

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

DEPARTMENT OF BUILDING INSPECTION

PERMIT

Please Read Application And Notes, If Any, Attached

PERMIT ISSUED  
Permit Number: 051191  
DEC 15 2005  
CITY OF PORTLAND

This is to certify that MARDIGAN STEPHEN / East Coast Development LLC

has permission to Single family Home w/ 1 car attached garage & deck

AT 144 PLYMOUTH ST

Call 345 A010001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work on permit must be completed before this building or part thereof is occupied or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

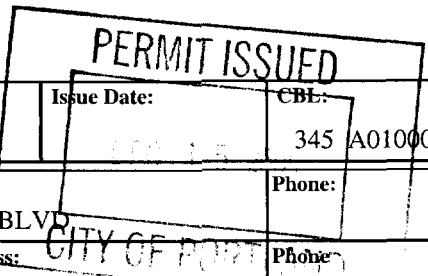
*James Bourke* 10/19/05  
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-119	Issue Date: FEB 15	CBL: 345 A010001
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<b>Location of Construction:</b> 144 PLYMOUTH ST	<b>Owner Name:</b> MARDIGAN STEPHEN	<b>Owner Address:</b> 460 BAXTER BLVD	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> East Coast Development LLC	<b>Contractor Address:</b> P.O. Box 3561 Portland	<b>Phone:</b> 2074157586
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Single Family	<b>Zone:</b> R-3

<b>Past Use:</b> Vacant Land	<b>Proposed Use:</b> Single Family Home / Single family Home w/ 1 car attached garage & deck	<b>Permit Fee:</b> \$1,221.00	<b>Cost of Work:</b> \$125,000.00	<b>CEO District:</b> 5
Single family Home w/ 1 car attached garage & deck		<b>FIRE DEPT:</b> <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<b>INSPECTION:</b> Use Group R3 Type SB	
		Signature: _____		Signature: <i>AMB 10/19/05</i>
<b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b>				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

<b>Permit Taken By:</b> ldobson	<b>Date Applied For:</b> 05/19/2005	<b>Zoning Approval</b>		
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <i>YA</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 7 Zone X</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2005-0189</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date: _____	Date: _____	Date: _____

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE	

# All Purpose Building Permit Application

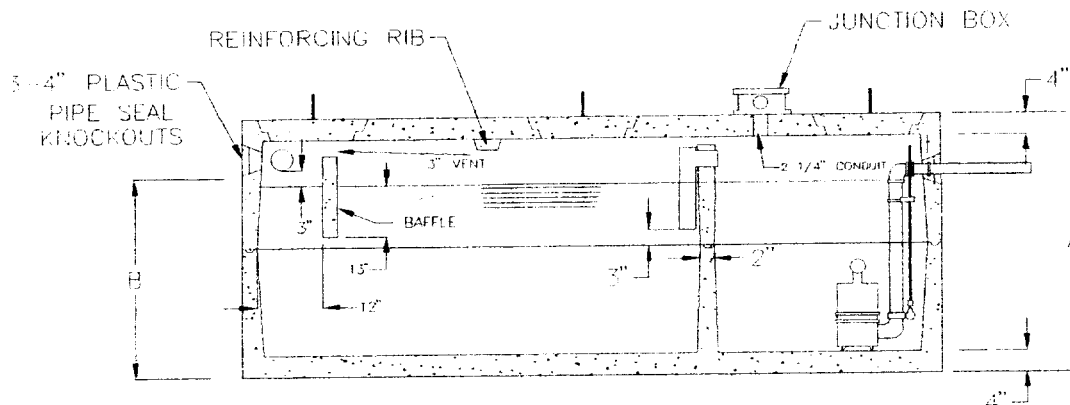
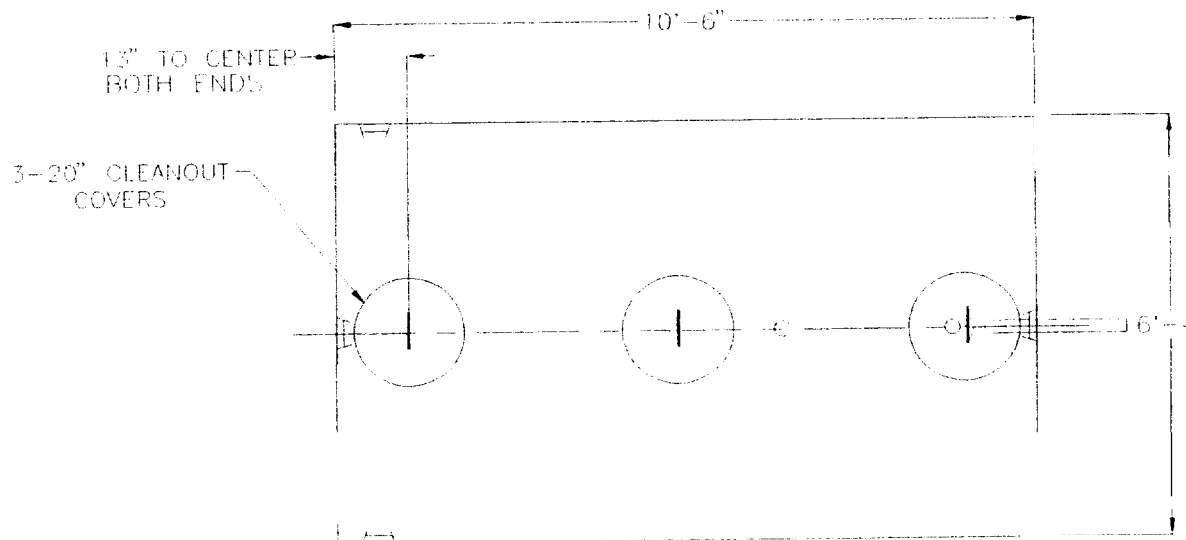
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

<i>Plymouth St</i>		
Total Square Footage of Proposed Structure <i>1,764 sq. ft</i>	Square Footage of Lot <i>8,000 sq ft</i>	
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <i>345-A-9+10</i>	Owner: <i>Stephen E. Mandigan</i>	Telephone: <i>(207) 772-5555</i>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <i>Stephen E. Mandigan 460 Baxton Blvd. Portland, Me 04103</i>	Cost Of Work: <i>\$125,000.00</i>  Fee: \$
<u>  <i>Build</i>  </u> <u>  <i>Lot</i>  </u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <i>For Single Family Home w/ attached garage and deck.</i>		
Project description: <i>Construct single family home w/ attached (1) car garage and deck.</i>		
Contractor's name, address & telephone: <i>East Coast Develop L-L-C P.O. Box 3561 Portland, Me 04104</i>		
Who should we contact when the permit is ready: <i>Joe Robinson</i>		
Mailing address: <i>P.O. Box 3561 Portland, Me 04104</i>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up.      PHONE: <i>207 (415) 7586</i>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

Signature of applicant: <i>ASB</i>	Date: <i>8-18-05</i>
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ermif, you ma



NOTES:

1. CONCRETE: 4000 PSI AFTER 28 DAY
2. REINFORCING: 6X6/10X10 W.W.M. & FIBERS
3. KEYED JOINT SEALED WITH BUTYL RUBBER
4. EXCAVATION MUST BE AT LEAST 12" LONGER AND WIDER THAN TANK SIZE.

