

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

## BUILDING PERMIT

Permit Number: 100289

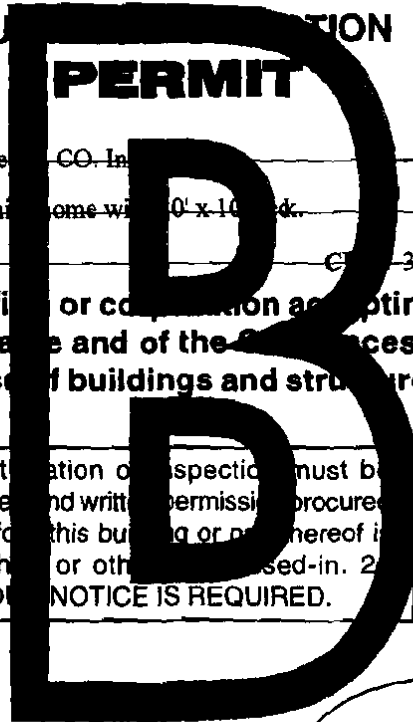
Please Read  
Application And  
Notes, If Any,  
Attached

This is to certify that Cgb Properties Llc/DA Braeke CO. Inc

has permission to Build new 24' x 32' single family home with 10' x 10' deck.

AT 133 Plymouth St. Lot #3 City 345 B013001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.



Apply to Public Works for street line and grade if nature of work requires such information.

**PERMIT ISSUED**

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other is used-in. 2 HO NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board City of Portland  
Other \_\_\_\_\_  
Department Name

Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

# City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0289	Issue Date:	CBL: 345 B013001
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Location of Construction: 133 Plymouth St. Lot #3	Owner Name: Cgb Properties Llc	Owner Address: 84 Country Ln	Phone:
Business Name:	Contractor Name: DA Brackett & CO. Inc.	Contractor Address: 84 Country Ln Portland	Phone: 2077560687
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R-3

Past Use: Vacant Land	Proposed Use: Build new 24' x 32' single family home with 10' x 10' deck.	Permit Fee: \$1,345.00	Cost of Work: \$125,000.00	CEO District: 5
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FIRE DEPT:  Approved  Denied  
 INSPECTION: Use Group: R-3 Type: SB  
 Signature: *[Handwritten Signature]* Signature: *[Handwritten Signature]*

Proposed Project Description:  
Build new 24' x 32' single family home with 10' x 10' deck.

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)  
 Action:  Approved  Approved w/Conditions  Denied  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Permit Taken By: gg	Date Applied For: 03/23/2010	<b>Zoning Approval</b>	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan 2010-0001 Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input checked="" type="checkbox"/> Date: _____	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<p>Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ASU</i> Date: _____
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## PERMIT ISSUED

APR 15 2010

City of Portland

### CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY )

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months, if the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.

  X   Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

  X   Foundation Inspection: Prior to placing ANY backfill for below grade occupiable space

  X   Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

  X   Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.  
NOTE: There is a \$75.00 fee per inspection at this point.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

PERMIT ISSUED

APR 15 2010

City of Portland

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0289	Date Applied For: 03/23/2010	CBL: 345 B013001
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Location of Construction: 133 Plymouth St. Lot #3	Owner Name: Cgb Properties Llc	Owner Address: 84 Country Ln	Phone:
Business Name:	Contractor Name: DA Brackett & CO. Inc.	Contractor Address: 84 Country Ln Portland	Phone (207) 756-0687
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Build new 24' x 32' single family home with 10' x 10' deck.	Proposed Project Description: Build new 24' x 32' single family home with 10' x 10' deck.
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 04/05/2010

**Note:** **Ok to Issue:** ✓

- 1) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed structure, it may be required to be located by a surveyor.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tammy Munson      **Approval Date:** 04/15/2010

**Note:** **Ok to Issue:** ✓

- 1) The basement is NOT approved as habitable space. A code compliant 2nd means of egress must be installed in order to change the use of this space.
- 2) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 3) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.
- 4) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 5) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
- 6) Those building a new single family dwelling shall install a CO detector in each area within or giving access to bedrooms. That detection must be powered by the electrical service in the building and battery.

**Dept:** DRC      **Status:** Approved with Conditions      **Reviewer:** Philip DiPierro      **Approval Date:** 03/30/2010

**Note:** **Ok to Issue:** ✓

- 1) Foundation drains, either gravity or pump discharge, shall be directed to the rear of the lot in accordance with the approved subdivision plan.
- 2) Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily.
- 3) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 4) A street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)

Location of Construction: 133 Plymouth St. Lot #3	Owner Name: Cgb Properties Llc	Owner Address: 84 Country Ln	Phone:
Business Name:	Contractor Name: DA Brackett & CO. Inc.	Contractor Address: 84 Country Ln Portland	Phone (207) 756-0687
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

- 5) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 6) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 7) The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 8) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 9) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.

**Comments:**

4/5/2010-amachado: Dwight brought in revised plans that show the deck & framing details.

3/25/2010-amachado: Spoke to Dwight Brackett. With the building plans, the foundation/first floor framing plan does not show the framing for the deck. He said that he would bring something in.

**PERMIT ISSUED**

APR 15 2010

City of Portland

20100289



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>LOT#3 PLYMOUTH ST #133</u>		
Total Square Footage of Proposed Structure/Area <u>1400</u>	Square Footage of Lot <u>6913</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>345</u> Block# <u>B</u> Lot# <u>13</u>	Applicant * <b>must</b> be owner, Lessee or Buyer* Name <u>D.A. BRACKETT, CO INC</u> Address <u>84 COUNTRY LANE</u> City, State & Zip <u>PORTLAND ME 04103</u>	Telephone: <u>756-0687</u>
<b>RECEIVED</b>  <b>MAR 23 2010</b>  <b>Dept. of Building Inspections</b> <b>City of Portland Maine</b>	Owner (if different from Applicant) Name <u>CG B PROPERTIES LLC</u> Address <u>84 COUNTRY LANE</u> City, State & Zip <u>PORTLAND ME 04103</u>	Cost Of Work: \$ <u>125,000</u> C of O Fee: \$ _____ Total Fee: \$ _____
	Current legal use (i.e. single family) <u>SINGLE FAMILY</u> Number of Residential Units <u>1,250.00</u> If vacant, what was the previous use? <u>VACANT</u> <u>300.00</u> Proposed Specific use: _____ <u>1500</u> Is property part of a subdivision? <u>YES</u> If yes, please name _____ <u>STAIR, 645.00</u> Project description: <u>24x32 2 STORY CAPE 3 BED ROOM, 2 BATHS</u> <u>NO GARAGE, 10' x 10' DECK</u>	
Contractor's name: <u>D.A. BRACKETT &amp; CO INC</u>		
Address: <u>84 COUNTRY LANE</u>		
City, State & Zip <u>PORTLAND ME 04103</u>		Telephone: <u>756-0687</u>
Who should we contact when the permit is ready: _____		Telephone: _____
Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 3/22/10

This is not a permit; you may not commence ANY work until the permit is issued

Applicant: DA Brackett & Co Inc.  
Address: 133 Plymouth St. (lot #3)

Date: 3/25/10  
C-B-L: 345-B-13  
permit #: 12-0289

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - build new single family cape w/ full dormer (32' x 24')

Sewage Disposal - city

Lot Street Frontage - 50' min. - 65' scaled (OK)

Front Yard - 25' min - 25' to front steps (scaled) (OK)

Rear Yard - 25' min - 42' scaled to deck (OK)

Side Yard - 2 stories - ~~21' min~~ 14' min - 8' scaled on left \* OK can reduce to 8' - add 6' to right - need 20' have 21' (OK)  
21' scaled on right to steps (OK)

Projections - 10x10' deck, 6x6 front steps, 4x6 side steps, 5.5' x 6' bulkhead.

Width of Lot - 65' min - 65' scaled (OK)

Height - 35' max - 21' scaled.

Lot Area - 6,500 sq ft min - 6,913 sq ft (OK)

Lot Coverage Impervious Surface - 35%

Area per Family - 6,500 sq ft (OK)

Off-street Parking - 2 spaces required.

Loading Bays - N/A

Site Plan - minor/minor 2010-0006

Shoreland Zoning/Stream Protection - N/A.

