

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING PERMITS SECTION

PERMIT ISSUED

Permit Number: 100195

MAR 26 2010

Please Read Application And Notes, If Any, Attached

This is to certify that MADD LLC / Madd, LLC / Len Person has permission to amendment to permit#091427 to add a 24' x garage AT 123 PLYMOUTH ST CB# 845 B016001 City of Portland

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

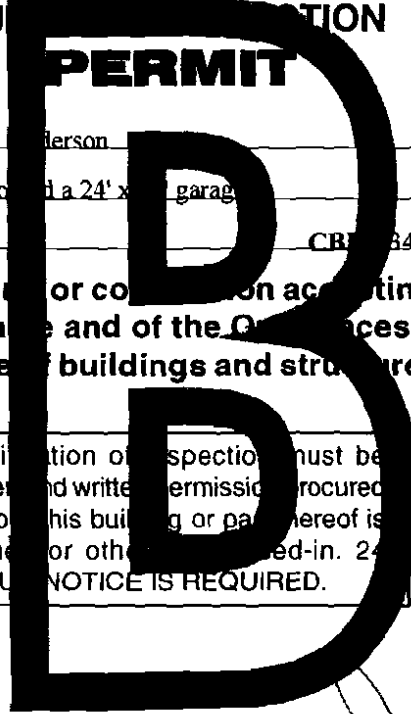
Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise red-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Health Dept. Appeal Board



Handwritten signature or initials.

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

|                       |             |                     |
|-----------------------|-------------|---------------------|
| Permit No:<br>10-0195 | Issue Date: | CBL:<br>345 B016001 |
|-----------------------|-------------|---------------------|

|  |  |   |                     |
|--|--|---|---------------------|
| Location of Construction:<br>123 PLYMOUTH ST | Owner Name:<br>MADD LLC                      | Owner Address:<br>543 ALLEN AVE               | Phone:              |
| Business Name:                               | Contractor Name:<br>Madd, LLC / Len Anderson | Contractor Address:<br>543 Allen Ave Portland | Phone<br>2072331715 |
| Lessee/Buyer's Name                          | Phone:                                       | Permit Type:<br>Amendment to Single Family    | Zone:<br>R-3        |

|   |  |   |   |                    |
|---|--|---|---|--------------------|
| Past Use:<br>Single Family Home connected w/<br>permit# 091427                        | Proposed Use:<br>Single Family Home - amendment<br>to permit#091427 to add a 24' x 14'<br>garage | Permit Fee:<br>\$170.00   | Cost of Work:<br>\$15,000.00  | CEO District:<br>5 |
| Proposed Project Description:<br>amendment to permit#091427 to add a 24' x 14' garage |  | FIRE DEPT:<br><input type="checkbox"/> Approved<br><input type="checkbox"/> Denied  | INSPECTION:<br>Use Group: R3 Type: SB<br>IAC-2003<br>Signature: JMB 3/22/10 |                    |
|   |  | PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)<br>Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied<br>Signature: Date: |   |                    |

|                             |                                 |                        |  |  |
|-----------------------------|---------------------------------|------------------------|--|--|
| Permit Taken By:<br>Idobson | Date Applied For:<br>03/02/2010 | <b>Zoning Approval</b> |  |  |
|-----------------------------|---------------------------------|------------------------|--|--|

|  |  |  |  |
|--|--|--|--|
| 1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.<br><br>2. Building permits do not include plumbing, septic or electrical work.<br><br>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. | Special Zone or Reviews<br><input type="checkbox"/> Shoreland<br><input type="checkbox"/> Wetland<br><input type="checkbox"/> Flood Zone<br><input type="checkbox"/> Subdivision<br><input type="checkbox"/> Site Plan<br>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/><br>Date: 3/4/10 <i>APM</i> | Zoning Appeal<br><input type="checkbox"/> Variance<br><input type="checkbox"/> Miscellaneous<br><input type="checkbox"/> Conditional Use<br><input type="checkbox"/> Interpretation<br><input type="checkbox"/> Approved<br><input type="checkbox"/> Denied<br>Date: | Historic Preservation<br><input checked="" type="checkbox"/> Not in District or Landmark<br><input type="checkbox"/> Does Not Require Review<br><input type="checkbox"/> Requires Review<br><input type="checkbox"/> Approved<br><input type="checkbox"/> Approved w/Conditions<br><input type="checkbox"/> Denied<br>Date: <i>ASU</i> |
|  | <h1>PERMIT ISSUED</h1> <p>MAR 26 2010</p> <p>City of Portland</p>  |  |  |