	LIQUID CAPACITY (GALLONS)	TOTAL HEIGHT A	INLET INVERT HEIGHT B	WEIGHT (LBS)
	750/250	49"	38"	9500
3 Bed*	1000/250	56"	45"	10500
	1000/500	64"	53"	11000
4 Bed	1500/500	76"	64"	12500

**RICHARD GENEST, INC**

**TWO COMPARTMENT  
SEPTIC/PUMP TANK**

**Exhibit A  
Parcel 2**

**Certain lots or parcels of land located on the westerly side of Plymouth Street, County of Cumberland and State of Maine currently known as Tax Map and Lots 345-A-9 & 10 as shown on the maps of the Tax Assessor for the City of Portland for the fiscal year 2002, on file in the office of said tax assessor, said lots more particularly described as follows:**

**Two certain lots located on the aforementioned Plymouth Street, previously known as lots 41 and 42 as shown on plan entitled "Deering Villa by C.A. Thayer, Engr. Dated June 1907 and recorded in the Cumberland County Registry of Deeds in Plan Book 11, Page 71,**

**Said lots also shown as Parcel 2, on a plan entitled "Boundary Survey/Site Plan Plymouth Street Portland, Maine" for Stephen Mardigan dated January 17, 2003 produced by Back Bay Boundary, Inc 65 Newbury Street Portland, Maine, said plan recorded in the aforementioned Registry of Deeds in Plan Book 203, Page 521.**

**Said lot containing 8000 square feet more or less.**

**Meaning and intending to convey a portion of the premises conveyed to Stephen Mardigan from the City of Portland as described in a Quitclaim Deed dated June 26, 2002 and recorded in the Cumberland County Registry of Deeds in Book 17980, Page 123**

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Zoning Copy**

**2005-0189**

Application I. D. Number

**8/19/2005**

Application Date

**single family Home**

Project Name/Description

**Mardigan Stephen**

Applicant

**460 Baxter Blvd , Portland, ME 04103**

Applicant's Mailing Address

**Marge Schmuckal**

Consultant/Agent

**Agent Ph:** \_\_\_\_\_ **Agent Fax:** \_\_\_\_\_

Applicant or Agent Daytime Telephone, Fax

**144 - 144 Plymouth St, Portland, Maine**

Address of Proposed Site

**345 A010001**

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

**1764** \_\_\_\_\_ **8000** \_\_\_\_\_

Proposed Building square Feet or # of Units \_\_\_\_\_ Acreage of Site \_\_\_\_\_ Zoning \_\_\_\_\_

**Check Review Required:**

- |  |  |  |  |
|--|--|--|--|
| <input type="checkbox"/> Site Plan (major/minor)         | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                    | <input type="checkbox"/> Shoreland                   | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance             | <input type="checkbox"/> Other _____           |  |

Fees Paid: Site Pla \$50.00 Subdivision \_\_\_\_\_ Engineer Review \$250.00 Date 8/19/2005

**Zoning Approval Status:**

Reviewer \_\_\_\_\_

- Approved**  **Approved w/Conditions** See Attached  **Denied**

Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets Attached

Condition Compliance \_\_\_\_\_ signature \_\_\_\_\_ date \_\_\_\_\_

**Performance Guarantee**  **Required'**  **Not Required**

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

- |   |                            |  |                             |
|---|----------------------------|--|-----------------------------|
| <input type="checkbox"/> Performance Guarantee Accepted     | _____ date _____           | _____ amount _____                                 | _____ expiration date _____ |
| <input type="checkbox"/> Inspection Fee Paid                | _____ date _____           | _____ amount _____                                 |                             |
| <input type="checkbox"/> Building Permit Issue              | _____ date _____           |  |                             |
| <input type="checkbox"/> Performance Guarantee Reduced      | _____ date _____           | _____ remaining balance _____                      | _____ signature _____       |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ date _____           | <input type="checkbox"/> Conditions (See Attached) | _____ expiration date _____ |
| <input type="checkbox"/> Final Inspection                   | _____ date _____           | _____ signature _____                              |                             |
| <input type="checkbox"/> Certificate Of Occupancy           | _____ date _____           |  |                             |
| <input type="checkbox"/> Performance Guarantee Released     | _____ date _____           | _____ signature _____                              |                             |
| <input type="checkbox"/> Defect Guarantee Submitted         | _____ submitted date _____ | _____ amount _____                                 | _____ expiration date _____ |
| <input type="checkbox"/> Defect Guarantee Released          | _____ date _____           | _____ signature _____                              |                             |

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 05-1191	<b>Date Applied For:</b> 08/19/2005	<b>CBL:</b> 345 A010001
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<b>Location of Construction:</b> 144 PLYMOUTH ST	<b>Owner Name:</b> MARDIGAN STEPHEN	<b>Owner Address:</b> 460 BAXTER BLVD	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> East Coast Development LLC	<b>Contractor Address:</b> P.O. Box 3561 Portland	<b>Phone</b> (207) 415-7586
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Single Family	

<b>Proposed Use:</b> Single Family Home / Single family Home w/ 1 car attached garage	<b>Proposed Project Description:</b> Single family Home w/ 1 car attached garage & deck
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 08/26/2005

**Note:** 08/24/2005 only 1 parking space is show where two are required - left message for Stephen Mardigan that I needed revised plans  
8/26/05 received revised plans showing extra parking      **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted on 8/26/05. Any deviations shall require a separate approval before starting that work.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) Separate permits shall be required for future decks, sheds, pools, and/or garages.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 10/19/2005

**Note:** 9/20/05 spoke w/Joe R., will fax the review checklist for revisions.  
10/7 received revisions      **Ok to Issue:**   
10/11 left vm w/Joe R. For more details as was noted on the review checklist.  
10/17 received revised pdf