Flood Plains - panel 7 - zone X

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Inspections Copy**

2010-0006

Application I. D. Number

3/23/2010

Application Date

Cgb Properties Llc

Applicant

84 Country Ln , Portland, ME 04103

Applicant's Mailing Address

133 Plymouth Street Lot #3

Project Name/Description

Consultant/Agent

Agent Ph:

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

133 - 133 Plymouth St, Portland, Maine

Address of Proposed Site

346 B013001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail

Manufacturing  Warehouse/Distribution  Parking Lot  Apt 0  Condo 0  Other (specify) \_\_\_\_\_

6,913 sq. Ft.

0

Proposed Building square Feet or # of Units

Acreage of Site

Proposed Total Disturbed Area of the Site

Zoning

**Check Review Required:**

Site Plan (major/minor)

Zoning Conditional - PB

Subdivision # of lots \_\_\_\_\_

Design Review

Amendment to Plan - Board Review

Zoning Conditional - ZBA

Shoreland

Historic Preservation

DEP Local Certification

Amendment to Plan - Staff Review

Zoning Variance

Flood Hazard

Site Location

After the Fact - Major

Stormwater

Traffic Movement

Housing Replacement

After the Fact - Minor

PAD Review

14-403 Streets Review

Other \_\_\_\_\_

Fees Paid:

Site Plan

\$50.00

Subdivision

Engineer Review

\$250.00

Date

3/25/2010

**Inspections Approval Status:**

Reviewer \_\_\_\_\_

Approved

Approved w/Conditions

Denied

See Attached

Approval Date \_\_\_\_\_

Approval Expiration \_\_\_\_\_

Extension to \_\_\_\_\_

Additional Sheets

Attached

Condition Compliance

signature

date

Performance Guarantee

Required\*

Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

Performance Guarantee Accepted

date

amount

expiration date

Inspection Fee Paid

date

amount

Building Permit Issue

date

Performance Guarantee Reduced

date

remaining balance

signature

Temporary Certificate of Occupancy

date

Conditions (See Attached)

expiration date

Final Inspection

date

signature

Certificate Of Occupancy

date

Performance Guarantee Released

date

signature

Defect Guarantee Submitted

submitted date

amount

expiration date

Defect Guarantee Released

date

signature



QUITCLAIM DEED WITH COVENANT

**W.A. One**, a Maine corporation with a principal place of business at 449 Forest Avenue, in the City of Portland, County of Cumberland and State of Maine,

For Consideration Paid, GRANT with QUITCLAIM COVENANT to:

**C.G.B. Properties, LLC**, a Maine limited liability company with a principal place of business and address of 84 Country Lane, in the City of Portland, County of Cumberland and State of Maine, a certain lot or parcel of land located in the City of Portland, County of Cumberland and State of Maine, being more particularly described as follows:

Lot 3 as depicted a certain plan entitled "Land of W.A. One, Inc." made for W.A. One, Inc. by Titcomb Associates dated March 11, 2009, revised through July 7, 2009, and recorded at the Cumberland County Registry of Deeds in Plan Book 209, Page 206 (the "Plan"), containing 6913 square feet, more or less.

Being a portion of the premises conveyed to Grantor herein by deed of City of Portland dated December 31, 2008, and recorded at the Cumberland County Registry of Deeds in Book 26533, Page 329.

The premises are conveyed subject to and together with the following easements:

A. Subject to a five foot (5') wide drainage easement located upon and running the entire length of the northerly boundary of Lot 3 as shown on said Plan, which easement is appurtenant to, in common with and for the benefit of Lot 2 as shown on said Plan. This easement shall permit the owners of Lots 2 and 3 to construct and perpetually maintain through, under, across and upon said parcel, pipes, ditches or the like, for conveying drainage water, to lay, relay, repair, alter, enlarge, maintain and remove said drainage systems upon or under said parcel with all necessary fixtures and appurtenances, to trim, cut down and remove bushes and trees growing on said parcel, to remove grass and crops growing on said parcel, to excavate or fill said parcels, all to such extent as is reasonably necessary for any of the above purposes, and to enter upon said parcel at any and all times for any of the foregoing purposes. These easement rights are not exclusive to Lot 2, and said rights shall be exercised in common with the

WARRANTY TAX PAID

same rights which are reserved to Lot 3. By acceptance of this deed, Grantee agrees that all costs and expenses of such construction, maintenance and/or repair indicated above, shall be shared equally between the owners of Lots 2 and 3.

B. Also conveying to Lot 3, its successors and assigns, a five foot (5') wide drainage easement, located upon and running the entire length of the southerly boundary of Lot 2 as shown on said Plan, which easement is appurtenant to, in common with and for the benefit of Lot 3 as shown on the Plan. This easement shall permit the owners of Lots 2 and 3 to construct and perpetually maintain through, under, across and upon said parcel, pipes, ditches or the like, for conveying drainage water, to lay, relay, repair, alter, enlarge, maintain and remove said drainage systems upon or under said parcel with all necessary fixtures and appurtenances, to trim, cut down and remove bushes and trees growing on said parcel, to remove grass and crops growing on said parcel, to excavate or fill said parcels, all to such extent as is reasonably necessary for any of the above purposes, and to enter upon said parcel at any and all times for any of the foregoing purposes. These easement rights are not exclusive to Lot 3, and said rights shall be exercised in common with the same rights which are reserved to Lot 2. By acceptance of this deed, Grantee agrees that all costs and expenses of such construction, maintenance and/or repair indicated above, shall be shared equally between the owners of Lots 2 and 3.

C. Subject to a five foot (5') wide drainage easement located upon and running the entire length of the southerly boundary of Lot 3 as shown on said Plan, which easement is appurtenant to, in common with and for the benefit of Lot 4 as shown on said Plan. This easement shall permit the owners of Lots 3 and 4 to construct and perpetually maintain through, under, across and upon said parcel, pipes, ditches or the like, for conveying drainage water, to lay, relay, repair, alter, enlarge, maintain and remove said drainage systems upon or under said parcel with all necessary fixtures and appurtenances, to trim, cut down and remove bushes and trees growing on said parcel, to remove grass and crops growing on said parcel, to excavate or fill said parcels, all to such extent as is reasonably necessary for any of the above purposes, and to enter upon said parcel at any and all times for any of the foregoing purposes. These easement rights are not exclusive to Lot 4, and said rights shall be exercised in common with the same rights which are reserved to Lot 3. By acceptance of this deed, Grantee agrees that all costs and expenses of such construction, maintenance and/or repair indicated above, shall be shared equally between the owners of Lots 3 and 4.

D. Also conveying to Lot 3, its successors and assigns, a five foot (5') wide drainage easement, located upon and running the entire length of the northerly boundary of Lot 4 as shown on said Plan, which easement is appurtenant to, in common with and for the benefit of Lot 3 as shown on the Plan. This easement shall permit the owners of Lots 3 and 4 to construct and perpetually maintain through, under, across and upon said parcel, pipes, ditches or the like, for conveying drainage water, to lay, relay, repair, alter, enlarge, maintain and remove said drainage systems upon or under said parcel with all necessary fixtures and appurtenances, to trim, cut down and remove bushes and trees growing on said parcel, to remove grass and crops growing on said parcel, to

excavate or fill said parcels, all to such extent as is reasonably necessary for any of the above purposes, and to enter upon said parcel at any and all times for any of the foregoing purposes. These easement rights are not exclusive to Lot 3, and said rights shall be exercised in common with the same rights which are reserved to Lot 4. By acceptance of this deed, Grantee agrees that all costs and expenses of such construction, maintenance and/or repair indicated above, shall be shared equally between the owners of Lots 3 and 4.

The premises are conveyed SUBJECT to an aerial easement for the installation of overhead utilities located on the westerly corner of Lot 3 and identified on said Plan as "Proposed Aerial Easement to CMP (198 s.f.)", which right is reserved by Grantor and its successors and assigns.

This conveyance is together with and subject to the terms and conditions of Notes 1 through 18 as shown on said Plan and specifically, without limiting the foregoing, Note 16 which states "Future lot development shall be constructed in accordance with the Lot Grading Plan Drawing No. C102 submitted as a part of this plan set. Any modifications to the grading shall be submitted to the Portland Planning Staff for approval prior to the submission of a building permit."

Also hereby conveying all rights, easements, privileges and appurtenances belonging to the premises hereinabove described.

The provisions described herein shall be deemed covenants running with the land, burdening and benefiting the premises, and this easement with the covenants therein shall be binding on the respective successors, heirs, devisees and assigns of the parties herein.

IN WITNESS WHEREOF, the said W.A. ONE has caused this instrument to be signed in its corporate name and sealed with its corporate seal by James M. Wolf, its President, thereunto duly authorized this 30th day of September, 2009.