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

|   |         |      |       |
|---|---------|------|-------|
| SIGNATURE OF APPLICANT                      | ADDRESS | DATE | PHONE |
| RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE |         | DATE | PHONE |

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| Permit No:<br>10-0195 | Date Applied For:<br>03/02/2010 | CBL:<br>345 B016001 |
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|  |  |   |                         |
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| Location of Construction:<br>123 PLYMOUTH ST | Owner Name:<br>MADD LLC                      | Owner Address:<br>543 ALLEN AVE               | Phone:                  |
| Business Name:                               | Contractor Name:<br>Madd, LLC / Len Anderson | Contractor Address:<br>543 Allen Ave Portland | Phone<br>(207) 233-1715 |
| Lessee/Buyer's Name                          | Phone:                                       | Permit Type:<br>Amendment to Single Family    |                         |

|  |   |
|--|---|
| Proposed Use:<br>Single Family Home - amendment to permit#091427 to add a 24' x 14' garage | Proposed Project Description:<br>amendment to permit#091427 to add a 24' x 14' garage |
|--|---|

|   |  |                       |                           |
|---|--|-----------------------|---------------------------|
| Dept: Zoning  | Status: Approved with Conditions                 | Reviewer: Ann Machado | Approval Date: 03/04/2010 |
| Note:   | Ok to Issue: <input checked="" type="checkbox"/> |                       |                           |
| <ol style="list-style-type: none"> <li>1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.</li> <li>2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.</li> </ol> |  |                       |                           |

|  |  |                          |                           |
|--|--|--------------------------|---------------------------|
| Dept: Building   | Status: Approved with Conditions                 | Reviewer: Jeanine Bourke | Approval Date: 03/22/2010 |
| Note:  | Ok to Issue: <input checked="" type="checkbox"/> |                          |                           |
| <ol style="list-style-type: none"> <li>1) All previous conditions apply</li> <li>2) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.</li> <li>3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.</li> </ol> |  |                          |                           |

|  |  |                           |                           |
|--|--|---------------------------|---------------------------|
| Dept: DRC  | Status: Approved with Conditions                 | Reviewer: Philip DiPierro | Approval Date: 12/24/2009 |
| Note:  | Ok to Issue: <input checked="" type="checkbox"/> |                           |                           |
| <ol style="list-style-type: none"> <li>1) All conditions listed in the approved subdivision plan, as they relate to this lot shall be followed including the installation of 8 upright Arborvitae 5' to 6' tall, or equivalent, between the structure and path for screening.</li> <li>2) Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily.</li> <li>3) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.</li> <li>4) A street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)</li> <li>5) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext. 8822. The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.</li> <li>6) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.</li> <li>7) The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.</li> <li>8) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.</li> </ol> |  |                           |                           |

|   |   |  |                                |
|---|---|--|--------------------------------|
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| <b>Business Name:</b>                               | <b>Contractor Name:</b><br>Madd, LLC / Len Anderson | <b>Contractor Address:</b><br>543 Allen Ave Portland | <b>Phone</b><br>(207) 233-1715 |
| <b>Lessee/Buyer's Name</b>                          | <b>Phone:</b>                                       | <b>Permit Type:</b><br>Amendment to Single Family    |                                |

9) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.

10 The garage amendment meets minimum site plan requirements and is approved. All conditions listed in the original approval still apply. The site, including the area around the garage, shall be graded so that the neighbors are not negatively impacted by drainage.

**Comments:**

3/4/2010-pd: The garage amendment meets minimum site plan requirements and is approved. All conditions listed in the original approval still apply. The site, including the area around the garage, shall be graded so that the neighbors are not negatively impacted by drainage.

3/3/2010-amachado: Spoke to Len - need full sized plans for rear elevation/foundation plan & need fuull size plan of front and side elevation. Need 11' x 17' of side and rear elevation.

3/3/2010-amachado: Received requested information.