- 1) The design load spec sheets for any engineered beam(s) must be submitted to this office.
- 2) A copy of the enclosed chimney disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.
- 3) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 4) 2nd floor 10' beam must point load to lally & footing

**Dept:** DRC      **Status:** Approved with Conditions      **Reviewer:** Jay Reynolds      **Approval Date:** 09/15/2005

**Note:**      **Ok to Issue:**

- 1) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 2) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.
- 3) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 4) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 5) A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 6) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

1/20/05

144 Plymouth  
148 Plymouth

345-A-10

# 05-1191  
# 05-1189-345-A-10

(Need 1/17 or Pdf)

ONE AND TWO FAMILY		PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1)			
Component	Submitted Plan	Findings	Revisions
<b>STRUCTURAL</b>			
Footings/Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	4' 20x10 16x10 garage		OK
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	drain, Stone, Filter, bituminous		OK
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	N/A		
Anchor Bolts/Straps, spacing (Section R403.1.6)	1/2" x 12" 6" o.c. & cones		OK
Lally Column Type (Section R407)			
Girder & Header Spans (Table R 502.5(2))	7'0 span		
Built-Up Wood Center Girder Dimension/Type			
Sill/Band Joist Type & Dimensions	2x6 PT 2x10 Box		
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10 16" O.C.		OK
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10 16" O.C.		OK
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	N/A		

0.00



Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8))	8:12, 12:12, 3, 7:12	OK
Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	Trusses - 24" O.C. gauge. 2x10 16' o.c.	OK
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	3/4 Adv. 7/16 Adv. 5/8 OSB H-chip 1/2 Roof	OK
Fastener Schedule (Table R602.3(1) & (2))	Table per IBC 2003	OK
<b>Private Garage</b> (Section R309) Living Space? (Above or beside)		
Fire separation (Section R309.2) Opening Protection (Section R309.1)	5/8 X Ceiling walls	OK
Emergency Escape and Rescue Openings (Section R310)	egress as noted on plans	OK
Roof Covering (Chapter 9)	Asphalt shingles	OK
Safety Glazing (Section R308)	N/A	2
Attic Access (Section R807)	?	2
Chimney Clearances/Fire Blocking (Chap. 10)	exterior wall - bump out	<del>2</del>
Header Schedule (Section 502.5(1) & (2))	5 1/4 x 9 1/4 parakum - Dining 10' 6" - Point load off	3
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factors	R-19 (20' and 7' 11" further) ceiling.	4

2 FHW Oil

Type of Heating System	
<b>Means of Egress</b> (Sec R311 & R312)	
Basement	
Number of Stairways	
Interior	
Exterior	
Treads and Risers (Section R311.5.3)	
Width (Section R311.5.1)	
Headroom (Section R311.5.2)	
Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)	
Smoke Detectors (Section R313) Location and type/Interconnected	
Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)	
Deck Construction (Section R502.2.1)	

JK

2x10 16' u.c. Joists  
(3) 2x10

JK

Big Foot - 3 min.

Applicant: Stephen E. MANDIGAN

Date: 8/24/05

Address: - 144 Plymouth St

C-B-L: 345-A-001

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New Development

# 05-1191

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - to construct New Single Family Dwelling

26x28  
with attached  
metal garage = 13x12 rear  
14x22 deck

Sevage Disposal - City

Lot Street Frontage - 50' min - 80' shown

Front Yard - 25' min - 25' exactly

Rear Yard - 25' min - 36' scaled

Side Yard - 14' min 10' & 29' shown can reduce one side to no less than 8' if add on to the other side

Projections - 12x12 rear deck - 6x7 rear bulkhead - 3x5' front stoop & stairs  
Side Chimney 2x5