W.A. ONE

Nancy L. Neidha  
Witness

By: [Signature]  
James M. Wolf  
Its President

STATE OF MAINE  
CUMBERLAND, SS:

September 30, 2009

Then personally appeared the above-named James M. Wolf, President, of W.A. ONE as aforesaid and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said corporation.

Before me,

*Darcy L. Needham*  
~~Attorney at Law~~/Notary Public  
Print Name: \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_

Darcy L. Needham  
Notary Public, Maine  
Commission Expires January 26, 2016

Received  
Recorded Register of Deeds  
Oct 01, 2009 02:58:43P  
Cumberland County  
Pamela E. Lovley

**GENERAL NOTES:**

1. All work shall be in accordance with the International Building Code (IBC), NFPA-70 National Electrical Code, NFPA-99, NFPA-101 Life Safety Code, NFPA-102 Fire Department Access Code, NFPA-13 Fire Protection Code, NFPA-1400 Fire Alarm and Signaling Code, NFPA-201 Fire Department Communications Code, NFPA-211 Fire Department Access Code, NFPA-221 Fire Department Operations Code, NFPA-222 Fire Department Operations Code, NFPA-223 Fire Department Operations Code, NFPA-224 Fire Department Operations Code, NFPA-225 Fire Department Operations Code, NFPA-226 Fire Department Operations Code, NFPA-227 Fire Department Operations Code, NFPA-228 Fire Department Operations Code, NFPA-229 Fire Department Operations Code, NFPA-230 Fire Department Operations Code, NFPA-231 Fire Department Operations Code, NFPA-232 Fire Department Operations Code, NFPA-233 Fire Department Operations Code, NFPA-234 Fire Department Operations Code, NFPA-235 Fire Department Operations Code, NFPA-236 Fire Department Operations Code, NFPA-237 Fire Department Operations Code, NFPA-238 Fire Department Operations Code, NFPA-239 Fire Department Operations Code, NFPA-240 Fire Department Operations Code.

**FOUNDATION NOTES:**

1. PROVIDE ALL SEALER ON TOP OF ALL FOUNDATION WALLS.
2. FOUNDATION WALLS SHALL BE SHAPED TO FOLLOW CURVATURE OF ALL STEPS.
3. ALL STEEL REINFORCING IN FOUNDATIONS TO BE A MINIMUM #3 CLEAR FROM BOTTOM OF FOOTING.
4. ALL STEEL REINFORCING IN FOUNDATION WALLS TO BE #3 CLEAR FROM BOTTOM OF FOOTING.
5. ALL CONCRETE SURFACES SHALL HAVE A STEEL PRESSURE PRESERVING TREATED W/CCA TO 45/125 RETENTION PER APCA FORMER & LIGHT BRICK FRESH.
6. SET BOTTOM OF FOOTINGS MIN. 4'-0" BELOW GRADE.
7. SET OUTLINE OF FOOTINGS MIN. 4'-0" BELOW GRADE.
8. SET ALL FOOTINGS ON UNLIMBATED SOIL OR COMPACTED STRUCTURAL FILL.
9. RAISEMENT HEAT IN SLAB.
10. FIRST FLOOR SLAB SHALL BE 4" THICK CONCRETE SLAB ON GRADE W/ 8" REINFORCING (REINFORCING PROVIDE CONTROL JOINTS @ 15' MAX SPACING (2258)).
11. ALL CONCRETE SHALL BE 3000 PSI (f<sub>c</sub>) STRENGTH AT 28 DAYS.
12. ALL CONCRETE SHALL BE AIR ENTRAINED 4-8% / A.
13. ALL OTHER ADVERTISEMENTS SHALL BE PRE-APPROVED.
14. WATERPROOFING / DAMP PROOFING ASPHALT TME.

**FRAMING NOTES:**

1. ALL EXTERIOR WALLS TO BE 2x6 WOOD STUD WALLS @ 24" O.C. 1/2" EPS BATT INSULATION (R-19) AND 7/16" APA RATED SHEATHING @ EXTERIOR FACE OF WALL.
2. ALL INTERIOR WALLS TO BE 2x4 WOOD STUD WALLS (UNLESS NOTED OTHERWISE) w/ ONE LAYER 1/2" G.I.B. EACH SIDE.
3. METAL BRACING (SHOW ALL SURFACE SPACERS, BRACES, AND SHEET PILING) SHALL BE PROVIDED ON WALLS.
4. THE LOCATION OF ALL ROOF FRAMES SHALL BE 4 1/2" (UNLESS NOTED OTHERWISE) FROM ADJACENT WALLS.

