

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND

## BUILDING INSPECTION

### PERMIT

Permit Number: 091427

## PERMIT ISSUED

Please Read Application And Notes, If Any, Attached

This is to certify that MADD LLC /CSI Builders  
has permission to New 2 story single Family Home w/ 3 bedrooms, 1.5 bath no garage  
AT 123 PLYMOUTH ST Lot #5 CB# 345 B016001 DEC 30 2009

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise worked-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**  
Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*[Signature]*  
12/30/09  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1427	Issue Date:	CBL: 345 B016001
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Location of Construction: 123 PLYMOUTH ST Lot #5	Owner Name: MADD LLC	Owner Address: 543 ALLEN AVE	Phone:
Business Name:	Contractor Name: CSI Builders	Contractor Address: 41B Woodville Falmouth	Phone 2078316966
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R-3

Past Use: Vacant Land	Proposed Use: Single Family Home - New 2 story single Family Home w/ 3 bedrooms, 1.5 bath no garage - 28'x26'	Permit Fee: \$1,145.00	Cost of Work: \$105,000.00	CEO District: 5
Proposed Project Description: New 2 story single Family Home w/ 3 bedrooms, 1.5 bath no garage 28'x26'		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: R-3 Type: SB #1200 2003 <i>[Signature]</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: Ldobson	Date Applied For: 12/18/2009	<b>Zoning Approval</b>		
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p><b>Special Zone or Reviews</b></p> <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>panel 7-200X</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2009-0082</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>OK w/ conditions</i> Date: <i>12/20/09</i> <i>AKH</i>	<p><b>Zoning Appeal</b></p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<p><b>Historic Preservation</b></p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABM</i> Date: _____
	<p><b>PERMIT ISSUED</b></p> <p>DEC 30 2009</p> <p>City of Portland</p>		

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 09-1427	<b>Date Applied For:</b> 12/18/2009	<b>CBL:</b> 345 B016001
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<b>Location of Construction:</b> 123 PLYMOUTH ST Lot #5	<b>Owner Name:</b> MADD LLC	<b>Owner Address:</b> 543 ALLEN AVE	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> CSI Builders	<b>Contractor Address:</b> 41B Woodville Falmouth	<b>Phone</b> (207) 831-6966
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Single Family	

<b>Proposed Use:</b> Single Family Home - New 2 story single Family Home w/ 3 bedrooms, 1.5 bath no garage	<b>Proposed Project Description:</b> New 2 story single Family Home w/ 3 bedrooms, 1.5 bath no garage
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 12/22/2009

**Note:** **Ok to Issue:**

- 1) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed structure, it may be required to be located by a surveyor.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tammy Munson      **Approval Date:** 12/30/2009

**Note:** **Ok to Issue:**

- 1) The basement is NOT approved as habitable space.
- 2) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.
- 3) Those building a new single family dwelling shall install a CO detector in each area within or giving access to bedrooms. That detection must be powered by the electrical service in teh building and have a battery back up.
- 4) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.

**Dept:** DRC      **Status:** Approved with Conditions      **Reviewer:** Philip DiPierro      **Approval Date:** 12/24/2009

**Note:** **Ok to Issue:**

- 1) All conditions listed in the approved subdivision plan, as they relate to this lot shall be followed including the installation of 8 upright Arborvitaes 5' to 6' tall, or equivalent, between the structure and path for screening.
- 2) Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily.
- 3) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 4) A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 5) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822.The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 6) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.

<b>Location of Construction:</b> 123 PLYMOUTH ST Lot #5	<b>Owner Name:</b> MADD LLC	<b>Owner Address:</b> 543 ALLEN AVE	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> CSI Builders	<b>Contractor Address:</b> 41B Woodville Falmouth	<b>Phone</b> (207) 831-6966
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Single Family	

- 7) The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 8) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 9) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.

**Comments:**

12/22/2009-amachado: Left vcm for Dan Anderson. Siteplan shows 12' x 12' rear deck. Building plans show just steps to grade. Told him that Phil had not completed his review yet.

12/22/2009-amachado: Sent email to Phil that I have completed my review and just need to know if there is a deck or not.

12/22/2009-amachado: Dan Anderson came in and revised the building plans to show the 12' x 12' deck.