Width of Lot - 65' min - 80' shown

Height - 35' max - 24' scaled

Lot Area - 6,500 sq ft - 8,000 sq ft

Lot Coverage/Impervious Surface - 35% max of 2800 sq ft max

Area per Family - 6,500 sq ft

Needs 1 more parking space

Off-street Parking - 2 parking spaces req - only showing 1 car garage

Loading Bays - N/A

Site Plan - minor/minor #2005-0189

Shoreland Zoning/Stream Protection - N/A

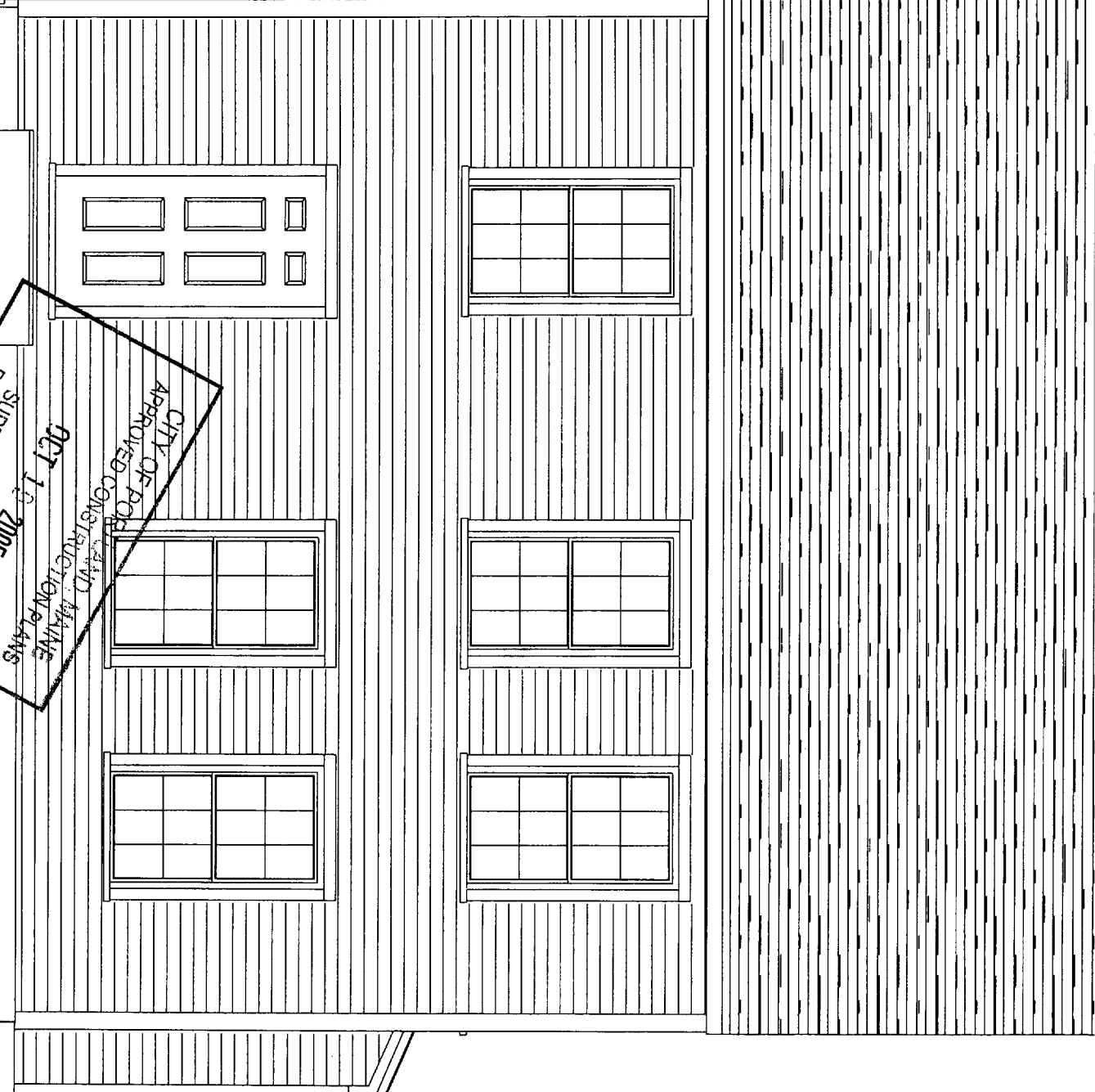
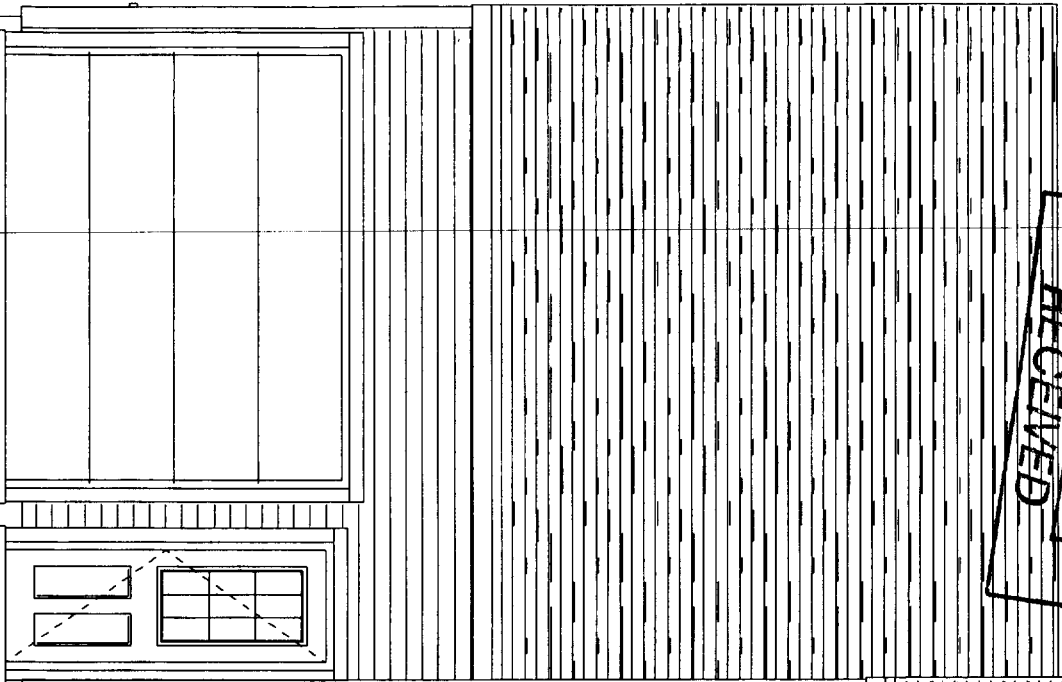
Flood Plains - Panel 7 c zone

14x22  
26x28 = 728  
14x22 = 308  
12x12 = 144  
6x7 = 42  
3x5 = 15  
2x5 = 10

1247 sq ft

revised plans received 8/26/05 showing one extra space on side of Bldg

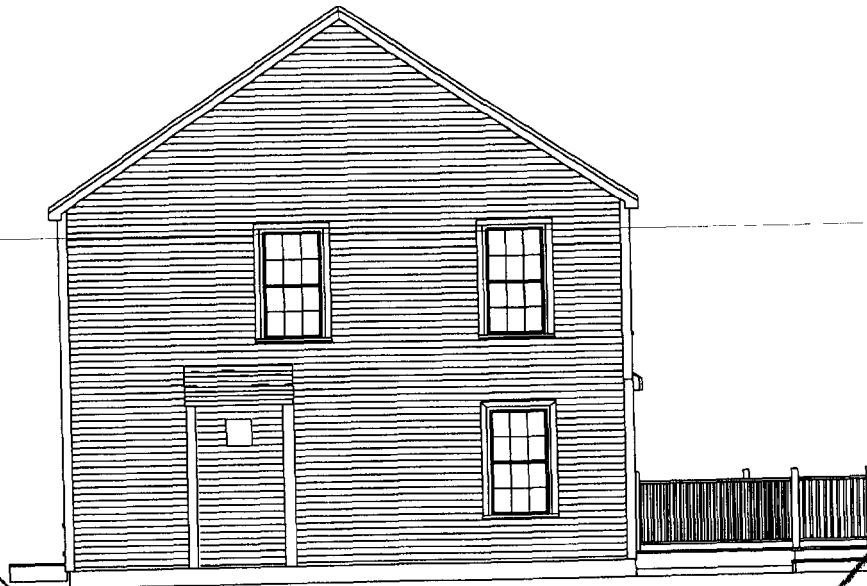
DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
OCT 17 2005  
RECEIVED