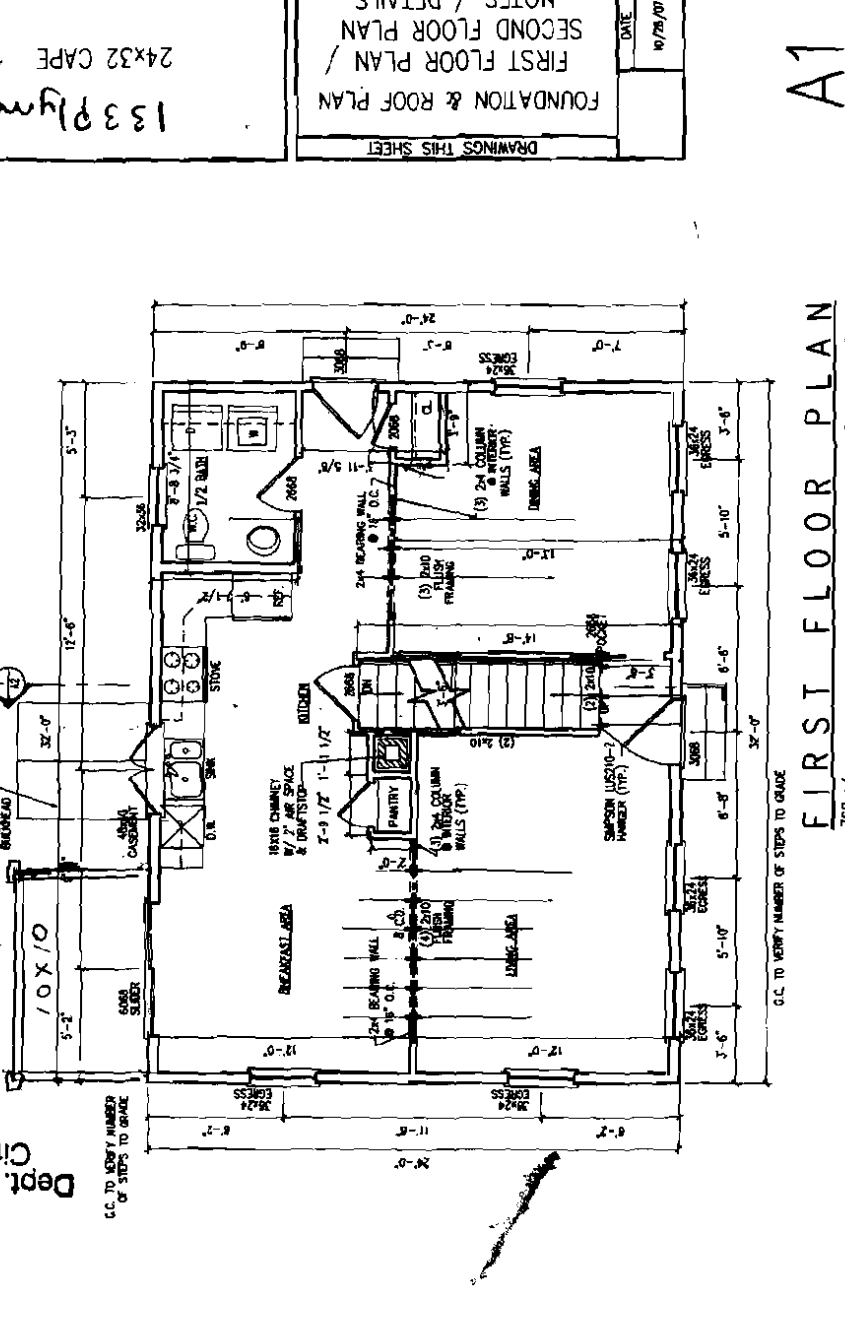
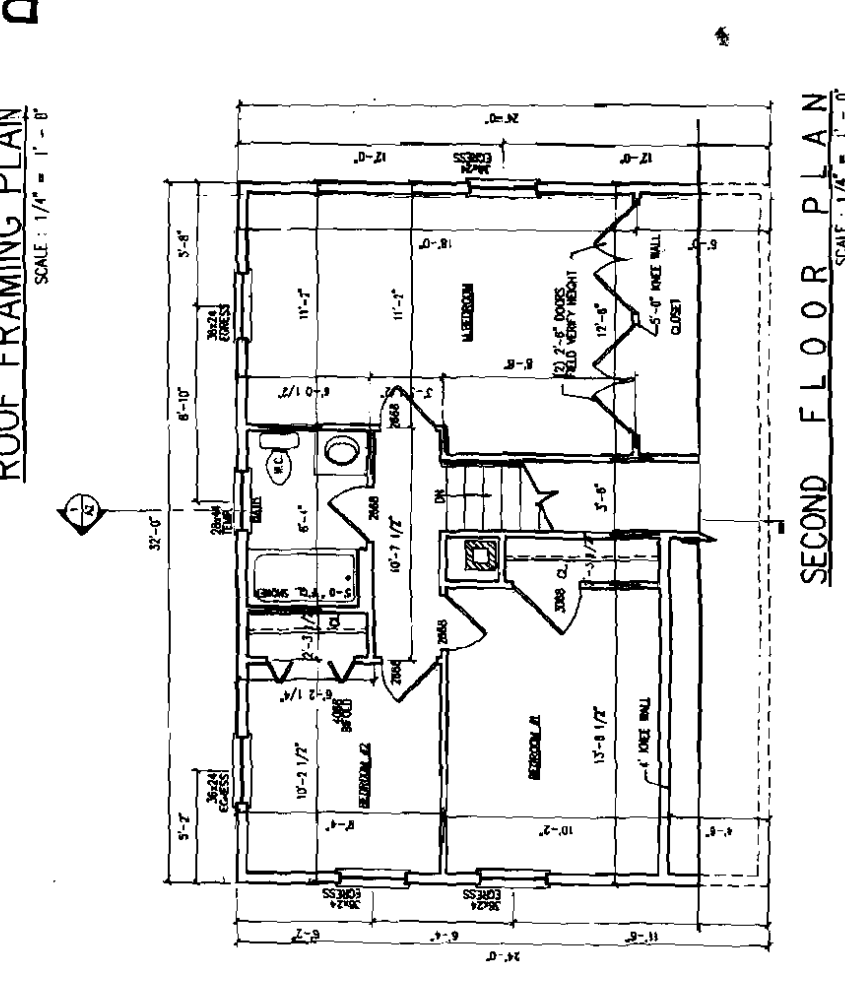
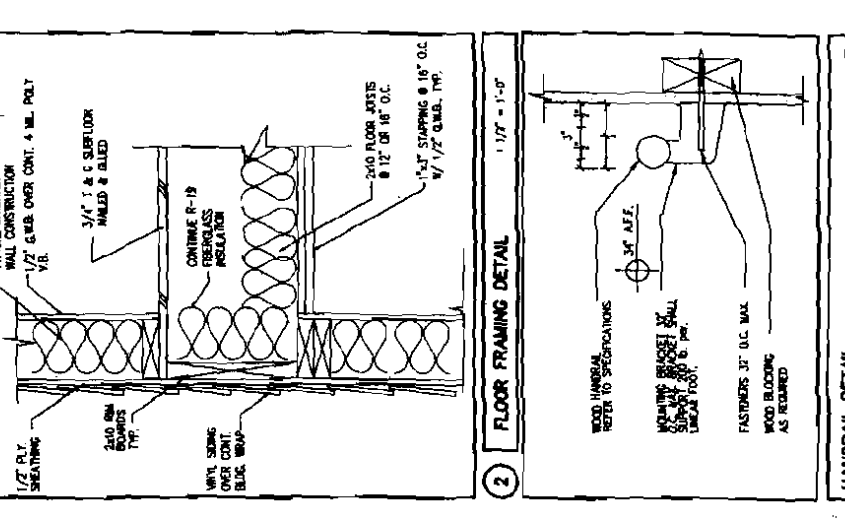
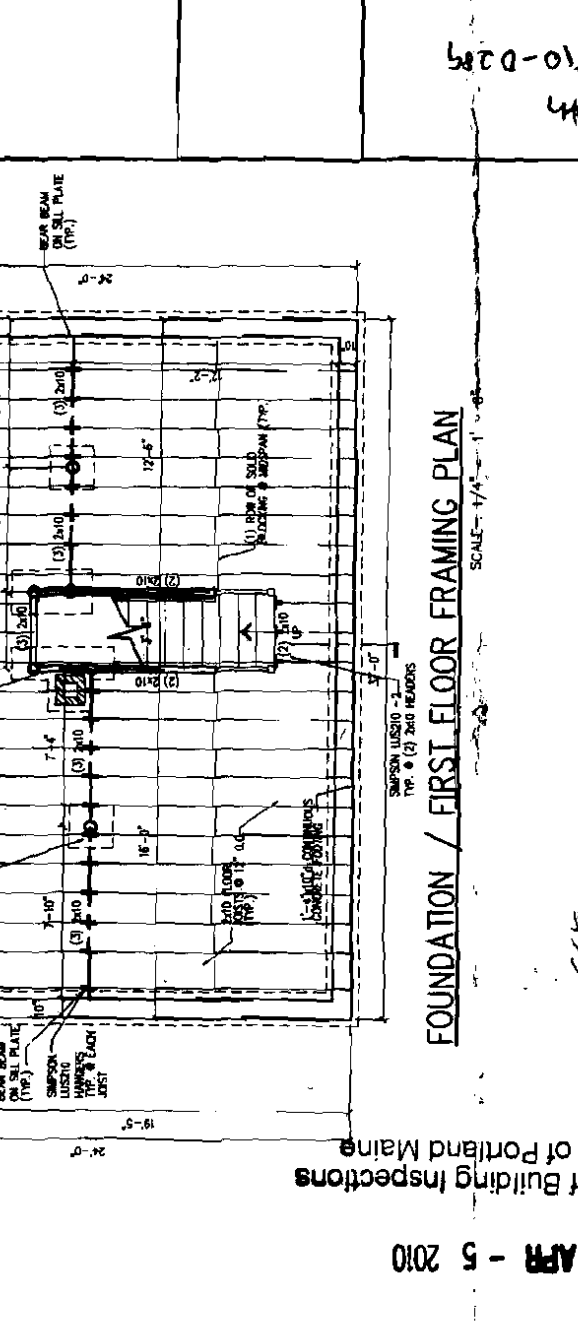
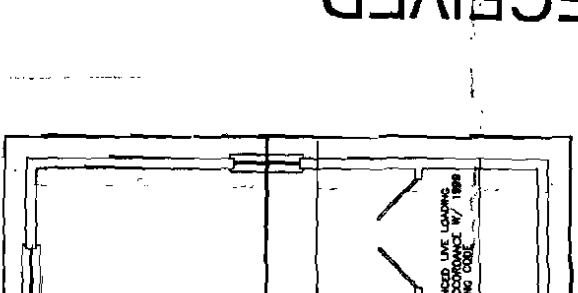
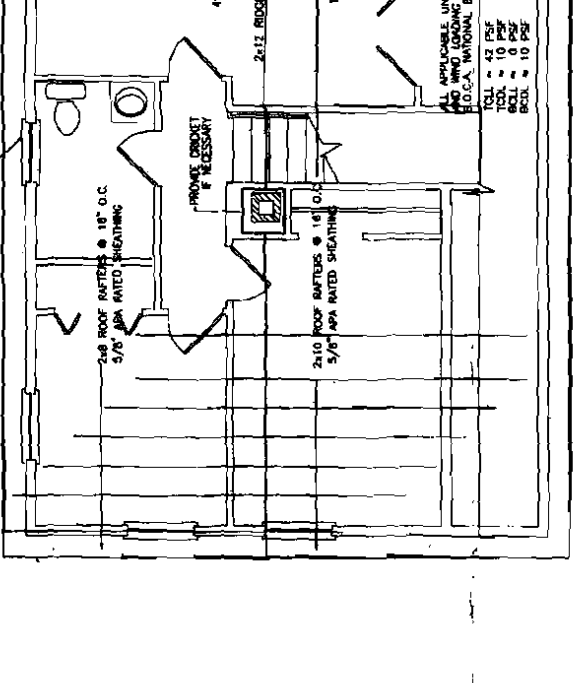
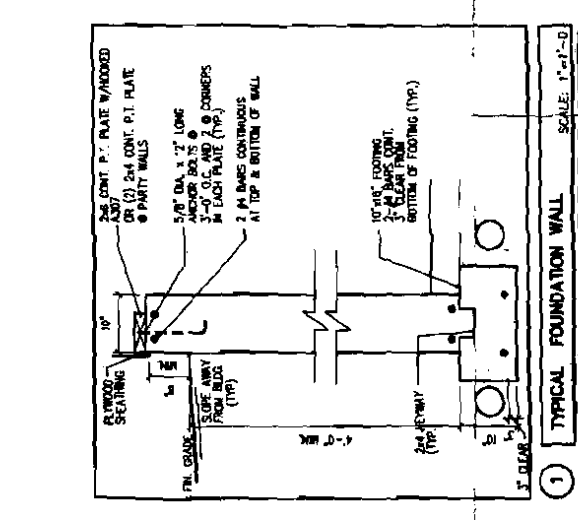
**HEADER SCHEDULE**

