

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND

## BUILDING INSPECTION

# PERMIT

Permit Number: 100290

Please Read Application And Notes, If Any, Attached

This is to certify that Cgh Properties Llc/DA Brackett & CO, Inc.

has permission to Build new 24' x 32' single family home with 10' x 10' deck.

AT 137 Plymouth St. Lot #2 CBL 345-B011001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. City of Portland

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

*[Handwritten Signature]*  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0290	Issue Date:	CBL: 345 B011001
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Location of Construction: 137 Plymouth St. Lot #2	Owner Name: Cgb Properties Llc	Owner Address: 84 Country Ln	Phone:
Business Name:	Contractor Name: DA Brackett & CO. Inc.	Contractor Address: 84 Country Ln Portland	Phone 2077560687
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R-3

Past Use: Vacant	Proposed Use: Build new 24' x 32' single family home with 10' x 10' deck.	Permit Fee: \$1,345.00	Cost of Work: \$125,000.00	CEO District: 5
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FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i> Signature:	INSPECTION: Use Group <i>R-3</i> Type <i>SB</i> <i>IRG 2003</i> Signature:
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Proposed Project Description:  
Build new 24' x 32' single family home with 10' x 10' deck.

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied	Signature:	Date:

Permit Taken By: gg	Date Applied For: 03/23/2010	<b>Zoning Approval</b>	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews
<input type="checkbox"/> Shoreland <i>N/A</i>
<input type="checkbox"/> Wetland
<input type="checkbox"/> Flood Zone <i>panel 7-zonex</i>
<input type="checkbox"/> Subdivision
<input checked="" type="checkbox"/> Site Plan <i>2010-0007</i>
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/>
<i>Ok w/ conditions</i>
Date: <i>3/29/10</i> <i>ABM</i>

Zoning Appeal
<input type="checkbox"/> Variance
<input type="checkbox"/> Miscellaneous
<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Interpretation
<input type="checkbox"/> Approved
<input type="checkbox"/> Denied
Date:

Historic Preservation
<input checked="" type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Requires Review
<input type="checkbox"/> Approved
<input type="checkbox"/> Approved w/Conditions
<input type="checkbox"/> Denied
Date: <i>ABM</i>

**PERMIT ISSUED**

APR 15 2010

City of Portland

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

# City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0290	Date Applied For: 03/23/2010	CBL: 345 B011001
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Location of Construction: 137 Plymouth St. Lot #2	Owner Name: Cgb Properties Llc	Owner Address: 84 Country Ln	Phone:
Business Name:	Contractor Name: DA Brackett & CO. Inc.	Contractor Address: 84 Country Ln Portland	Phone: (207) 756-0687
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Build new 24' x 32' single family home with 10' x 10' deck.	Proposed Project Description: Build new 24' x 32' single family home with 10' x 10' deck.
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Dept: Zoning      Status: Approved      Reviewer: Ann Machado      Approval Date: 03/25/2010

Note: Ok to Issue: ✓

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building      Status: Approved with Conditions      Reviewer: Tammy Munson      Approval Date: 04/15/2010

Note: Ok to Issue: ✓

- 1) There must be a 2" clearance maintained between the chimney and any combustible material, with draft stopping per code at each level
- 2) The basement is NOT approved as habitable space. A code compliant 2nd means of egress must be installed in order to change the use of this space.
- 3) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 4) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.
- 5) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 6) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
- 7) Those building a new single family dwelling shall install a CO detector in each area within or giving access to bedrooms. That detection must be powered by the electrical service in the building and battery.

Dept: DRC      Status: Approved with Conditions      Reviewer: Philip DiPierro      Approval Date: 03/30/2010

Note: Ok to Issue: ✓

- 1) Foundation drains, either gravity or pump discharge, shall be directed to the rear of the lot in accordance with the approved subdivision plan.
- 2) Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily.
- 3) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 4) A street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)

<b>Location of Construction:</b> 137 Plymouth St. Lot #2	<b>Owner Name:</b> Cgb Properties Llc	<b>Owner Address:</b> 84 Country Ln	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> DA Brackett & CO. Inc.	<b>Contractor Address:</b> 84 Country Ln Portland	<b>Phone</b> (207) 756-0687
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Single Family	

- 5) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 6) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 7) The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 8) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy
- 9) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.