123 Plymouth Permit # 09-427

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1) _____		
Component	Submitted Plan	Findings/Revisions/Dates
<b>STRUCTURAL</b>		
Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	10" x 16" footing w/ 8" wall	
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	OK - shows all	
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	N/A	
Anchor Bolts/Straps, spacing (Section R403.1.6)	1/2" diam - 6' oc	
Lally Column Type (Section R407)	3 - 2x10's - OK	+ Shows - LVL for second floor support
Girder & Header Spans (Table R 502.5(2))	" "	
Built-Up Wood Center Girder Dimension/Type		
Sill/Band Joist Type & Dimensions	2x6 - PT sill	
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2) )	2x10's	
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2) )	2x10's	
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and	Trussed	

R802.4(2))		
Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1( 8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	Trussed	
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	5/8" Raft / 1/2" walls / 3/4" floor	
Fastener Schedule (Table R602.3(1) & (2) )	Per IRC	
<b>Private Garage</b> (Section R309) Living Space ? (Above or beside)	N/A	
Fire separation (Section R309.2)		
Opening Protection (Section R309.1)	N/A	
Emergency Escape and Rescue Openings (Section R310)	OK	
Roof Covering (Chapter 9)	asphalt	
Safety Glazing (Section R308)	N/A	
Attic Access (Section R807)	22" x 30"	
Chimney Clearances/Fire Blocking (Chap. 10)	N/A	
Header Schedule (Section 502.5(1) & (2))	3 - 2x10's TYP - OK	
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-	R-30 Roof - R-19 walls - U-0.31 floor - R-21	OK

④

Factor Fenestration		
Type of Heating System	Direct vent	
<b>Means of Egress</b> (Sec R311 & R312) Basement / Number of Stairways 2 Interior / Exterior / Treads and Risers 10" T x 7 3/4" Rised (Section R311.5.3) Width (Section R311.5.1) - 36" Headroom (Section R311.5.2) 6'-8" Guardrails and Handrails - ok (Section R312 & R311.5.6 - R311.5.6.3)		
① Smoke Detectors (Section R313) Location and type/Interconnected	condition + CO detectors	
Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)	N/A	
Deck Construction (Section R502.2.1)	ok	



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>123 Plymouth #5</u>		
Total Square Footage of Proposed Structure/Area <u>41560</u>	Square Footage of Lot <u>47129</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>345</u> Block# <u>B</u> Lot# <u>16</u>	Applicant *must be owner, Lessee or Buyer* Name <u>madd LLC</u> Address <u>543 Allen Ave</u> City, State & Zip <u>Portland ME</u>	Telephone: <u>7123741</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>105,000</u> C of O Fee: \$ Total Fee: \$ <u>1,445</u>
Current legal use (i.e. single family) <u>vacant</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? <u>vacant</u> Proposed Specific use: <u>Residential 1 unit</u> Is property part of a subdivision? <u>yes</u> If yes, please name <u>Plymouth St</u> Project description: <u>5 lots</u> <u>26x30</u> <u>26'x30'</u> <u>3 bedrooms 1.5 bath</u> <u>2 story</u> <u>no garage</u>		
Contractor's name: <u>madd LLC</u> Address: <u>543 Allen Ave</u> City, State & Zip: <u>Portland ME</u> Telephone: <u>2331715</u> Who should we contact when the permit is ready: <u>2331715 Len</u> Telephone: <u>7123741</u> Mailing address: <u>543 Allen Ave</u> <u>ME</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official or authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

RECEIVED

DEC 18 2009

Dept. of Building Inspections  
City of Portland Maine

Signature:

Date:

12-18-09

This is not a permit; you may not commence ANY work until the permit is issue



Applicant: Madd, LLC (Dan & Len Anderson)

Date: 12/22/09

Address: 123 Plymouth St. (lot #5)

C-B-L: 345-B-016

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - build new single family home - 2 stories, 28' x 26'

Sewage Disposal - city

Lot Street Frontage - 50' min. - 67.5' given (OK)

Front Yard - 25' min. - 25' scaled to front steps (OK)

Rear Yard - 25' min. - 43.5' scaled to bulkhead

Side Yard - 2 stories - 14' min. - 14' given on left (OK)  
25' scaled on right (OK)

Projections - front entry 6' x 6', side entry 4' x 6', bulkhead 5' x 6', deck 12' x 12'

Width of Lot - 65' min. - 67.5' scaled (OK)

Height - 35' max. - 24' scaled

Lot Area - 6,500 sq ft min. - 7,179 sq ft given (OK)

Lot Coverage Impervious Surface - 35% = 2275 sq ft

Area per Family - 6,500 sq ft (OK)

Off-street Parking - 2 spaces required, - 2 spaces shown - 38' x 10' (OK)

Loading Bays - N/A

Site Plan - minor/minor 2009-0082

Shoreland Zoning/Stream Protection - N/A

Flood Plains - panel 7 - zone X

26 x 28 = 728
6 x 6 = 36
4 x 6 = 24
5 x 6 = 30
12 x 12 = 144
<hr/>
962 sq ft (OK)

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Zoning Copy**

**2009-0082**  
Application I. D. Number  
**12/18/2009**  
Application Date  
**Single Family Home lot #5**  
Project Name/Description

**Marge Schmuckal**

**Madd Llc**  
Applicant  
**543 Allen Ave , Portland, ME 04103**  
Applicant's Mailing Address

Consultant/Agent  
**Agent Ph: (207)712-3741**      **Agent Fax:**  
Applicant or Agent Daytime Telephone, Fax