FRONT ELEVATION

CITY OF PORTLAND  
APPROVED FOR CONSTRUCTION PLANS  
OCT 10 2005  
SUPERSEDES ALL  
PRIOR DATED PLANS

#50



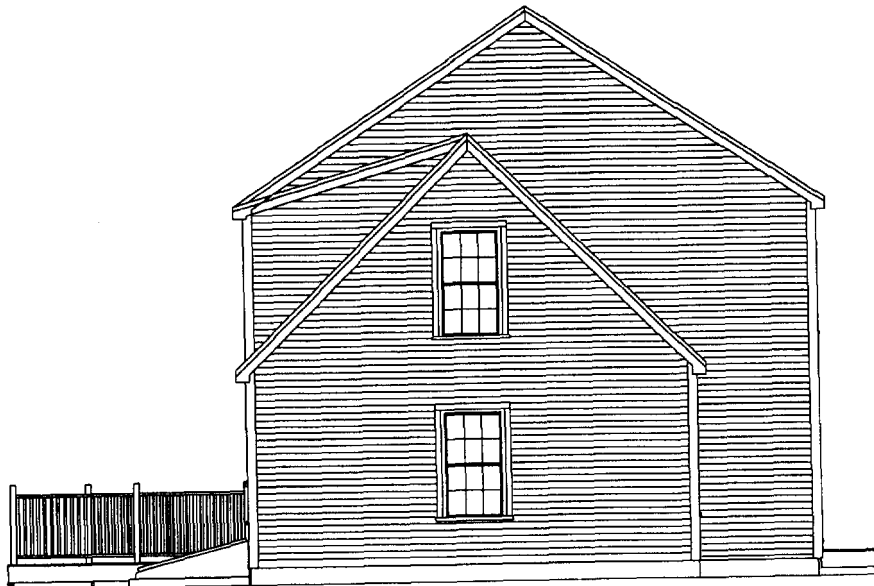
RIGHT ELEVATION

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
OCT 17 2005  
RECEIVED

CITY OF PORTLAND, MAINE  
APPROVED CONSTRUCTION PLANS  
OCT 10 2005  
SUPERSEDES ALL  
PRIOR DATED PLANS

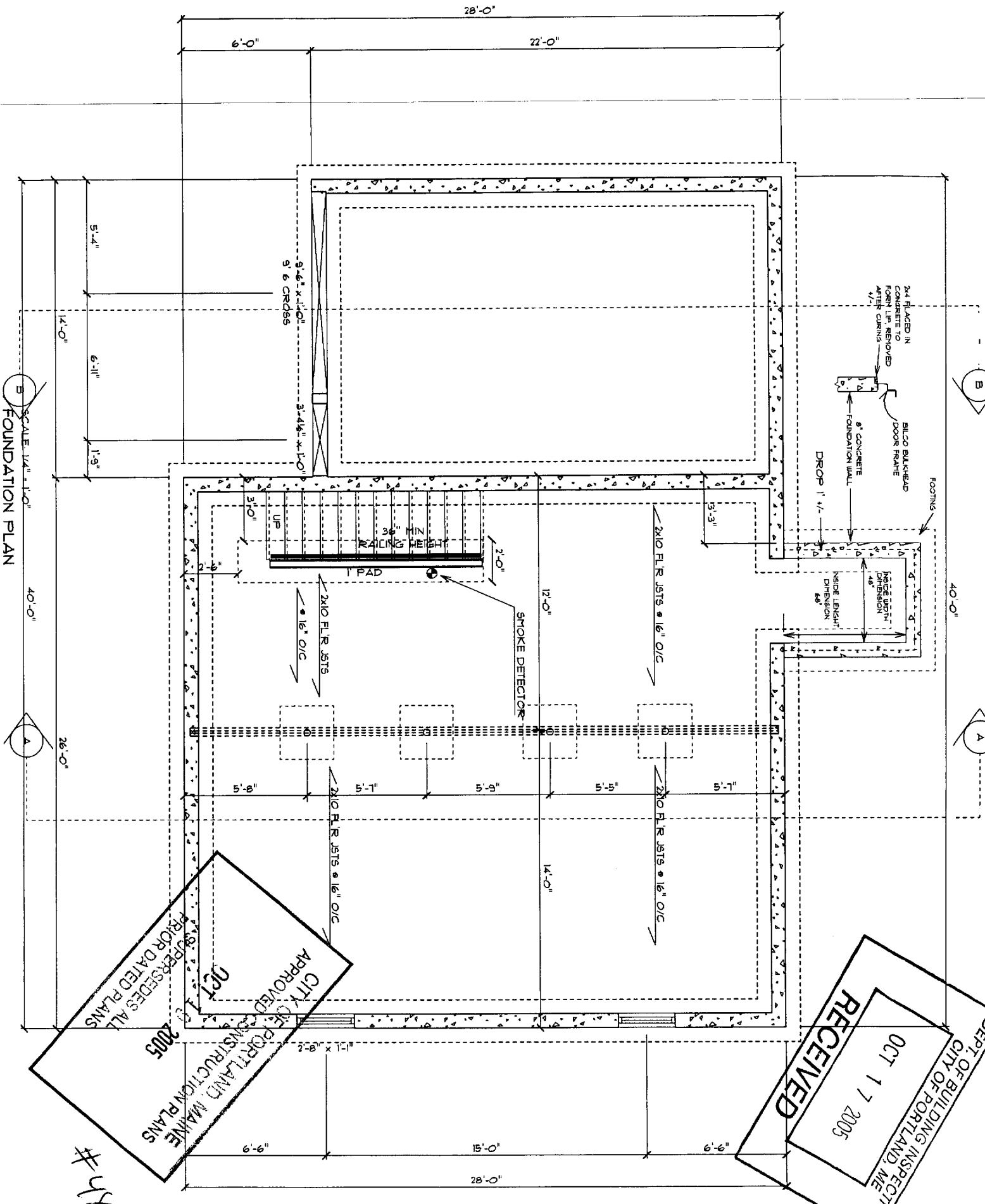


REAR ELEVATION



LEFT ELEVATION