**PERMIT ISSUED**

APR 5 2010

City of Portland

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY )

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months, if the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.

  X   Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

  X   Foundation Inspection: Prior to placing ANY backfill for below grade occupiable space

  X   Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

  X   Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.  
NOTE: There is a \$75.00 fee per inspection at this point.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

**IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.**

PERMIT ISSUED

APR 15 2010

City of Portland

0010 0290



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>LOT 2 PLYMOUTH ST #137</u>		
Total Square Footage of Proposed Structure/Area <u>1400</u>	Square Footage of Lot <u>6913</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>345</u> Block# <u>B</u> Lot# <u>2</u>	Applicant *must be owner, Lessee or Buyer* Name <u>DABBLACKETT &amp; CO INC</u> Address <u>84 COUNTRY LAKE</u> City, State & Zip <u>PORTLAND ME 04103</u>	Telephone: <u>7560687</u>
Lessee/DBA (If Applicable) <b>RECEIVED</b> MAR 23 2010 Dept. of Building Inspections City of Portland Maine	Owner (if different from Applicant). Name <u>C.G. PROPERTIES</u> Address <u>84 COUNTRY LAKE</u> City, State & Zip <u>PORTLAND ME 04103</u>	Cost Of Work: \$ <u>125000</u> C of O Fee: \$ <u>75.00</u> Total Fee: \$ <u>125075.00</u>
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> Number of Residential Units <u>1645.00</u>	If vacant, what was the previous use? <u>VACANT</u>	
Proposed Specific use: _____	Is property part of a subdivision? <u>YES</u> If yes, please name _____	
Project description: <u>24X32 2 STORY 3 BEDROOM NO GARAGE 10710 DECK 2 BATHS</u>		
Contractor's name: <u>DABBLACKETT &amp; CO INC.</u>		
Address: <u>84 COUNTRY LAKE</u>		
City, State & Zip: <u>PORTLAND ME 04103</u>		Telephone: <u>7560687</u>
Who should we contact when the permit is ready: _____		Telephone: _____
Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 3/22/10

This is not a permit; you may not commence ANY work until the permit is issued

Applicant: DA Brackett & Co. Inc

Date: 03/25/10

Address: 137 Plymouth St. (lot #2)

C-B-L: 345-B-11

permit: 10-0240

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new.

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - build new single family cape w/ full dormer - 24' x 32'

Sewage Disposal - city

Lot Street Frontage - 55' min - 65' scaled (OK)

Front Yard - 25' min - 25' to front steps scaled (OK)

Rear Yard - 25' min - 42' scaled to deck (OK)

Side Yard - 2 spaces - 14' min - 8' scaled on right OK \* can reduce right to 5' if increase left to 21' scaled on left to side steps (OK) 20' scaled to 21' (OK)

Projections - front steps - 6' x 6', deck 10' x 10', bulkhead 55' x 6', side stairs 4' x 7'

Width of Lot - 65' min - 65' scaled (OK)

Height - 35' max - 21' scaled

Lot Area - 6500 sq ft - 6713 sq ft (OK)

Lot Coverage/ Impervious Surface - 35%

Area per Family - 6500 sq ft (OK)

Off-street Parking - 2 spaces required - OK dw is 12' x 38' beyond front setback (OK)

Loading Bays - N/A

Site Plan - minor/minor 2010-0007

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - panel 7 - zone X

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Inspections Copy**

2010-0007  
Application I. D. Number  
  
3/23/2010  
Application Date  
  
137 Plymouth St. Lot #2  
Project Name/Description

Cgb Properties Llc  
Applicant  
84 Country Ln , Portland, ME 04103  
Applicant's Mailing Address

