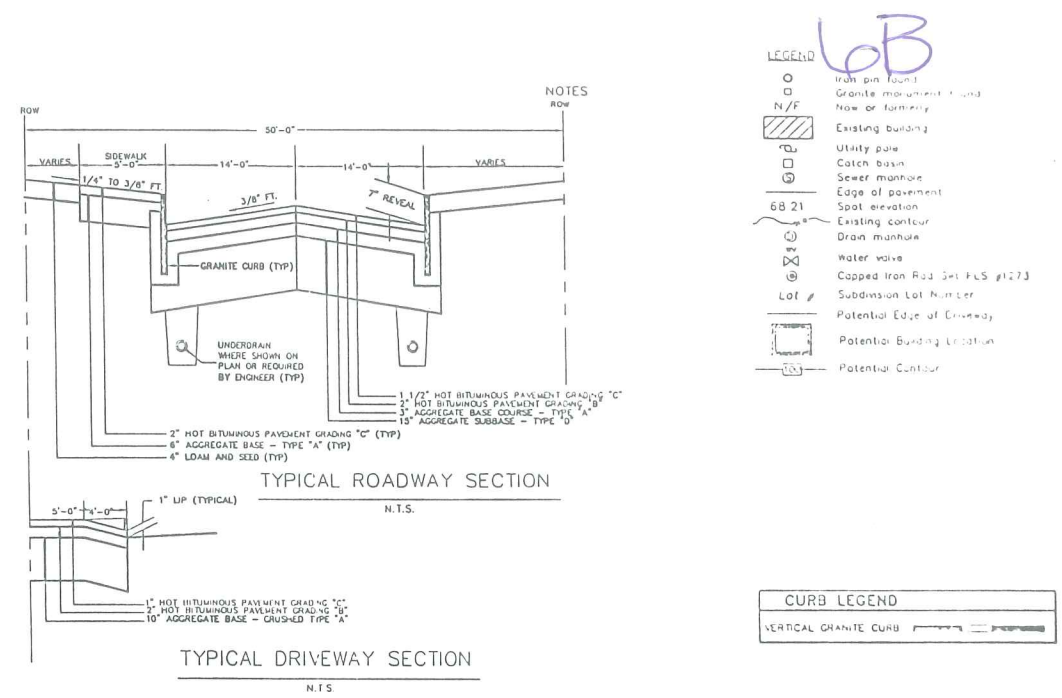
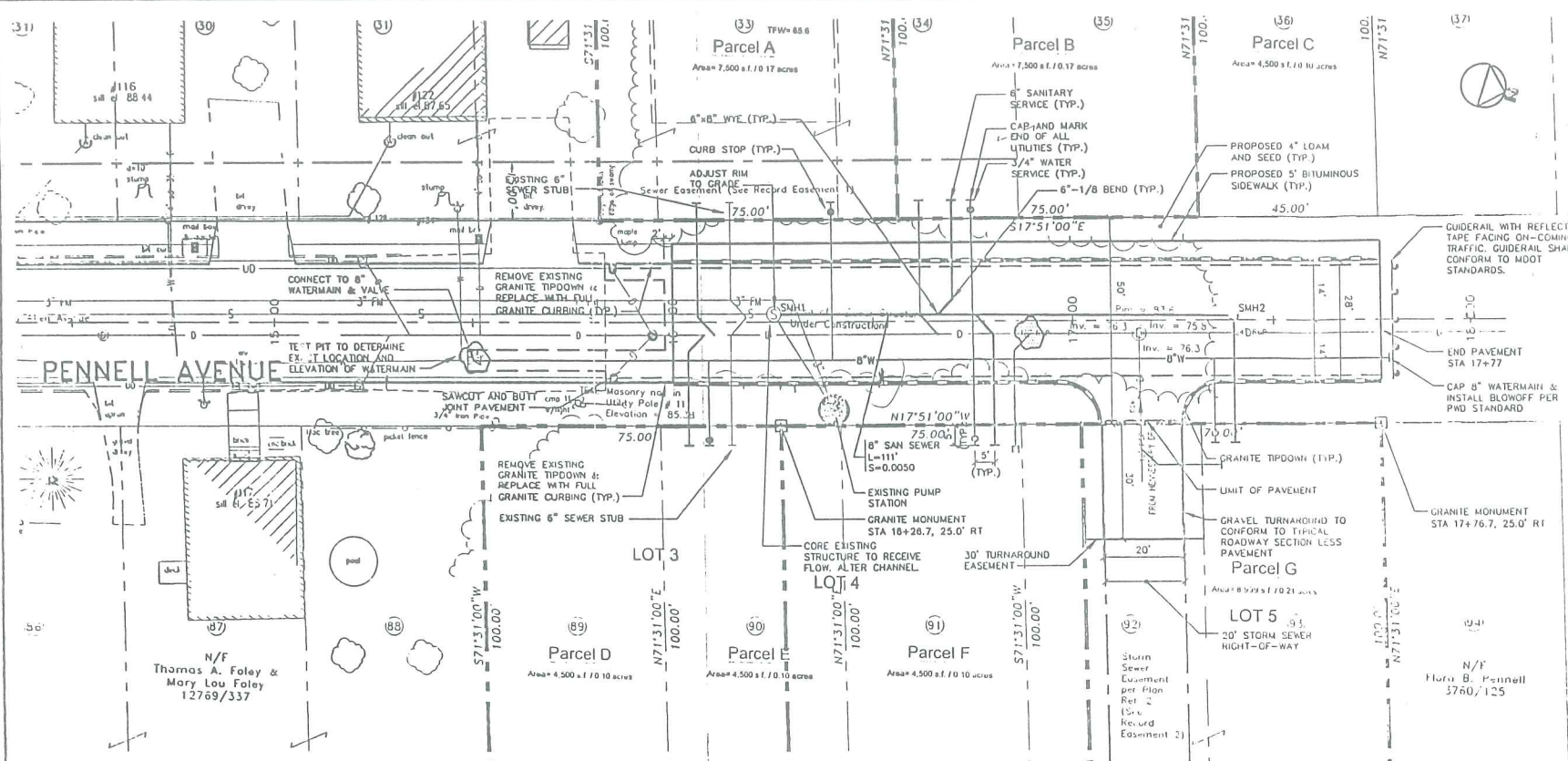
Design: DER Draft: SGB Date: OCT 2002
 Checked: AMP Scale: AS SHOWN Job No.: 425
 File Name: 482_5-sp-without-middle-lot
 This plan shall not be modified without written permission from Gorrill-Palmer Consulting Engineers, Inc.(GPCEI). Any alterations, authorized or otherwise, shall be at the user's sole risk and without liability to GPCEI.