ROOF OPENING	HEADER SIZE
0-3'-0"	(3) 2x8
3'-0" - 4'-6"	(3) 2x10
4'-6" - 6'-0"	(3) 2x12
6'-0" - 7'-6"	(3) 2x14
7'-6" - 9'-0"	(3) 2x16
9'-0" - 10'-0"	(3) 2x18
10'-0" - 12'-0"	(3) 2x20

NOTE: PROVIDE JOIST BUSHES TO THE BRIMS OF 10'-0" ROOF OPENING.  
(2) 2x6 JOIST BUSHES TO THE BRIMS OF 10'-0" ROOF OPENING.

**FOUNDATION NOTES:**

1. PROVIDE ALL SEALER ON TOP OF ALL FOUNDATION WALLS.
2. FOUNDATION WALLS SHALL BE SHAPED TO FOLLOW CURVATURE OF ALL STEPS.
3. ALL STEEL REINFORCING IN FOUNDATIONS TO BE A MINIMUM #3 CLEAR FROM BOTTOM OF FOOTING.
4. ALL STEEL REINFORCING IN FOUNDATION WALLS TO BE #3 CLEAR FROM BOTTOM OF FOOTING.
5. ALL CONCRETE SURFACES SHALL HAVE A STEEL PRESSURE PRESERVING TREATED W/CCA TO 45/125 RETENTION PER APCA FORMER & LIGHT BRICK FRESH.
6. SET BOTTOM OF FOOTINGS MIN. 4'-0" BELOW GRADE.
7. SET OUTLINE OF FOOTINGS MIN. 4'-0" BELOW GRADE.
8. SET ALL FOOTINGS ON UNLIMBATED SOIL OR COMPACTED STRUCTURAL FILL.
9. RAISEMENT HEAT IN SLAB.
10. FIRST FLOOR SLAB SHALL BE 4" THICK CONCRETE SLAB ON GRADE W/ 8" REINFORCING (REINFORCING PROVIDE CONTROL JOINTS @ 15' MAX SPACING (2258)).
11. ALL CONCRETE SHALL BE 3000 PSI (f<sub>c</sub>) STRENGTH AT 28 DAYS.
12. ALL CONCRETE SHALL BE AIR ENTRAINED 4-8% / A.
13. ALL OTHER ADVERTISEMENTS SHALL BE PRE-APPROVED.
14. WATERPROOFING / DAMP PROOFING ASPHALT TME.



**RECEIVED**  
APR - 5 2010  
Dept. of Building Inspections  
City of Portland Maine

**GENERAL NOTES:**

1. All work shall be in accordance with the International Building Code (IBC), NFPA-70 National Electrical Code, NFPA-99, NFPA-101 Life Safety Code, NFPA-102 Fire Department Access Code, NFPA-13 Fire Protection Code, NFPA-1400 Fire Alarm and Signaling Code, NFPA-201 Fire Department Communications Code, NFPA-211 Fire Department Access Code, NFPA-221 Fire Department Operations Code, NFPA-222 Fire Department Operations Code, NFPA-223 Fire Department Operations Code, NFPA-224 Fire Department Operations Code, NFPA-225 Fire Department Operations Code, NFPA-226 Fire Department Operations Code, NFPA-227 Fire Department Operations Code, NFPA-228 Fire Department Operations Code, NFPA-229 Fire Department Operations Code, NFPA-230 Fire Department Operations Code, NFPA-231 Fire Department Operations Code, NFPA-232 Fire Department Operations Code, NFPA-233 Fire Department Operations Code, NFPA-234 Fire Department Operations Code, NFPA-235 Fire Department Operations Code, NFPA-236 Fire Department Operations Code, NFPA-237 Fire Department Operations Code, NFPA-238 Fire Department Operations Code, NFPA-239 Fire Department Operations Code, NFPA-240 Fire Department Operations Code.

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13. ALL OTHER ADVERTISEMENTS SHALL BE PRE-APPROVED.
14. WATERPROOFING / DAMP PROOFING ASPHALT TME.

**FRAMING NOTES:**

1. ALL EXTERIOR WALLS TO BE 2x6 WOOD STUD WALLS @ 24" O.C. 1/2" EPS BATT INSULATION (R-19) AND 7/16" APA RATED SHEATHING @ EXTERIOR FACE OF WALL.
2. ALL INTERIOR WALLS TO BE 2x4 WOOD STUD WALLS (UNLESS NOTED OTHERWISE) w/ ONE LAYER 1/2" G.I.B. EACH SIDE.
3. METAL BRACING (SHOW ALL SURFACE SPACERS, BRACES, AND SHEET PILING) SHALL BE PROVIDED ON WALLS.
4. THE LOCATION OF ALL ROOF FRAMES SHALL BE 4 1/2" (UNLESS NOTED OTHERWISE) FROM ADJACENT WALLS.

**HEADER SCHEDULE**

ROOF OPENING	HEADER SIZE
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(2) 2x6 JOIST BUSHES TO THE BRIMS OF 10'-0" ROOF OPENING.

**FOUNDATION NOTES:**

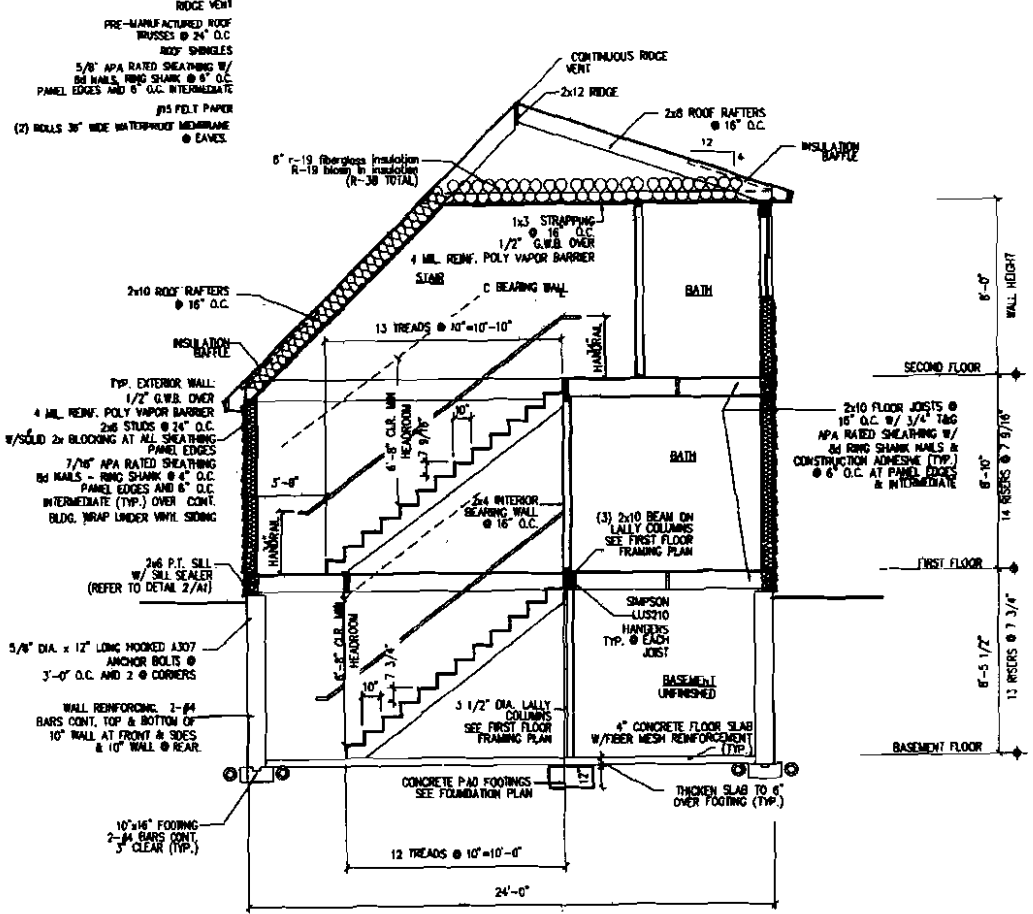
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133 Plymeth  
24x32 CAPE #10-0285  
DATE 10/28/07  
FIRST FLOOR PLAN / SECOND FLOOR PLAN / FOUNDATION & ROOF PLAN  
DRAWINGS THIS SHEET  
NOTES / DETAILS