Consultant/Agent  
Agent Ph: \_\_\_\_\_ Agent Fax: \_\_\_\_\_  
Applicant or Agent Daytime Telephone, Fax

137 - 137 Plymouth St, Portland, Maine  
Address of Proposed Site  
345 B011001  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Apt 0  Condo 0  Other (specify) \_\_\_\_\_

6913 0  
Proposed Building square Feet or # of Units Acreage of Site Proposed Total Disturbed Area of the Site Zoning

Check Review Required:  
 Site Plan (major/minor)  Zoning Conditional - PB  Subdivision # of lots \_\_\_\_\_  Design Review  
 Amendment to Plan - Board Review  Zoning Conditional - ZBA  Shoreland  Historic Preservation  DEP Local Certification  
 Amendment to Plan - Staff Review  Zoning Variance  Flood Hazard  Site Location  
 After the Fact - Major  Stormwater  Traffic Movement  Housing Replacement  
 After the Fact - Minor  PAD Review  14-403 Streets Review  Other \_\_\_\_\_

Fees Paid: Site Plan \$50.00 Subdivision \_\_\_\_\_ Engineer Review \$250.00 Date 3/25/2010

**Inspections Approval Status:** Reviewer \_\_\_\_\_  
 Approved  Approved w/Conditions See Attached  Denied  
  
Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets Attached  
 Condition Compliance \_\_\_\_\_ signature \_\_\_\_\_ date \_\_\_\_\_

Performance Guarantee  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	



QUITCLAIM DEED WITH COVENANT

**W.A. One**, a Maine corporation with a principal place of business at 449 Forest Avenue, in the City of Portland, County of Cumberland and State of Maine,

For Consideration Paid, GRANT with QUITCLAIM COVENANT to:

**C.G.B. Properties, LLC**, a Maine limited liability company with a principal place of business and address of 84 Country Lane, in the City of Portland, County of Cumberland and State of Maine, a certain lot or parcel of land located in the City of Portland, County of Cumberland and State of Maine, being more particularly described as follows:

Lot 2 as depicted a certain plan entitled "Land of W.A. One, Inc." made for W.A. One, Inc. by Titcomb Associates dated March 11, 2009, revised through July 7, 2009, and recorded at the Cumberland County Registry of Deeds in Plan Book 209, Page 206 (the "Plan"), containing 6913 square feet, more or less.

Being a portion of the premises conveyed to Grantor herein by deed of City of Portland dated December 31, 2008, and recorded at the Cumberland County Registry of Deeds in Book 26533, Page 329.

The premises are conveyed subject to and together with the following easements:

A. Subject to a five foot (5') wide drainage easement located upon and running the entire length of the northerly boundary of Lot 2 as shown on said Plan, which easement is appurtenant to, in common with and for the benefit of Lot 1 as shown on said Plan. This easement shall permit the owners of Lots 1 and 2 to construct and perpetually maintain through, under, across and upon said parcel, pipes, ditches or the like, for conveying drainage water, to lay, rclay, repair, alter, enlarge, maintain and remove said drainage systems upon or under said parcel with all necessary fixtures and appurtenances, to trim, cut down and remove bushes and trees growing on said parcel, to remove grass and crops growing on said parcel, to excavate or fill said parcels, all to such extent as is reasonably necessary for any of the above purposes, and to enter upon said parcel at any and all times for any of the foregoing purposes. These easement rights are not exclusive to Lot 1, and said rights shall be exercised in common with the same rights which are reserved to Lot 2. By acceptance of this deed, Grantee agrees that all costs and expenses of such construction, maintenance and/or repair indicated above, shall be shared equally between the owners of Lots 1 and 2.