**123 - 123 Plymouth St, Portland, Maine**  
Address of Proposed Site  
**345 B016001**  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building    Building Addition    Change Of Use    Residential    Office    Retail  
 Manufacturing    Warehouse/Distribution    Parking Lot    Apt 0    Condo 0    Other (specify) \_\_\_\_\_  
**0**

Proposed Building square Feet or # of Units	Acreage of Site	Proposed Total Disturbed Area of the Site	Zoning
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**Check Review Required:**

<input type="checkbox"/> Site Plan (major/minor)	<input type="checkbox"/> Zoning Conditional - PB	<input type="checkbox"/> Subdivision # of lots _____	<input type="checkbox"/> Design Review
<input type="checkbox"/> Amendment to Plan - Board Review	<input type="checkbox"/> Zoning Conditional - ZBA	<input type="checkbox"/> Shoreland	<input type="checkbox"/> Historic Preservation
<input type="checkbox"/> Amendment to Plan - Staff Review		<input type="checkbox"/> Zoning Variance	<input type="checkbox"/> Flood Hazard
<input type="checkbox"/> After the Fact - Major		<input type="checkbox"/> Stormwater	<input type="checkbox"/> Traffic Movement
<input type="checkbox"/> After the Fact - Minor		<input type="checkbox"/> PAD Review	<input type="checkbox"/> 14-403 Streets Review
			<input type="checkbox"/> DEP Local Certification
			<input type="checkbox"/> Site Location
			<input type="checkbox"/> Housing Replacement
			<input type="checkbox"/> Other _____

Fees Paid:    Site Plan \$50.00    Subdivision \_\_\_\_\_    Engineer Review \$250.00    Date 12/18/2009

**Zoning Approval Status:**      Reviewer \_\_\_\_\_

Approved       Approved w/Conditions See Attached       Denied

Approval Date \_\_\_\_\_      Approval Expiration \_\_\_\_\_      Extension to \_\_\_\_\_       Additional Sheets Attached

Condition Compliance \_\_\_\_\_      signature \_\_\_\_\_      date \_\_\_\_\_

**Performance Guarantee**       Required\*       Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

**BUILDING PERMIT INSPECTION PROCEDURES**

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers
- Foundation Inspection: Prior to placing ANY backfill for below grade occupiable space
- Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.
- Underground electrical or plumbing inspection prior to back fill.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.**