GP Gorrill-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services
 PO Box 1137 207-657-6910
 15 Shaker Road FAX: 207-657-6912
 Gray, ME 04039 E-Mail: miaibox@gorrillpalmer.com

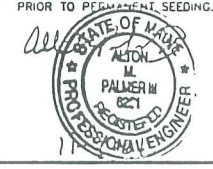
Drawing Name: **Grading & Drainage Plan, Lots 1, 2 & 3**
 Project: **PENNELL AVENUE EXTENSION**
 Client: **DIVERSIFIED PROPERTIES, INC. & CONSTRUCTION AGGREGATE, INC.**
 449 Forest Ave., Portland, Maine

Drawing No. **2**





- GENERAL NOTES**
- TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2001.
 - THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL NECESSARY BARRICADES, LIGHTS, WARNING SIGNS AND OTHER DEVICES TO SAFEGUARD TRAFFIC PROPERLY WHILE WORK IS IN PROGRESS.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
 - ALL MATERIAL SCHEDULES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL PREPARE HIS OWN MATERIAL SCHEDULES BASED UPON HIS PLAN REVIEW. ALL SCHEDULES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS OR PERFORMING WORK.
 - ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO CITY OF PORTLAND AND MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
 - NO PUBLIC SERVICES (I.E. SNOW PLOWING, TRASH REMOVAL, LIGHTING) WILL BE PROVIDED UNLESS AND UNTIL THIS SECTION OF PENNELL AVENUE IS ACCEPTED BY THE CITY COUNCIL.
- LAYOUT NOTES**
- ALL DIMENSIONING, UNLESS NOTED OTHERWISE, IS TO THE FACE OF CURB.
 - OFFSETS TO CATCH BASINS AND MANHOLES ARE TO THE CENTER OF THE FRAME.
 - PIPE LENGTH EQUALS THE CENTER TO CENTER DISTANCES BETWEEN CATCH BASINS AND/OR MANHOLES MINUS ONE-HALF OF THE DIAMETER OF EACH CATCH BASIN OR MANHOLE.
 - PROPERTY LINE AND R.O.W. MONUMENTS SHALL NOT BE DISTURBED BY CONSTRUCTION. IF DISTURBED, THEY SHALL BE RESET TO THEIR ORIGINAL LOCATIONS AT THE CONTRACTOR'S EXPENSE, BY A MAINE REGISTERED LAND SURVEYOR.
 - PROPOSED RIGHT OF WAY MONUMENTS AND PROPERTY LINE PINS SHALL BE INSTALLED UNDER THE DIRECTION OF A MAINE REGISTERED LAND SURVEYOR.
- UTILITY NOTES**
- ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. ALL WATER DISTRIBUTION PIPING SHALL BE CLASS 52 DUCTILE IRON PIPE, DOUBLE CEMENT LINED AND BITUMINOUS COATED CONFORMING TO AWWA/A21.4. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
 - THRUST BLOCKS OR LOCKING RETAINER GLANDS SHALL BE PLACED ON THE WATER DISTRIBUTION LINES AND FORCE MAIN AT ALL BENDS, TEES, FIRE HYDRANTS, VALVES, CHANGES IN DIRECTION, ETC. THE THRUST BLOCKS OR LOCKING RETAINER GLANDS SHALL MEET THE REQUIREMENTS OF THE PORTLAND WATER DISTRICT STANDARDS.