MAINE REAL ESTATE TAX PAID

B. Also conveying to Lot 2, its successors and assigns, a five foot (5') wide drainage easement, located upon and running the entire length of the southerly boundary of Lot 1 as shown on said Plan, which easement is appurtenant to, in common with and for the benefit of Lot 2 as shown on the Plan. This easement shall permit the owners of Lots 1 and 2 to construct and perpetually maintain through, under, across and upon said parcel, pipes, ditches or the like, for conveying drainage water, to lay, relay, repair, alter, enlarge, maintain and remove said drainage systems upon or under said parcel with all necessary fixtures and appurtenances, to trim, cut down and remove bushes and trees growing on said parcel, to remove grass and crops growing on said parcel, to excavate or fill said parcels, all to such extent as is reasonably necessary for any of the above purposes, and to enter upon said parcel at any and all times for any of the foregoing purposes. These easement rights are not exclusive to Lot 2, and said rights shall be exercised in common with the same rights which are reserved to Lot 1. By acceptance of this deed, Grantee agrees that all costs and expenses of such construction, maintenance and/or repair indicated above, shall be shared equally between the owners of Lots 1 and 2.

C. Subject to a five foot (5') wide drainage easement located upon and running the entire length of the southerly boundary of Lot 2 as shown on said Plan, which easement is appurtenant to, in common with and for the benefit of Lot 3 as shown on said Plan. This easement shall permit the owners of Lots 2 and 3 to construct and perpetually maintain through, under, across and upon said parcel, pipes, ditches or the like, for conveying drainage water, to lay, relay, repair, alter, enlarge, maintain and remove said drainage systems upon or under said parcel with all necessary fixtures and appurtenances, to trim, cut down and remove bushes and trees growing on said parcel, to remove grass and crops growing on said parcel, to excavate or fill said parcels, all to such extent as is reasonably necessary for any of the above purposes, and to enter upon said parcel at any and all times for any of the foregoing purposes. These easement rights are not exclusive to Lot 3, and said rights shall be exercised in common with the same rights which are reserved to Lot 2. By acceptance of this deed, Grantee agrees that all costs and expenses of such construction, maintenance and/or repair indicated above, shall be shared equally between the owners of Lots 2 and 3.

D. Also conveying to Lot 2, its successors and assigns, a five foot (5') wide drainage easement, located upon and running the entire length of the northerly boundary of Lot 3 as shown on said Plan, which easement is appurtenant to, in common with and for the benefit of Lot 2 as shown on the Plan. This easement shall permit the owners of Lots 2 and 3 to construct and perpetually maintain through, under, across and upon said parcel, pipes, ditches or the like, for conveying drainage water, to lay, relay, repair, alter, enlarge, maintain and remove said drainage systems upon or under said parcel with all necessary fixtures and appurtenances, to trim, cut down and remove bushes and trees growing on said

parcel, to remove grass and crops growing on said parcel, to excavate or fill said parcels, all to such extent as is reasonably necessary for any of the above purposes. and to enter upon said parcel at any and all times for any of the foregoing purposes. These easement rights are not exclusive to Lot 2, and said rights shall be exercised in common with the same rights which are reserved to Lot 3. By acceptance of this deed, Grantee agrees that all costs and expenses of such construction, maintenance and/or repair indicated above, shall be shared equally between the owners of Lots 2 and 3.

E. Subject to a sewer easement located on the westerly corner of Lot 2 as shown on said Plan, which easement is appurtenant to and for the benefit of Lot 1 as shown on the Plan. This easement shall permit the owners of Lot 1 to construct and perpetually maintain through, under, across and upon said easement area, pipes, ditches or the like, for conveying sewage, to lay, relay, repair, alter, enlarge, maintain and remove said sewer systems upon or under said parcel with all necessary fixtures and appurtenances, to trim, cut down and remove bushes and trees growing on said parcel, to remove grass and crops growing on said parcel, to excavate or fill said parcels, all to such extent as is reasonably necessary for any of the above purposes, and to enter upon said parcel at any and all times for any of the foregoing purposes. These easement rights are not exclusive to Lot 1, and said rights shall be exercised in common with the same rights which are reserved to Lot 2. By acceptance of this deed, Grantee agrees that all costs and expenses of such construction, maintenance and/or repair indicated above, shall be shared equally between the owners of Lots 1 and 2.