#5

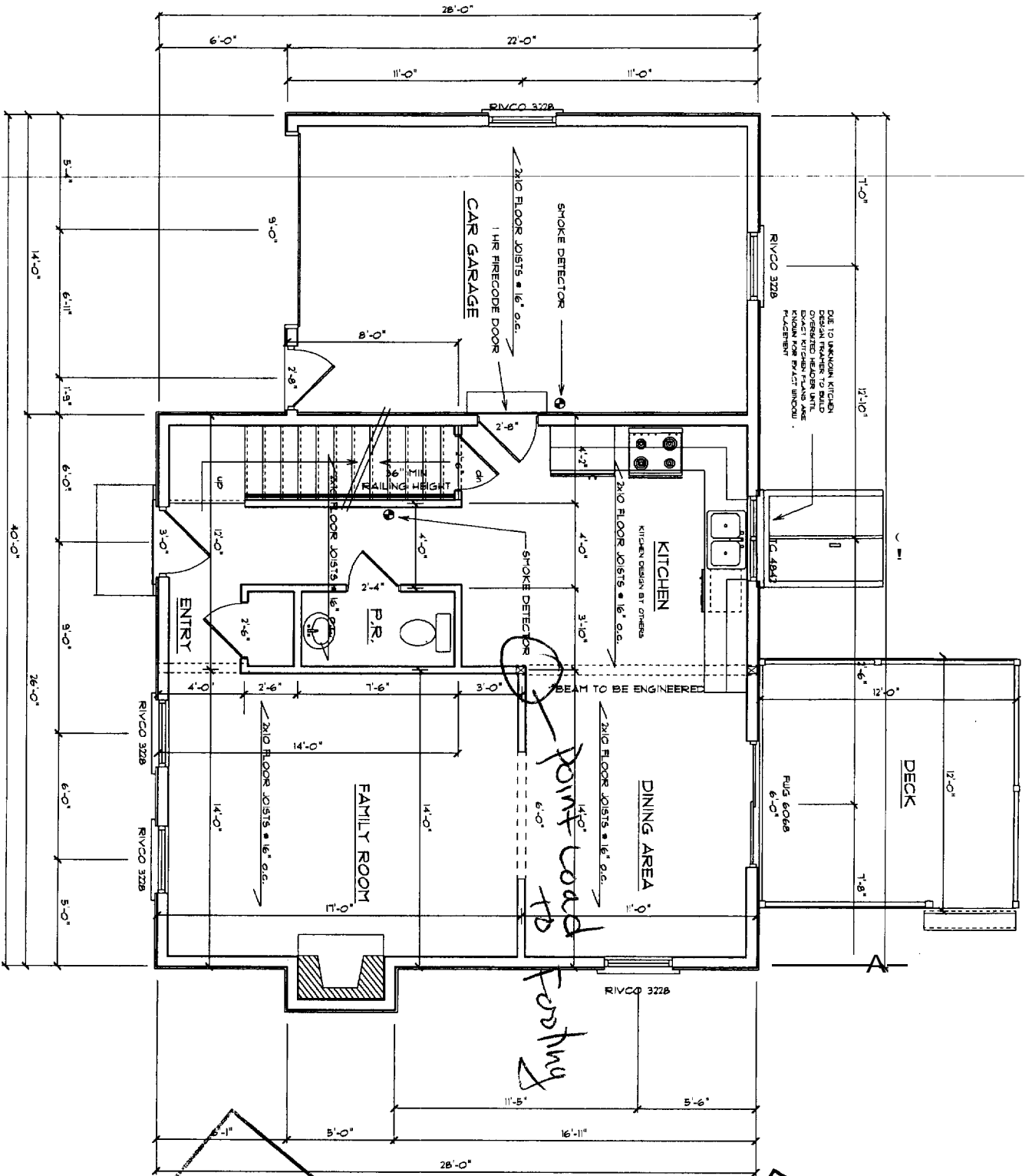


SCALE 1/4" = 1'-0"  
 FOUNDATION PLAN

APPROVED FOR CONSTRUCTION PERMITS  
 OCT 17 2005  
 SUPERSEDES ALL  
 PRIOR DATED PLANS  
 CITY OF PORTLAND, MAINE  
 DEPT. OF BUILDING INSPECTION

RECEIVED  
 OCT 17 2005  
 DEPT. OF BUILDING INSPECTION  
 CITY OF PORTLAND, ME

#456



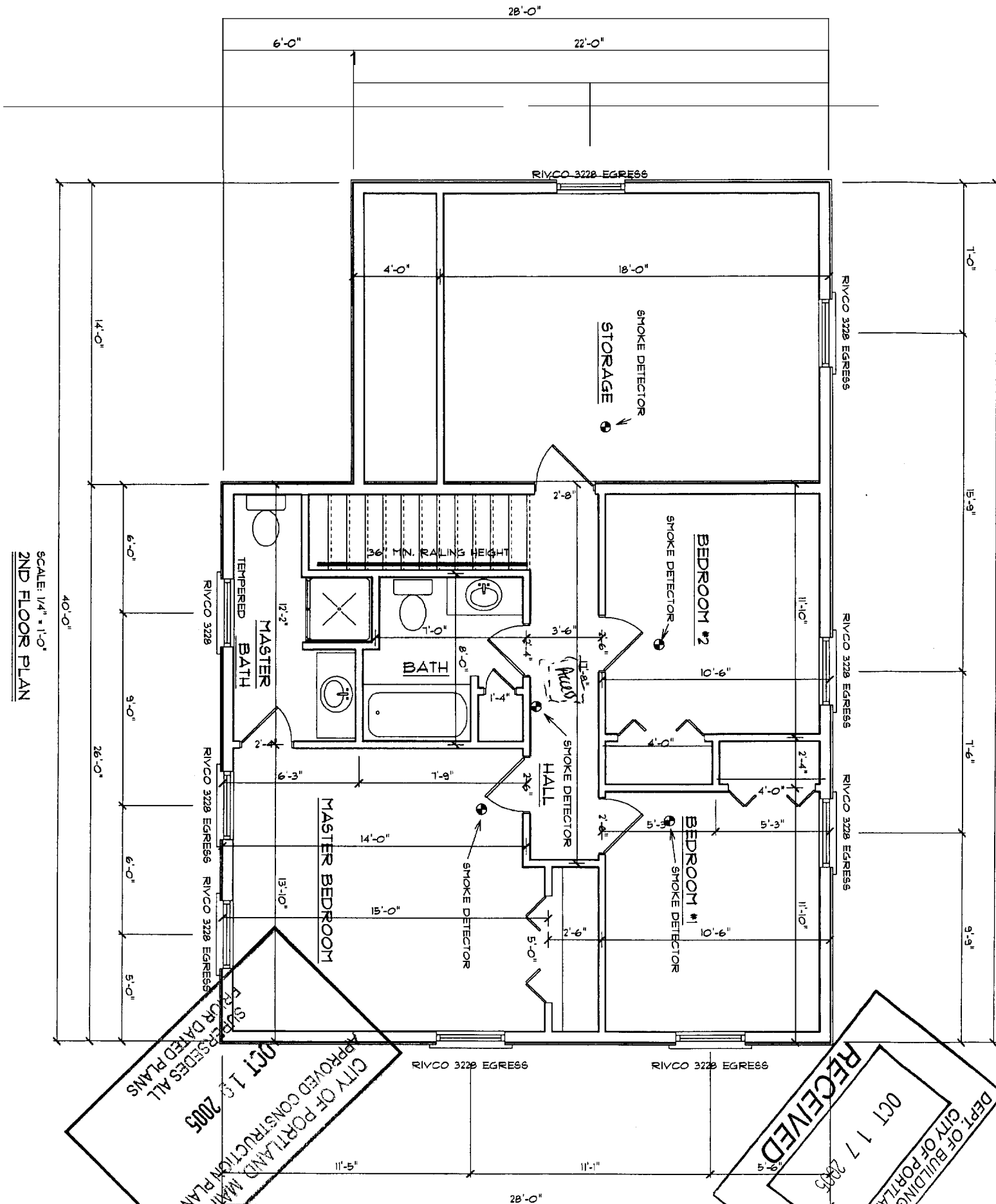
MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
OCT 17 2005  
RECEIVED