[Signature]  
Signature of Applicant/Designee

12/31/09  
Date

[Signature]  
Signature of Inspections Official

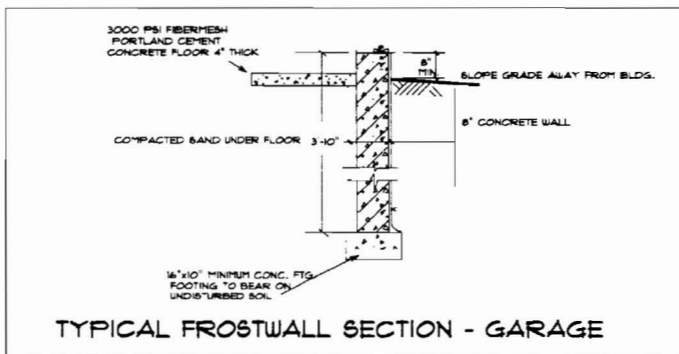
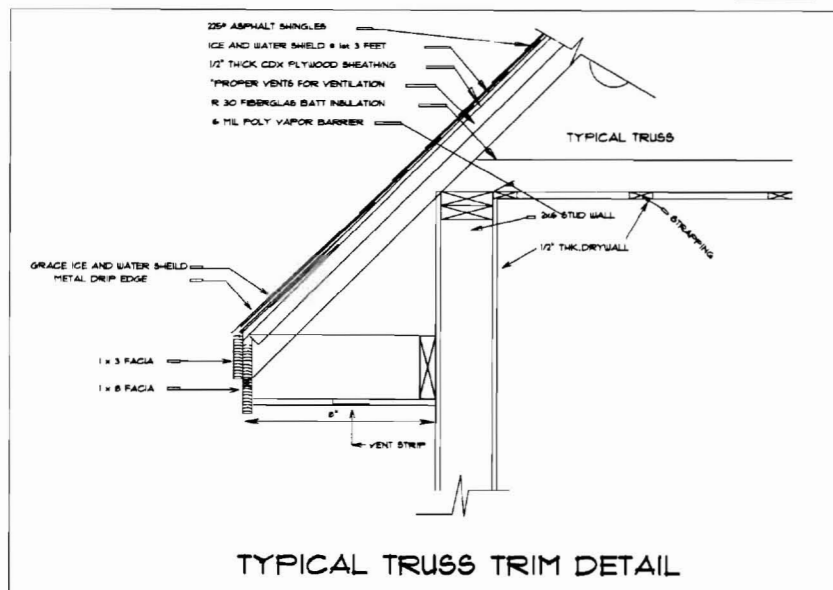
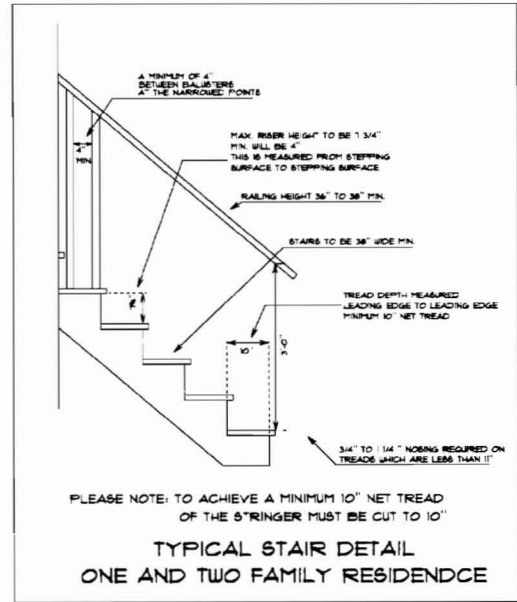
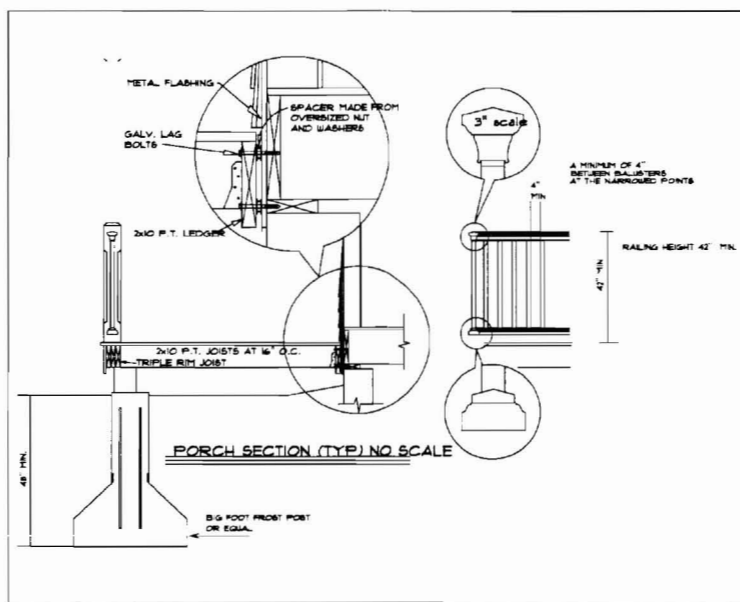
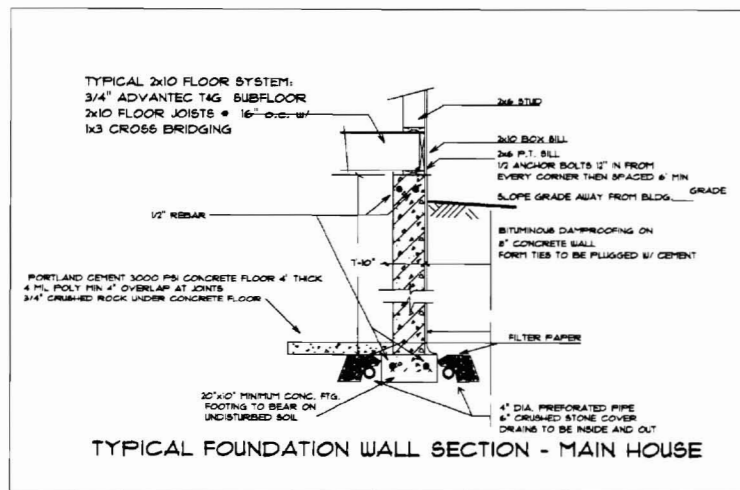
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Date