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

|   |  |  |
|---|--|--|
| Location/Address of Construction: <u>123 PLYMOUTH ST #5</u>   |  |  |
| Total Square Footage of Proposed Structure/Area<br><u>1,560</u>   | Square Footage of Lot<br><u>7,179</u>  | Number of Stories<br><u>2</u>  |
| Tax Assessor's Chart, Block & Lot<br>Chart# <u>345</u> Block# <u>B</u> Lot# <u>16</u>   | Applicant * <u>must</u> be owner, Lessee or Buyer*<br>Name <u>MADD LLC</u><br>Address <u>543 Allen Ave.</u><br>City, State & Zip <u>Portland, ME 04103</u> | Telephone:<br><u>7123741</u>   |
| Lessee/DBA (If Applicable)  | Owner (if different from Applicant)<br>Name<br>Address<br>City, State & Zip  | Cost Of Work: \$ <u>105,000</u><br>Per Sq Ft: <u>15.00</u><br>C of O Fee: \$<br>Total Fee: \$ <u>1,445</u><br><u>170</u> |
| Current legal use (i.e. single family) <u>VACANT</u> Number of Residential Units <u>1</u>   |  |  |
| If vacant, what was the previous use? <u>VACANT</u>   |  |  |
| Proposed Specific use: <u>Residential 1 unit - permit # 09-1427</u>   |  |  |
| Is property part of a subdivision? <u>yes</u> If yes, please name <u>Plymouth St.</u>   |  |  |
| Project description:<br><u>5 lots 26'x28'</u><br><u>Refer to permit no. 09-1427</u> <u>ADD GARAGE 2 story 3 Bedrooms 1.5 bath</u> <u>Garage 24'x14'</u> |  |  |
| Contractor's name: <u>MADD LLC</u>  |  |  |
| Address: <u>543 Allen Ave</u>   |  |  |
| City, State & Zip <u>Portland, ME 04103</u>   |  | Telephone: <u>2331715</u>  |
| Who should we contact when the permit is ready: <u>2331715 Len Dan</u>  |  | Telephone: <u>7123741</u>  |
| Mailing address: <u>543 Allen Ave.</u>  |  |  |

3/2/10  
ack  
Garage 24'x14'

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

RECEIVED  
MAR 2 2010  
Dept. of Building Inspections  
City of Portland Maine

Signature: [Signature] Date: 3/2/10

This is not a permit; you may not commence ANY work until the permit is issue

## **Ann Machado - 123 Plymouth Street Amendment**

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**From:** Philip DiPierro  
**To:** Machado, Ann  
**Date:** 3/4/2010 9:08 AM  
**Subject:** 123 Plymouth Street Amendment

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Hi Ann, the amendment appears to meet minimum site plan requirements for approval. Please see UI for sign off. I added a condition that the site shall be graded so that neighbors are not negatively impacted by drainage.

Phil

Applicant: MADLLE - Len & Dan Anderson

Date: 3/3/10

Address: 123 Plymouth St.

C-B-L: 345-B-12

Permit # 10-0195

CHECK-LIST AGAINST ZONING ORDINANCE

Date - house permit - #09-1427

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - add 14'x24' attached garage

Sevage Disposal - city

Lot Street Frontage -

Front Yard - 25' min - 44.75' scaled (OK)

Rear Yard - 25' min - 39' scaled (OK)

Side Yard - 8' min - 11' 5' min (OK)

Projections -

Width of Lot -

Height - 35' max - ~~125~~ 14.5' scaled

Lot Area - 7179  $\phi$

Lot Coverage/Impervious Surface - 35% = 2512.65  $\phi$

existing 988  $\phi$

Area per Family -

Proposed - 336

1274  $\phi$

(OK)

Off-street Parking - 2 spaces required (OK)  
one ~~space~~ in garage

Loading Bays -

Site Plan -

Shoreland Zoning/Stream Protection -

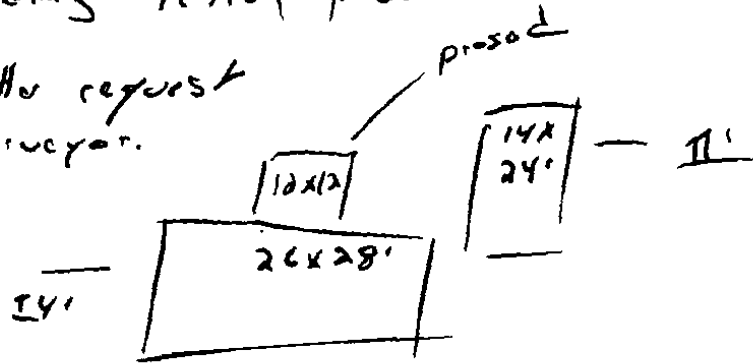
Flood Plains -

03-31-10

Footings/ Settings

Approval pending letter(s). J.G.R.

Well letter request  
from surveyor.



4-6-10

Foundation walls, tar, water plus, interior + exterior drains perf pipe, crushed rock,  
filter fabric. OK M.A.

MAKE SURE sump pump base station is installed on follow up.