**TYPICAL ROOF CONSTRUCTION**

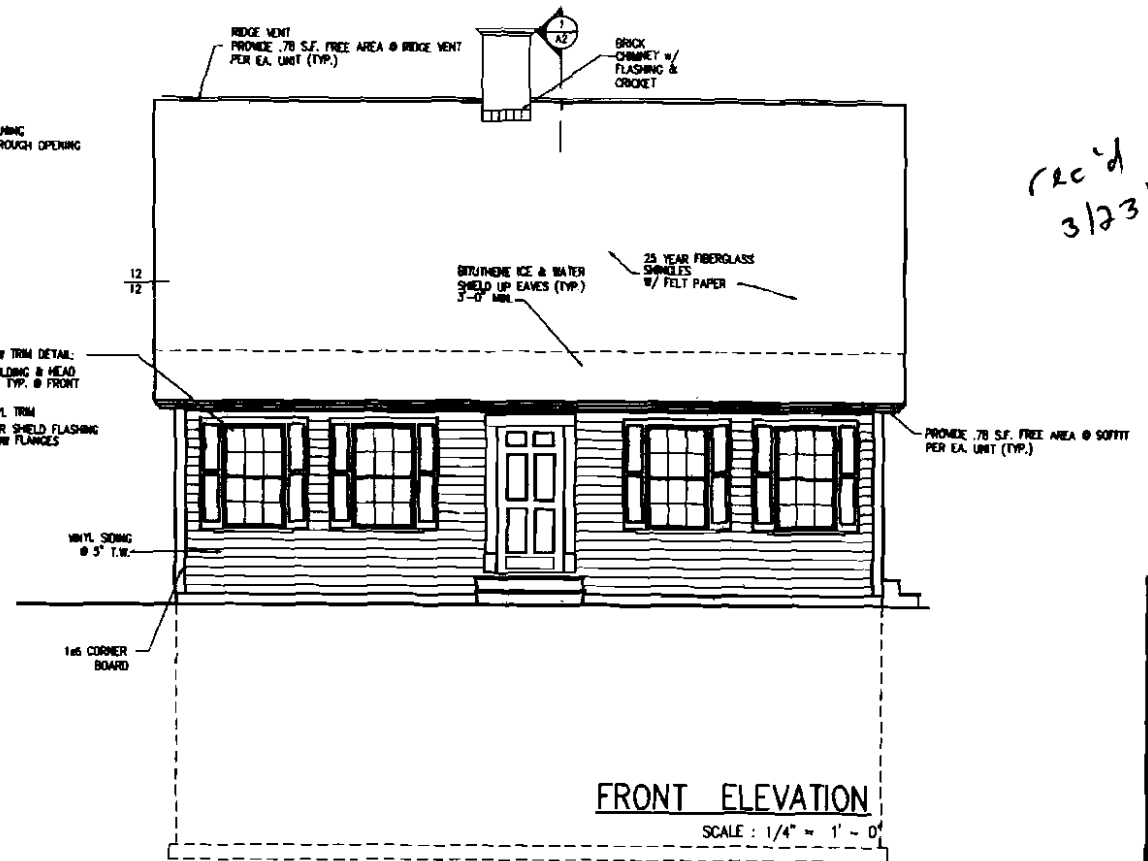


**SECTION THRU HOUSE**  
 SCALE: 1/4" = 1' - 0"

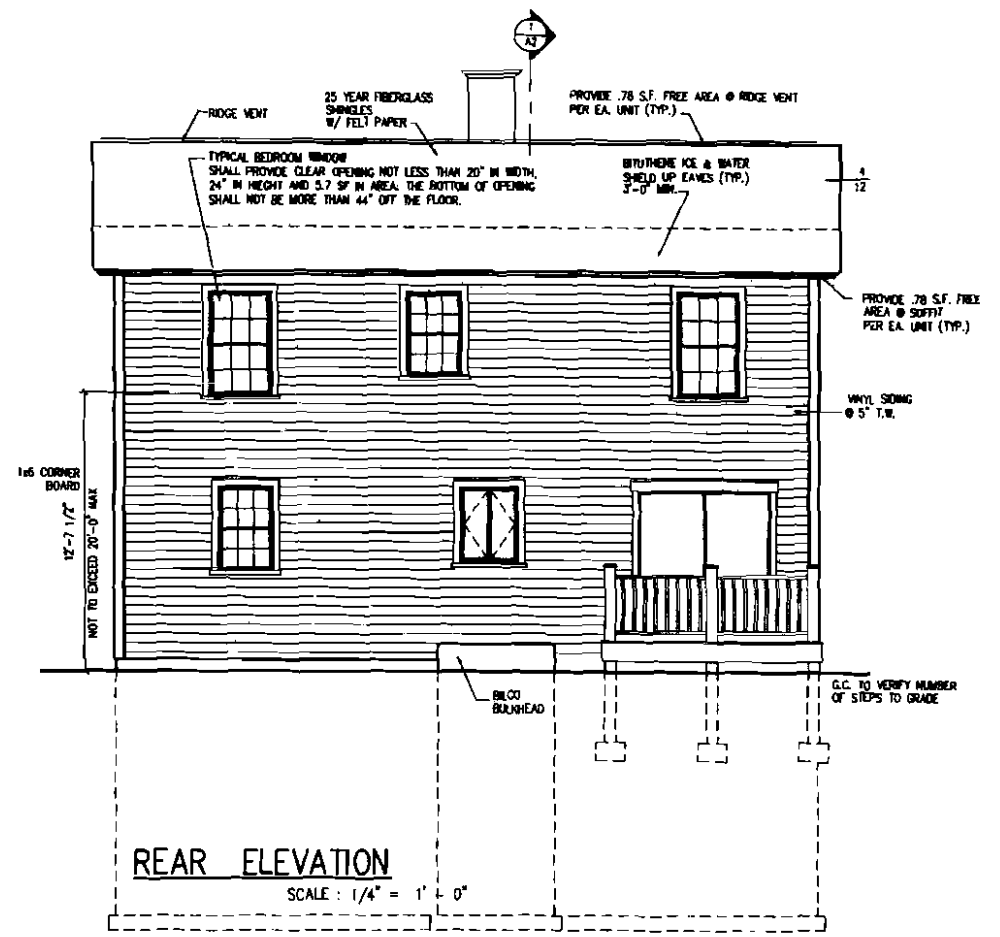
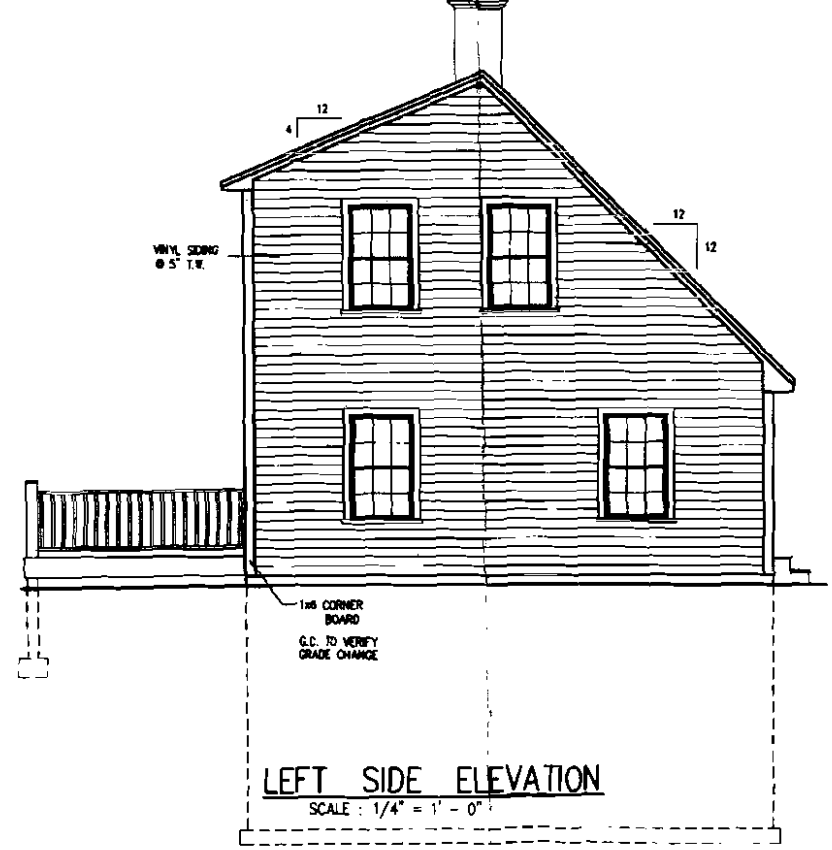
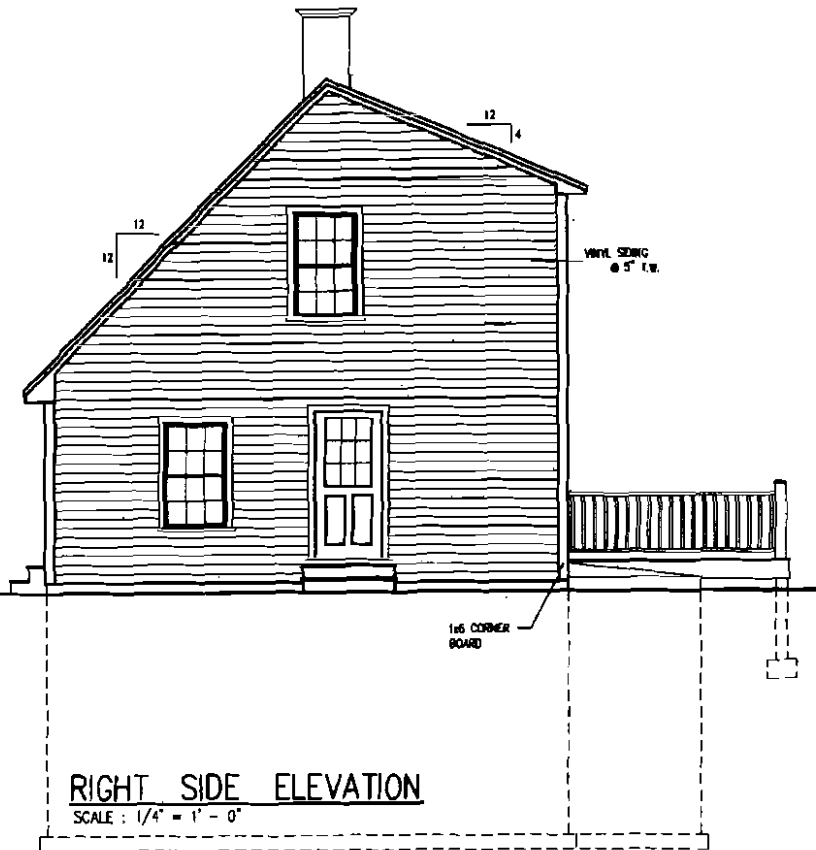
**HEADER SCHEDULE**