**PERMIT ISSUED**

DEC 30 2009

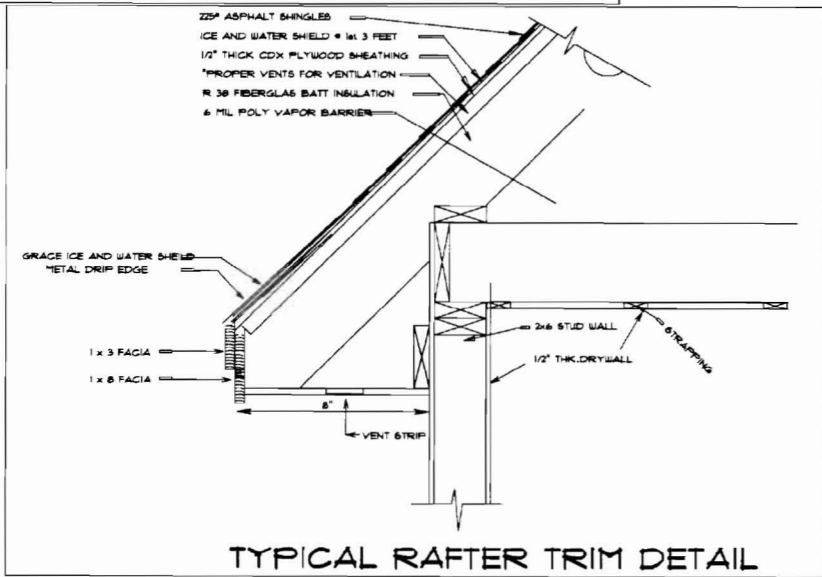
City of Portland





**FOUNDATION NOTES:**

1. ALL FINISH WALL & FOOTING HEIGHTS SHALL BE DETERMINED IN THE FIELD WITH CONTRACTOR.
2. BASEMENT WINDOW LOCATIONS & ROUGH OPENINGS SHALL BE CHECKED & VERIFIED IN FIELD BY CONTRACTOR. OTHERWISE IF NOT BOUND SHALL BE DETERMINED IN FIELD BY CONTRACTOR.
3. ALL ANCHOR BOLTS SHALL BE 1/2" DIA. HOOKED OR EQUIVALENT. MAX. OC. 4'-0" MIN. FROM ALL CORNERS.
4. ALL EXISTING FOOTING WALLS & BEAMS SHALL BE CHECKED & ENGINEERED BY CONTRACTOR BEFORE FORMS HAVE BEEN SET.
5. ALL DAY-LIGHT BASEMENT CONSIDERATIONS TO BE DETERMINED IN FIELD BY CONTRACTOR IF APPLICABLE.
6. ALL CONSIDERATIONS FOR UTILITY ARE THE RESPONSIBILITY OF THE CONTRACTOR.
7. CONTRACTOR SHALL CHECK ALL DIMENSIONS WITH FLOOR PLAN OR ANY ADDITIONAL EQUIP. (E.G. BULKHEAD ETC.) OR PRODUCT DIMENSIONS OR SPECS. ALSO MUST CHECK ALL STRUCTURAL, FINISHING, & LOAD BEARING & FOUNDATION BEFORE FORMS ARE SET.
8. CONTRACTOR SHALL ADJUST WALL AND FOOTING SIZES TO SOIL BEARING CAPACITIES AS REQ'D.
9. (DO NOT) BACKFILL MORE THAN 3'-0" BEFORE SET FUR. FRAMING JOIST & RAFTERS & COMPLETE.
10. DRAIN TILE SHALL BE PLACED ON INTERIOR AND EXTERIOR OF FOUNDATION. ALL DRAIN TILE PIPE SHALL BE UNARMED IN FILTER FABRIC.
11. SEE BUILDING SECTIONS FOR ADDITIONAL REINFORCING REQUIREMENTS.



**FASTENING SCHEDULE (SEE TABLE 2304.9.1 M.E.S. RESIDENTIAL CONSTRUCTION CODE FOR COMPLETE DETAILS)**

LOCATION	CONNECTION	FASTENING
SEE NOTE F	BM	PANEL SIDING TO FRAMING) 1" OR LESS
SEE NOTE F	BM	PANEL SIDING TO FRAMING) 1" OR LESS
SEE NOTE C	BM	SUBFLOOR UNDERLAYMENT SINGLE FLOOR COMBINATION 3/4" OR LESS
SEE NOTE P SEE NOTE N SEE NOTE D. SEE NOTE C	16" 18" GAGE 2-3/16" 131" NAIL 80 OR 84	8 PARTICLE BOARD WOOD STRUCTURAL PANELS 1/2" OR LESS
SEE NOTE E SEE NOTE N SEE NOTE C	1-3/4" 18 GAGE 2-3/16" 131" NAIL	8 PARTICLE BOARD WOOD STRUCTURAL PANELS 1/2" OR LESS
FACE NAIL	4-3/4" 14 GAGE STAPLE 4-3/16" 131" NAIL 3-1/8" COMMON	LEDDER STRIP
FACE NAIL	5-3/4" 14 GAGE STAPLE 5-3/16" 131" NAIL 3-1/8" COMMON	JOIST TO BAND JOIST
FACE NAIL	3-3/4" 14 GAGE STAPLE 3-3/16" 131" NAIL 2-1/8" COMMON	2 BY RIDGE BEAM ROOF RAFTER TO
TOENAIL	3-3/4" 14 GAGE STAPLE 3-3/16" 131" NAIL 2-1/8" COMMON	2 BY RIDGE BEAM ROOF RAFTER TO
FACE NAIL	3-3/4" 14 GAGE STAPLE 3-3/16" 131" NAIL 2-1/8" COMMON	JACK RAFTERS TO HP
TOENAIL	4-3/4" 14 GAGE STAPLE 4-3/16" 131" NAIL 3-1/8" COMMON	JACK RAFTERS TO HP
FACE NAIL	4-3/4" 14 GAGE STAPLE 4-3/16" 131" NAIL 3-1/8" COMMON	COLLAR TIE TO RAFTER
AT EACH SPLICE FACE NAIL AT ENDS	3-3/4" 14 GAGE STAPLE 3-3/16" 131" NAIL 2-1/8" COMMON	BUILT-UP GIRDER & BEAMS
STAGGERED ON OPPOSITE SIDES FACE NAIL AT TOP & BOTTOM	3-3/4" 14 GAGE STAPLE 3-3/16" 131" NAIL @ 24" OC 2-1/8" COMMON	BUILT-UP GIRDER & BEAMS
16" OC 18" OC 24" OC	3" 14 GAGE STAPLE 3/16" 131" NAIL 1/8" COMMON	BUL. TOP CORNER STUDS
FACE NAIL	2-3/4" 14 GAGE STAPLE 2-3/16" 131" NAIL 2-1/8" COMMON	EACH STUD & PLATE RAFTER TO PLATE
TOENAIL	1-3/4" 14 GAGE STAPLE 1-3/16" 131" NAIL 3-1/8" COMMON	(SEE SECT. 2308.10.1, TABLE 2308.10.1)
NOTES	CONNECTION	FASTENING