This conveyance is together with and subject to the terms and conditions of Notes 1 through 18 as shown on said Plan and specifically, without limiting the foregoing, Note 16 which states "future lot development shall be constructed in accordance with the Lot Grading Plan Drawing No. C102 submitted as a part of this plan set. Any modifications to the grading shall be submitted to the Portland Planning Staff for approval prior to the submission of a building permit."

Also hereby conveying all rights, easements, privileges and appurtenances belonging to the premises hereinabove described.

The provisions described herein shall be deemed covenants running with the land, burdening and benefiting the respective premises, and this easement with the covenants therein shall be binding on the respective successors, heirs, devisees and assigns of the parties herein.

IN WITNESS WHEREOF, the said W.A. One has caused this instrument to be signed in its corporate name and sealed with its corporate seal by James M. Wolf, its President, thereunto duly authorized this 28<sup>th</sup> day of August, 2009.

W.A. One

*[Signature]*

By: *[Signature]*  
James M. Wolf  
Its President

STATE OF MAINE  
CUMBERLAND, ss:

Date: August 28, 2009

Then personally appeared the above-named James M. Wolf, President, of W.A. One as aforesaid and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said corporation.

Before me,

*[Signature]*  
Attorney at Law/Notary Public  
Print Name: \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_

Darcy L. Needham  
Notary Public, Maine  
Commission Expires January 26, 2016

Received  
Recorded Register of Deeds  
Aug 28, 2009 01:11:38P  
Cumberland County  
Pamela E. Lovley

**GENERAL NOTES:**

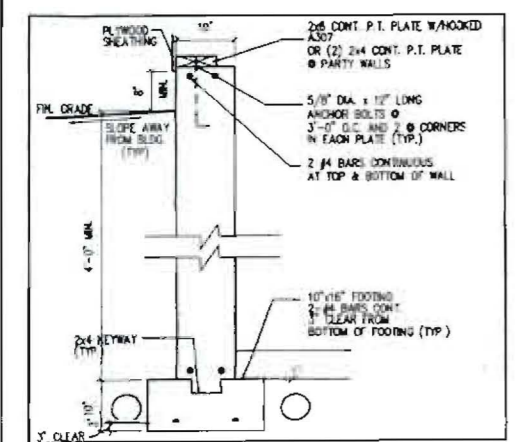
- All work shall be in accordance with: IBC Basic Building Code, NFPA-70 National Electric Code, Maine State Plumbing Code, ASHRAE, U.L., NFPA Codes, Americans with Disabilities Act 1990 (ADA) and all local, State and Federal requirements.
- All applicable Federal, State and Municipal regulations shall be followed, including the Federal Department of Labor Occupational Safety and Health act.
- All required City and State permits must be obtained before any construction begins.
- It is the contractor's sole responsibility to determine erection procedures and sequence to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting, temporary bracing, gus or tie-downs. Such material shall remain the property of the contractor after completion of the project.
- Structural, Mechanical, Electrical and Plumbing design and installation by others shall be performed in accordance with local, State and Federal standards.
- All fittings indicated shall be continuous to underside of fire rated ceiling or underside of roof deck. Seal off openings & mechanical penetrations with approved fire rating material.
- Building shall have approved smoke detectors in accordance with NFPA-101 Life Safety Code. Smoke detectors shall initiate alarm that is audible in the sleeping rooms of each unit.
- Portable fire extinguishers shall be provided in all hazardous areas in accordance to NFPA-101. Local authority having jurisdiction needs to provide written requirements.
- Beacons must maintain a 42" ground height and shall be kept free and clear of ice and snow at all times to ensure the second means of egress.
- HVAC installation to be in accordance with ASHRAE, NFPA-90A, OR NFPA-90B and all federal, local and State codes. Ventilation or heat equipment shall be in accordance with NFPA-211, NFPA-212, NFPA-54 and NFPA-70 as applicable.