ROUGH OPENING	HEADER SIZE
0' - 5' - 0"	(3) - 2x6
5' - 6" - 0"	(3) - 2x6
6' - 7" - 0"	(3) - 2x10
7' - 8" - 0"	(3) - 2x12

**NOTE: PROVIDE JAMBS BOTH ENDS AS FOLLOWS:**  
 2x6 JACK PLUS 2x6 KING UP TO 4'-0" ROUGH OPENING  
 (2) 2x6 JACKS PLUS (2) 2x6 KINGS UP TO 7'-0" ROUGH OPENING



REC'D  
 3/23/10

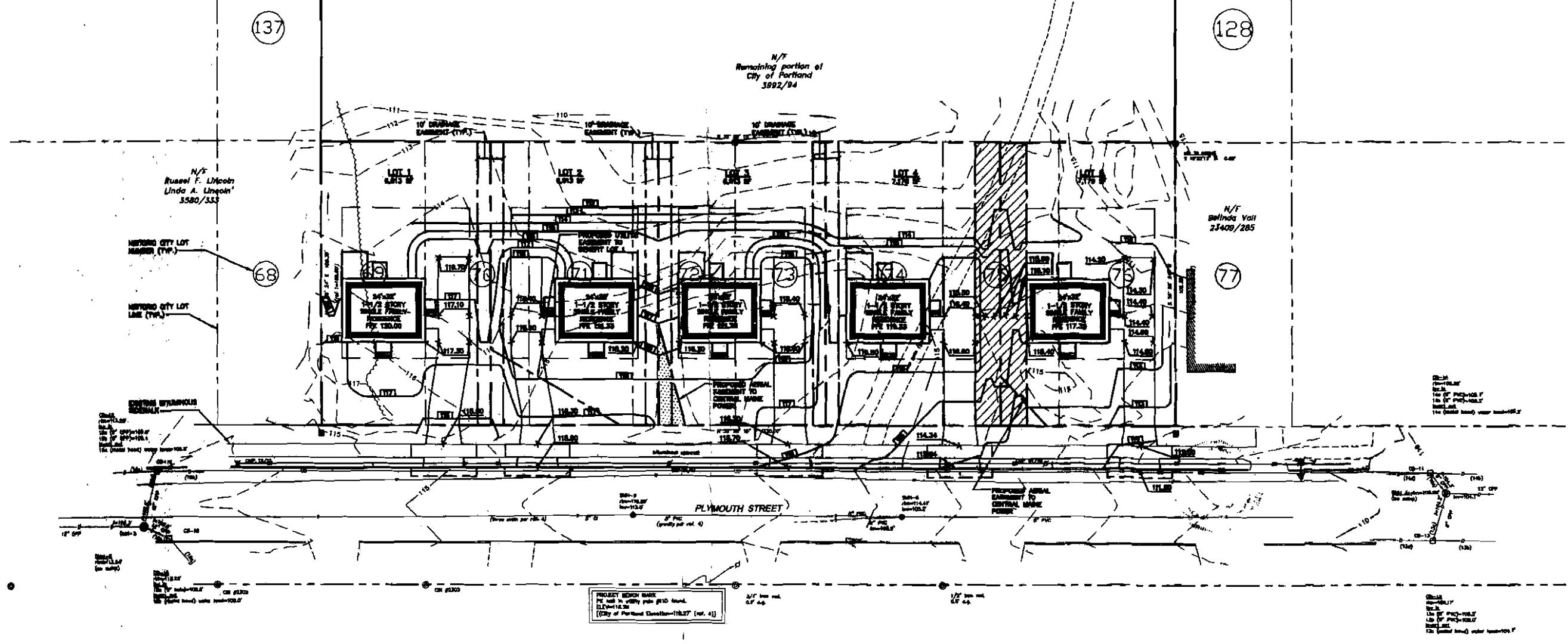


LOT #3  
 24x32 CAPE 1339 Lynch St.  
 # 10-0289

DRAWINGS THIS SHEET

ELEVATIONS / SECTION
DATE
10/26/07

A2

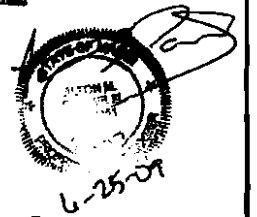


PROJECT BENCH MARK  
 1/2" DIA. IRON PIPE #10 FOUND  
 ELEV. 118.26  
 (City of Portland Station=118.27 (ref. 4))

133 Plymouth St.

MAR 23 2010

- NOTES
1. FOUNDATION BENCH MARKS SHALL BE LOCATED TO THE REAR OF EACH LOT.
  2. FUTURE LOT DEVELOPMENT SHALL BE COORDINATED AS APPROPRIATE WITH THE OWNER'S RECORDS OF THIS PLAN. ANY MODIFICATIONS TO THE BENCH MARKS SHALL BE SUBMITTED TO THE PORTLAND PLANNING STAFF FOR APPROVAL. PLEASE TO SUBMITTER OF A WRITTEN REPORT.



1 inch = 20 ft.