- GRADING AND DRAINAGE NOTES**
- UNLESS OTHERWISE NOTED, ALL STORM DRAIN PIPE SHALL BE IN ACCORDANCE WITH MDOT SPECIFICATIONS SECTION 603-- PIPE CULVERTS AND STORM DRAINS, LATEST REVISION WITH THE EXCEPTION THAT THE ONLY ACCEPTABLE TYPES OF PIPE ARE AS FOLLOWS:
REINFORCED CONCRETE PIPE, CLASS III
POLYVINYL-CHLORIDE (PVC) PIPE
SMOOTH BORE POLYETHYLENE - ADS OR HANCOR
 - TOPSOIL STRIPPED IN AREAS OF CONSTRUCTION THAT IS SUITABLE FOR REUSE AS LOAM SHALL BE STOCKPILED ON SITE AT A LOCATION TO BE DESIGNATED BY THE OWNER. UNSUITABLE SOIL SHALL BE SEPARATED, REMOVED AND DISPOSED OF AT AN APPROVED DISPOSAL LOCATION OFF SITE.
 - THE CONTRACTOR SHALL ANTICIPATE THAT GROUNDWATER WILL BE ENCOUNTERED DURING CONSTRUCTION AND SHALL INCLUDE SUFFICIENT COSTS WITHIN THEIR BID TO PROVIDE DEWATERING AS NECESSARY. NO SEPARATE PAYMENT SHALL BE MADE TO THE CONTRACTOR FOR DEWATERING.
- EROSION CONTROL NOTES**
- LAND DISTURBING ACTIVITIES SHALL BE ACCOMPLISHED IN A MANNER AND SEQUENCE THAT CAUSES THE LEAST PRACTICAL DISTURBANCE OF THE SITE.
 - ALL GROUND AREAS DISTURBED FOR CONSTRUCTION WILL BE GRADUALLY LOAMED AND SEED AS SOON AS POSSIBLE.
 - PRIOR TO PAVING, THE CONTRACTOR SHALL FLUSH SILT FROM ALL STORM DRAIN LINES.
 - ALL CATCH BASINS WITH OUTLET PIPES 15" DIAMETER OR LESS SHALL BE PROVIDED WITH CASCO TRAPS PER DETAIL.
 - SILT REMOVED FROM AROUND INLETS SHALL BE PLACED ON A TOPSOIL STOCKPILE AND MIXED INTO IT FOR LATER USE IN LANDSCAPING OPERATIONS.
 - ALL NON-PAVED AREAS DISTURBED DURING CONSTRUCTION SHALL BE LOAMED AND SEED, UNLESS OTHERWISE DIRECTED BY THE OWNER.
 - ALL DISTURBED AREAS ARE TO RECEIVE A MINIMUM OF 4" OF TOPSOIL PRIOR TO PERMANENT SEEDING.



NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES AND SHALL NOT BE USED FOR CONSTRUCTION.

Rev	Date	Revision

MUNICIPAL REVIEW	Date	By
	11/8/01	AMP

Design: MSH	Draft: DB	Date: OCT 2001
Checked: AMP	Scale: AS SHOWN	Job No.: 425
File Name: 425-SP DWC		
This plan shall not be modified without written permission from Gorrill-Palmer Consulting Engineers, Inc. (GPCEI). Any alterations, authorized or otherwise, shall be at the user's sole risk and without liability to GPCEI.		

Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
PO Box 1237
26 Main Street
Gray, ME 04039
207-657-6910
207-657-6912
E-Mail: gpcei@maine.rr.com

Drawing Name:	PLAN & PROFILE
Project:	PENNELL AVENUE EXTENSION
Client:	DIVERSIFIED PROPERTIES 449 Forest Ave., Portland, Maine

Drawing No
1