**RECEIVED**

DEC 18 2009

Dept. of Building Inspections  
City of Portland Maine

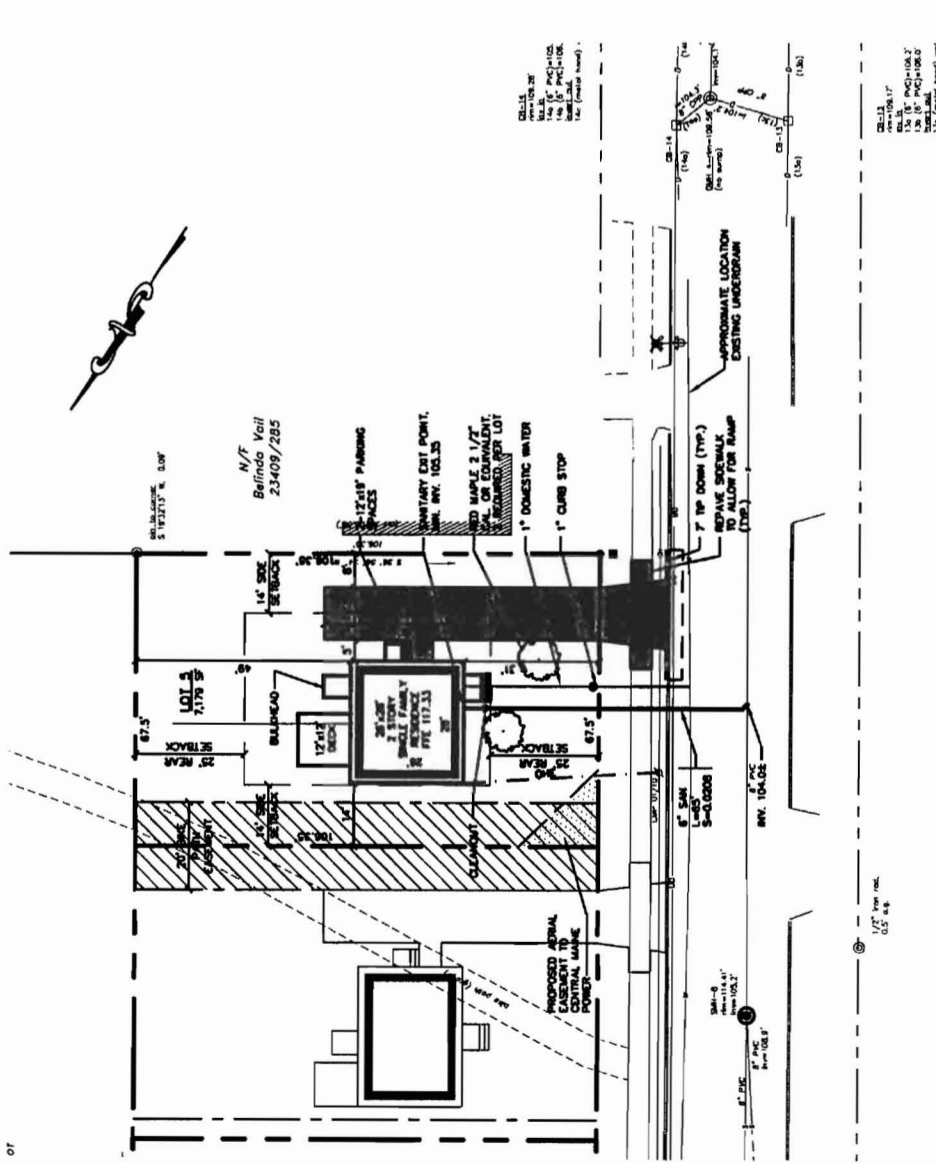
THE SE PLANS AND SPECIFICATIONS HAVE NOT BEEN PREPARED BY A REGISTERED ARCHITECT OR ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND SPECIFICATIONS.