**FRAMING NOTES:**

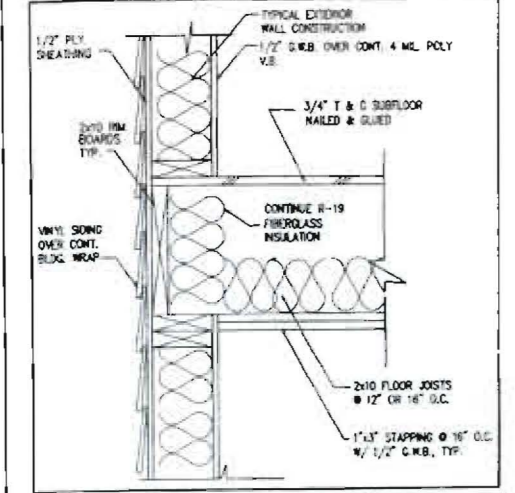
- ALL EXTERIOR WALLS TO BE 2x8 WOOD STUD WALLS @ 24" O.C. W/ 1/2" G.W.B. AND VAPOR BARRIER @ INSIDE FACE OF WALL, 5/8" INSULATION (R-19), AND 7/16" APA RATED SHEATHING @ EXTERIOR FACE OF WALL.
- ALL INTERIOR WALLS TO BE 2x4 WOOD STUD WALLS (UNLESS NOTED OTHERWISE) W/ ONE LAYER 1/2" G.W.B. EACH SIDE.
- INSTALL BLOCKING BEHIND ALL SURFACE APPLIED FIXTURES, TRIM, AND SHELVES WHEN MOUNTED ON WALLS.
- THE LOCATION OF ALL DOOR FRAMES SHALL BE 4 1/2" (UNLESS NOTED OTHERWISE) FROM ADJACENT WALLS.

HEADER SCHEDULE	
ROUGH OPENING	HEADER SIZE
0 - 3'-0"	(2) - 2x6
3'-1" - 4'-6"	(3) - 2x6
4'-7" - 5'-8"	(3) - 2x10
5'-9" - 7'-0"	(3) - 2x12

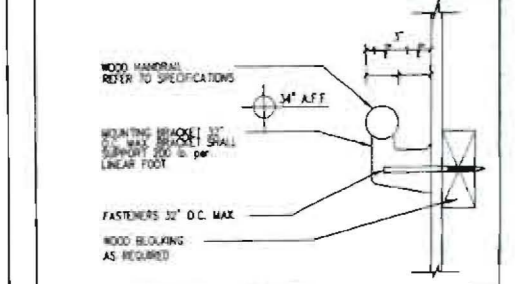
NOTE: PROVIDE JAMBS BOTH ENDS AS FOLLOWS:  
 2x6 JACK PLUS 2x6 KING UP TO 4'-6" ROUGH OPENING  
 (2) 2x6 JACKS PLUS (2) 2x6 KINGS UP TO 7'-0" ROUGH OPENING