CITY OF PORTLAND, MAINE  
APPROVED CONSTRUCTION PLANS  
SUPERSEDES ALL  
PREVIOUS PLANS  
OCT 10 2005

NOTE: ALL WINDOWS  
U-FACTOR = .31



SCALE: 1/4" = 1'-0"  
**2ND FLOOR PLAN**

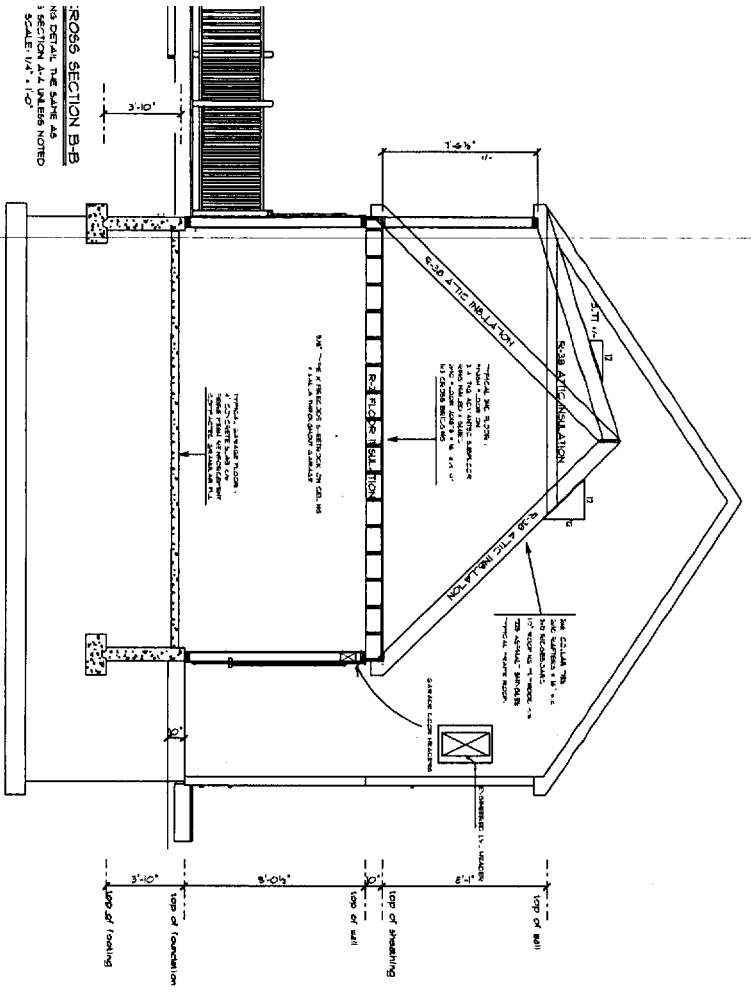
**RECEIVED**  
 OCT 17 2005  
 DEPT OF BUILDING INSPECT  
 CITY OF PORTLAND, ME

**RECEIVED**  
 OCT 17 2005  
 DEPT OF BUILDING INSPECT  
 CITY OF PORTLAND, ME

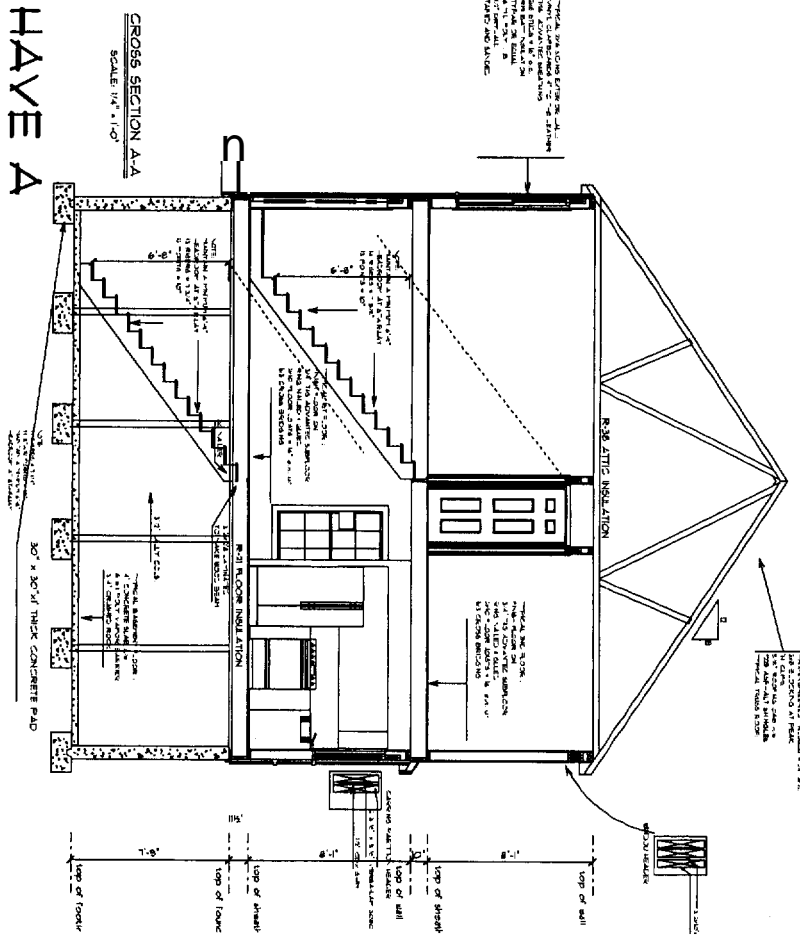
**APPROVED FOR DATED PLANS**  
 OCT 13 2005  
 CITY OF PORTLAND, ME  
 APPROVED CONSTRUCTION PLANS



ROSE SECTION B-B  
 NO OTHER THE SAME AS  
 1 SECTION A-A UNLESS NOTED  
 SCALE: 1/4" = 1'-0"



CROSS SECTION A-A  
 SCALE: 1/4" = 1'-0"