PROJECT NAME:

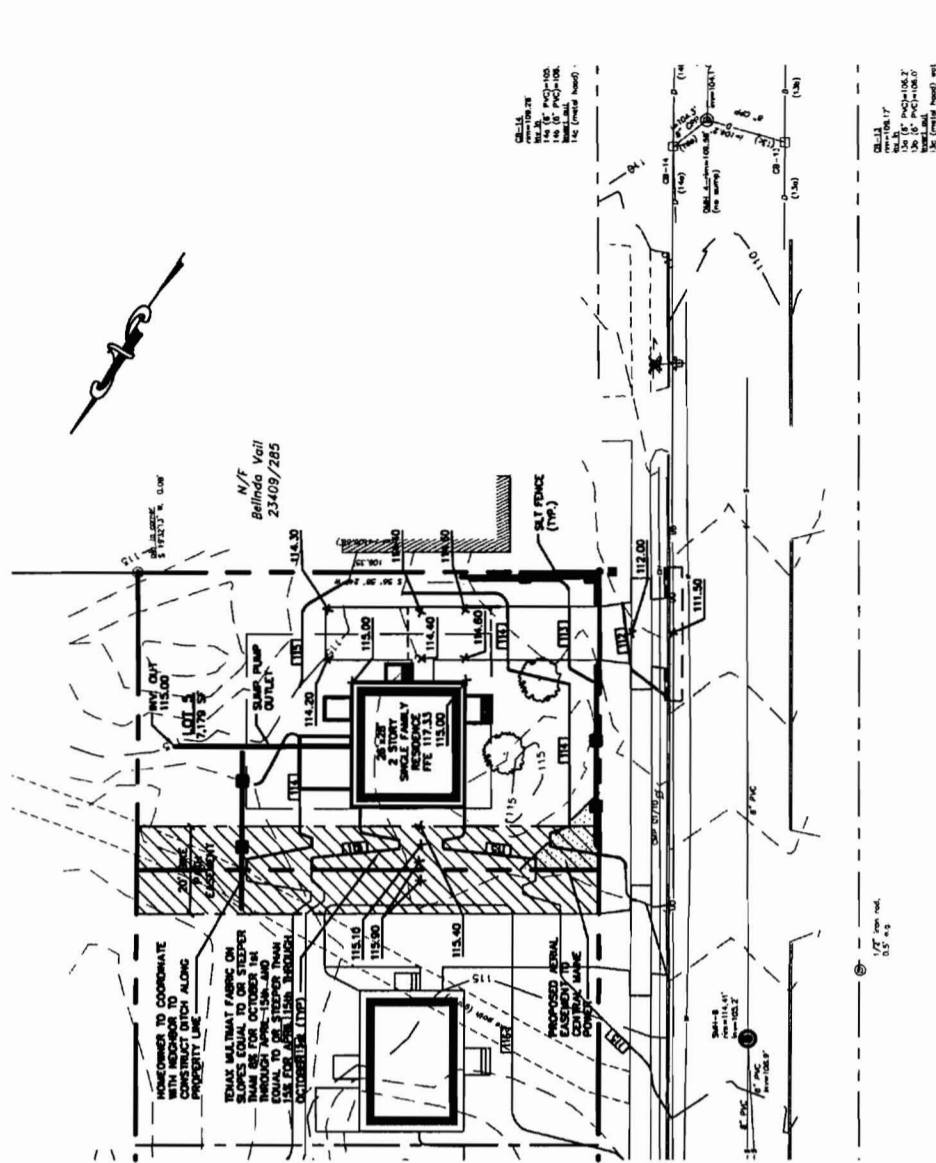
123 PLYMOUTH STREET

REVISIONS	
SCALE	AS NOTED
DRAWN	
FILE	
SHEET	OF





**SITE AND UTILITY PLAN**  
1"=20'



**GRADING AND DRAINAGE PLAN**  
1"=20'

**RECEIVED**  
DEC 18 2009  
City of Portland  
Department of Building Inspections  
Portland, Maine

**SPACE AND BULK REQUIREMENTS - R-3 ZONE**

- MINIMUM LOT SIZE: 6,300 SF.
- MINIMUM FRONTAGE: 30 FT.
- MINIMUM SETBACKS:
  - FRONT YARD: 25 FT.
  - REAR YARD: 25 FT.
  - SIDE: 1/2 STORY: 8 FT.
  - 2 STORY: 14 FT.
  - 2 1/2 STORY: 14 FT.
- MINIMUM LOT WIDTH: 65 FT.
- OTHER USES: 65 FT.

\* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.

LOT SETBACKS EXCEPT THE MAXIMUM BUILDING ENVELOPE, ASSUMING A SINGLE STORY BUILDING, FINAL SETBACK REQUIREMENTS WILL DEPEND ON FINAL BUILDING PERMIT SUBMITTED BY LOT DEVELOPER.

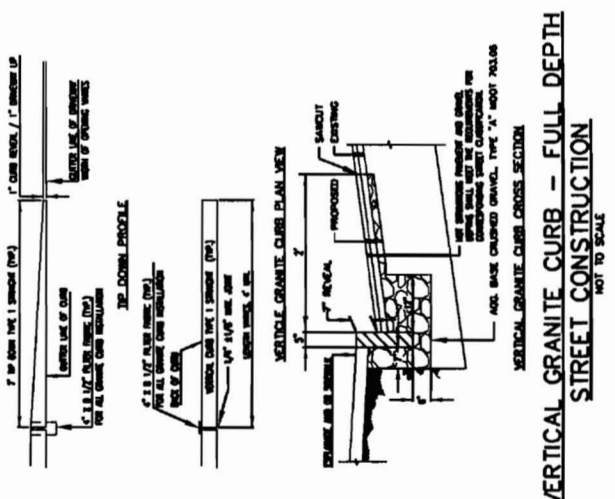
**GRADING AND DRAINAGE NOTES:**

1. ALL DISTURBED AREAS THAT ARE NOT PAVED SHALL RECEIVE 4" LOAM & SEED.
2. COMBOW BORROW SHALL MEET MOST SPECIFICATION POLLS.
3. FOUNDATION DRAIN SHALL BE DIRECTED TO SUMP LOCATED WITHIN BUILDING.
4. THE GRADING AND DRAINAGE SYSTEM ON THE PROPERTY SHALL BE DESIGNED AND CONSTRUCTED TO PREVENT ANY AND ALL DAMAGE TO ADJACENT PROPERTY AND SHALL BE APPROVED WITHOUT FURTHER APPROVAL FROM THE PLANNING AUTHORITY.
5. FOUNDATION DRAIN, OTHER GRAVITY DRAINAGE OR PUMP DISCHARGE SHALL BE DIRECTED TO THE REAR OF EACH LOT.

NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES AND SHALL NOT BE USED FOR CONSTRUCTION.

**GENERAL NOTES**

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITONUS ASSOCIATES IN MAY 2008.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND IS NOT GUARANTEED. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DO A BOND AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY AND THE STATE OF MAINE PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY AND THE STATE OF MAINE PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY AND THE STATE OF MAINE PRIOR TO COMMENCING WORK.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. INSPECTION OF WATER LINES SHALL CONFORM TO ANNA STANDARD (AS), LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
7. LOT OWNER IS RESPONSIBLE FOR LAYOUT AND EXTENSION OF ELECTRIC SERVICE, COORDINATE WITH O.P.
8. THE LOT SHALL BE PROVIDED WITH AT LEAST TWO (2) TREES MEETING THE CITY'S MINIMUM TREE SPECIFICATIONS AND WHICH ARE CLEARLY VISIBLE FROM THE STREET LINE AND ARE LOCATED SO AS TO USUALLY WITHIN THE MINIMUM DIMENSION OR PROPORTION OF THE LOT.
9. SEWER AND WATER SERVICES SHALL BE INSTALLED BY THE DEVELOPER'S INTO THE PROPERTY. CONNECTION TO THE HOUSE WILL BE THE RESPONSIBILITY OF THE LOT OWNER.
10. EQUIVALENT STREET TREE SHALL INCLUDE REPLANTMENT OF EXISTING TREES OF SAME OR GREATER CALIPER.
11. ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL STANDARDS, SECTION 10 DESIGN AND DEMONSTRATION CONTROL STANDARDS FOR SMALL AND TWO FAMILY HOMES.
12. ANY CURBING REMOVED WITHIN THE FRONT-OF-YARD IS THE PROPERTY OF THE CITY OF PORTLAND AND SHALL BE DELIVERED TO THE PUBLIC WORKS FACILITY ON OTHER COMPASS STREET.



**VERTICAL GRANITE CURB - FULL DEPTH STREET CONSTRUCTION**  
NOT TO SCALE

Drawing No.	1
Project:	Site, Utility, Grading and Drainage Plans 123 Plymouth Street, Portland, Maine
Client:	Dan Anderson Real Estate, Inc. 94 Auburn Street, Portland, Maine 04103
Company:	Gorrill-Palmer Consulting Engineers, Inc. 15 Shaker Road Gray, ME 04039 207-657-6910 207-657-6912 mailbo@gorrillpalmer.com
Issue:	Issued For
Rev.	Date
Revision	By
Date	By