133 Plymouth Street - Portland, ME - CAD/2009/2148-plm.dwg - Jun 25, 2009 - 1:09pm

Rev.	Date	Revision
3	6/24/09	FLIPPED LOT 5 HOUSE LOCATION
2	6/15/09	MODIFIED EASEMENT FOR LOT 1
1	5/20/09	RESPONSE TO CITY COMMENTS

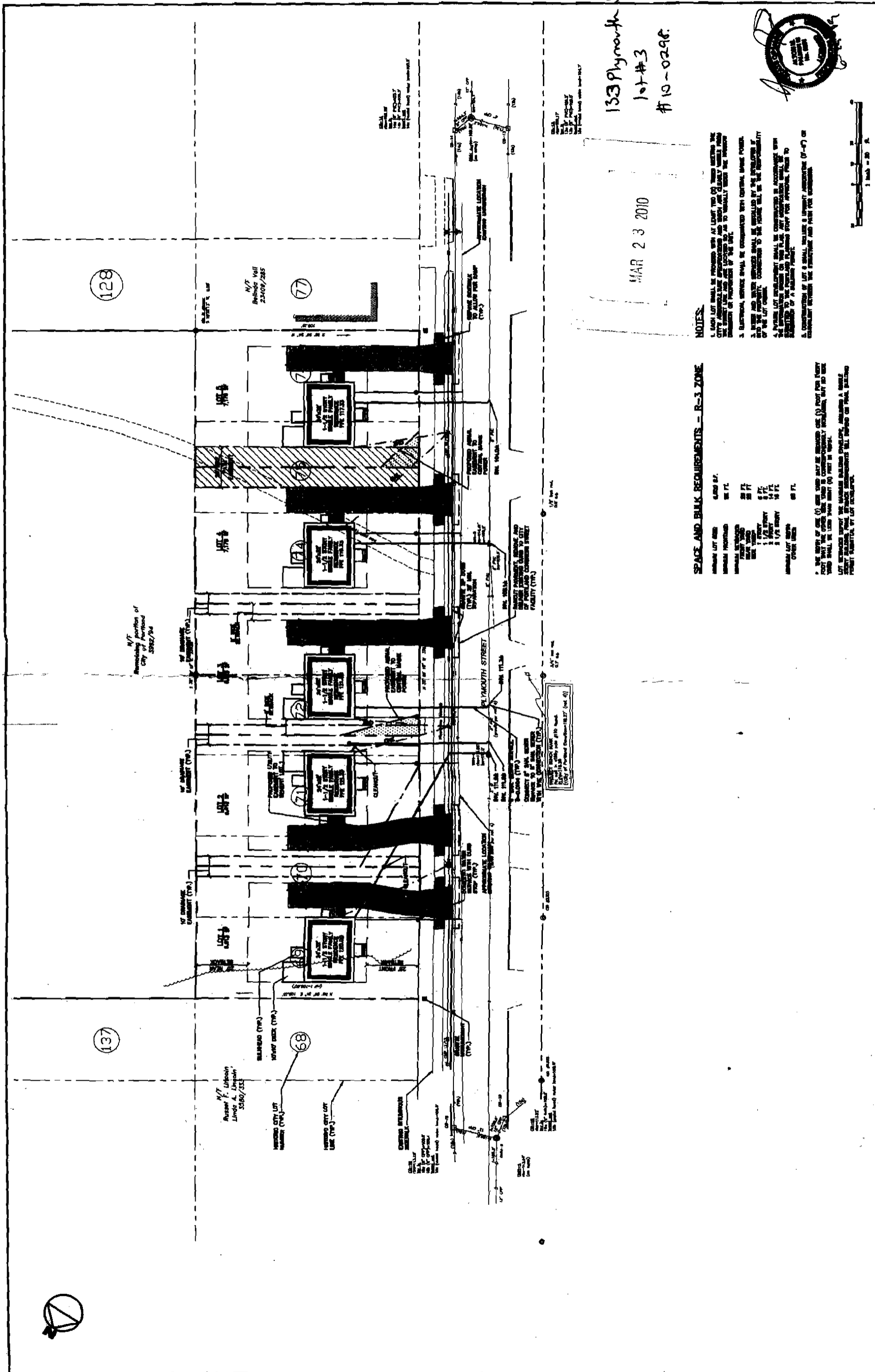
Issued For	Date	By
SUBDIVISION REVIEW	3/25/09	DER

Design: dm    Draft: CRB    Date: 12/08  
 Checked: DER    Scale: 1"=20'    Job No.: 2148  
 File Name: 2148-plm.dwg  
 This plan shall not be modified without written permission from Gorrill-Palmer Consulting Engineers, Inc. (GPCE). Any alterations, authorized or otherwise, shall be at the user's sole risk and without liability to GPCE.

**GP** Gorrill-Palmer Consulting Engineers, Inc.  
 PO Box 1237 Transportation and Civil Engineering Services 207-857-8910  
 15 Shaker Road Gray, ME 04039 FAX: 207-857-8912  
 E-Mail: mailbox@gorrillpalmer.com

Drawing Name	Project	Client
Lot Grading Plan	Plymouth Street	Diversified Properties
	Portland, Maine	P.O. Box 10127, Portland, M-

Drawing No.  
**C102**



133 Plymouth St  
 lot #3  
 #10-0296

MAR 23 2010

**NOTES:**

1. EACH LOT SHALL BE PROVIDED WITH AT LEAST TWO (2) FEET BUFFER FROM CITY STREET LINE AND ONE FOOT BUFFER FROM ADJACENT LOT LINE. THE BUFFER SHALL BE MAINTAINED TO THE FULL WIDTH OF THE LOT.
2. ELECTRICAL SERVICE SHALL BE COORDINATED WITH CENTRAL WASTE POWER.
3. ALL NEW AND EXISTING UTILITIES SHALL BE IDENTIFIED BY THE PERMITTEE OF THE LOT OWNER.
4. FUTURE LOT DEVELOPMENT SHALL BE COORDINATED IN ACCORDANCE WITH THE CITY ENGINEERING DEPARTMENT. ANY DEVELOPMENT SHALL BE SUBMITTED TO THE PORTLAND ENGINEERING DEPARTMENT FOR APPROVAL. PLEASE TO THE PORTLAND ENGINEERING DEPARTMENT FOR APPROVAL.
5. CONSTRUCTION OF LOT 8 SHALL INCLUDE A UTILITY ADJUSTMENT (U-7) OR EQUIVALENT BETWEEN THE PLYMOUTH AND PINE ST CORNER.

**SPACE AND BULK REQUIREMENTS - R-3 ZONE**

MINIMUM LOT AREA	6,000 SF.
MINIMUM FRONTAGE	30 FT.
MINIMUM SETBACKS	
FRONT YARD	20 FT.
REAR YARD	10 FT.
SIDE YARD	5 FT.
MINIMUM LOT DEPTH	30 FT.
OTHER NOTES	30 FT.

1. THE MINIMUM OF ONE (1) SIDE YARD SETBACK SHALL BE MAINTAINED FOR ALL LOTS. THE MINIMUM OF ONE (1) SIDE YARD SETBACK SHALL BE MAINTAINED FOR ALL LOTS. THE MINIMUM OF ONE (1) SIDE YARD SETBACK SHALL BE MAINTAINED FOR ALL LOTS.

LOT SETBACKS SHALL BE MAINTAINED FROM ALL ADJACENT LOTS AND FROM ALL PUBLIC STREETS. ALL SETBACKS SHALL BE MAINTAINED FROM ALL ADJACENT LOTS AND FROM ALL PUBLIC STREETS. ALL SETBACKS SHALL BE MAINTAINED FROM ALL ADJACENT LOTS AND FROM ALL PUBLIC STREETS.

Drawing No. <b>C101</b>	
Project Name <b>Lot Layout and Utility Plan</b>	
Address <b>Plymouth Street</b>	
City <b>Portland, Maine</b>	
Client <b>Universal Properties</b>	
P.O. Box 10127, Portland, Maine 04104	

Company Name <b>Gorrill-Palmer Consulting Engineers, Inc.</b>	
Address <b>10 Box 1237 Transportation and Civil Engineering Services</b>	
City, ME 04039	
Phone <b>207-637-0910</b>	
Fax <b>207-637-0912</b>	
E-mail <b>info@gorrillpalmer.com</b>	

Checked by	Drawn by	Date

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Rev.	Date	By
3	3/23/09	DR
2	3/23/09	DR
1	3/23/09	DR

ISSUED FOR  
SUBMISSION REVIEW

Rev.	Date	Revision
3	3/23/09	FLIPPED LOT 5 HOUSE LOCATION
2	3/15/09	ADDED POLE AT LOT 1 REVISED NOTE *
1	3/23/09	RESPONSE TO CITY COMMENTS