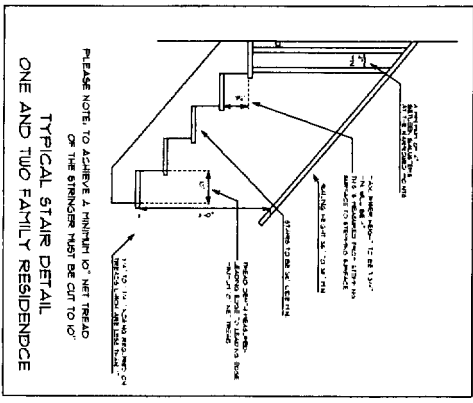
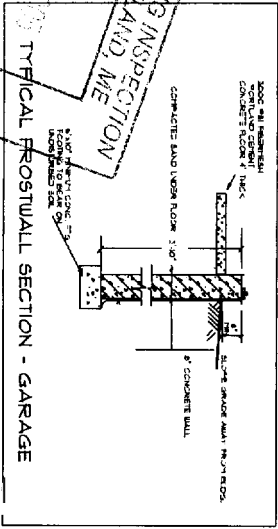
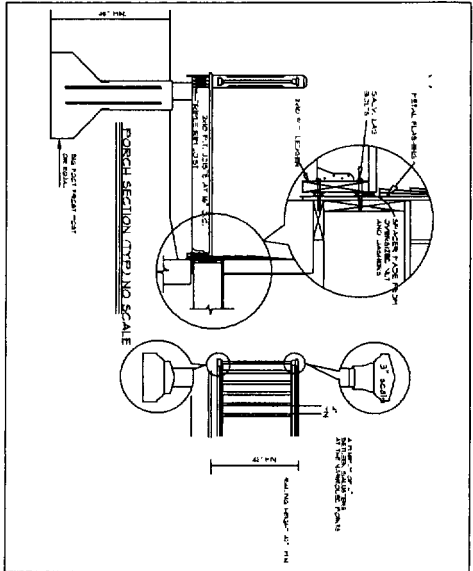
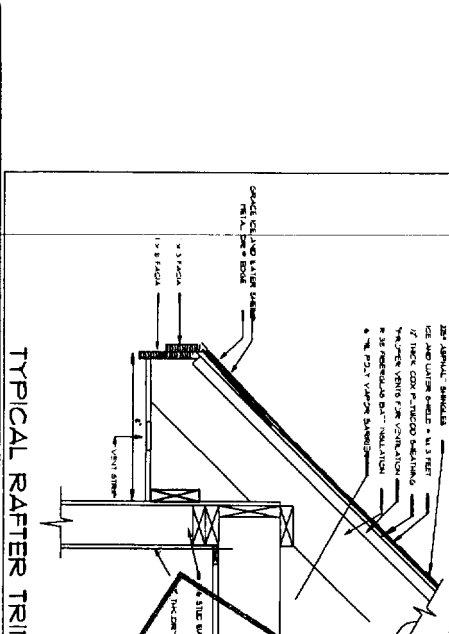
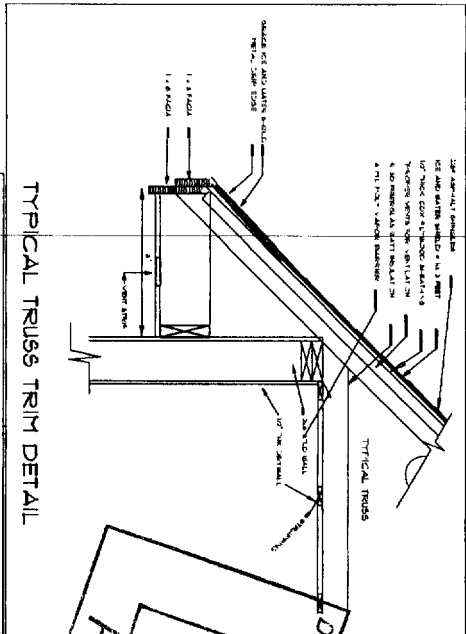
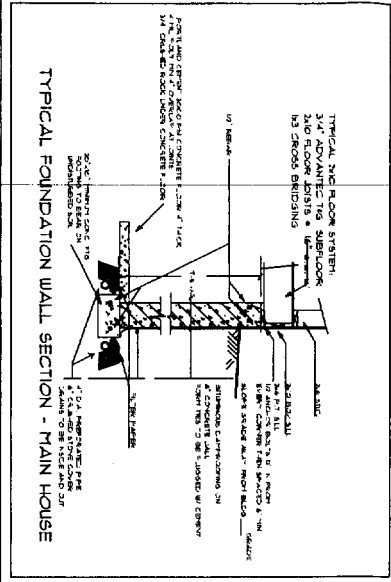


ALL WINDOWS TO HAVE A  
 U-FACTOR U-.31

HEATING SYSTEM:  
 FORCED HOT WATER  
 WITH POWER VENT,  
 POSITIONING BY  
 PLUMBING CONTRACTOR

CITY OF PORTLAND, MAINE  
 APPROVED CONSTRUCTION PLANS  
 OCT 19 2005  
 SUPERSEDES ALL  
 PRIOR DATED PLANS

DEPT. OF BUILDING INSPECTION  
 CITY OF PORTLAND, ME  
 OCT 17 2005  
 RECEIVED



**RECEIVED**  
OCT 17 2005  
DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME

**APPROVED FOR CONSTRUCTION**  
OCT 10 2005  
SUPERSEDES ALL PRIOR DATES AND AMENDMENTS

**CITY OF PORTLAND**

**CONSTRUCTION SCHEDULE (SEE TABLE 2304.9.1 W.E.'S RESIDENTIAL CONSTRUCTION CODE FOR COMPLETE DETAILS)**

ACTIVITY	START DATE	END DATE	COMPLETION DATE
FOUNDATION	10/10/05	10/15/05	10/15/05
FLOORING	10/15/05	10/20/05	10/20/05
ROOFING	10/15/05	10/20/05	10/20/05
WALLS	10/15/05	10/20/05	10/20/05
MECHANICAL	10/15/05	10/20/05	10/20/05
ELECTRICAL	10/15/05	10/20/05	10/20/05
PLUMBING	10/15/05	10/20/05	10/20/05
PAINTING	10/15/05	10/20/05	10/20/05
LANDSCAPING	10/15/05	10/20/05	10/20/05
TOTAL	10/10/05	10/20/05	10/20/05

PROJECT NAME: **MARDIGAN SPEC HOUSE**

ADDRESS: **PLYMOUTH ST PORTLAND**

DATE: **10/10/05**

SCALE: **AS SHOWN**

FIG. NO. **101**

# 49

THESE PLANS AND SPECIFICATIONS HAVE NOT BEEN PREPARED BY A REGISTERED ARCHITECT OR ENGINEER, EITHER IN MAINE OR IN ANY OTHER STATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE CITY OF PORTLAND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE CITY OF PORTLAND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE CITY OF PORTLAND.