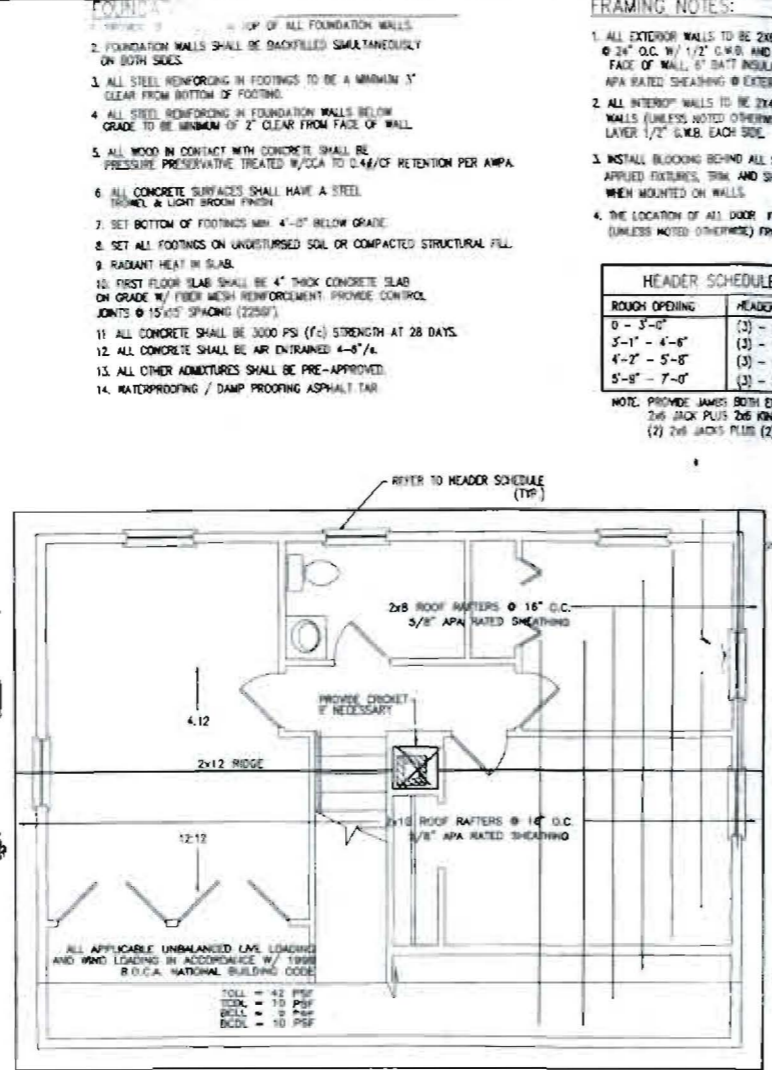
1 TYPICAL FOUNDATION WALL SCALE: 1"=1'-0"



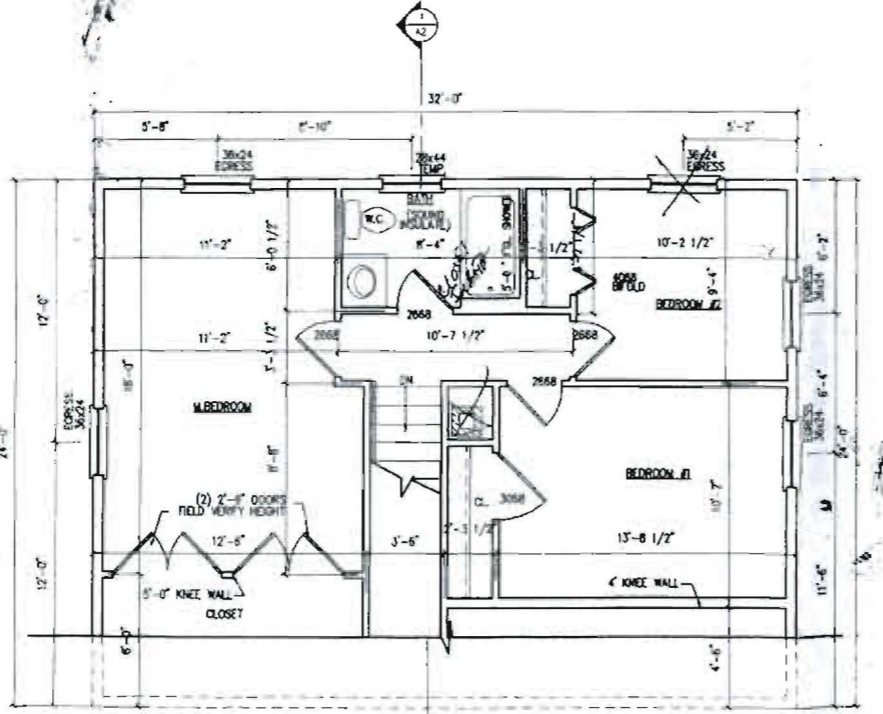
2 FLOOR FRAMING DETAIL SCALE: 1 1/2\"/>



HANDRAIL DETAIL #75

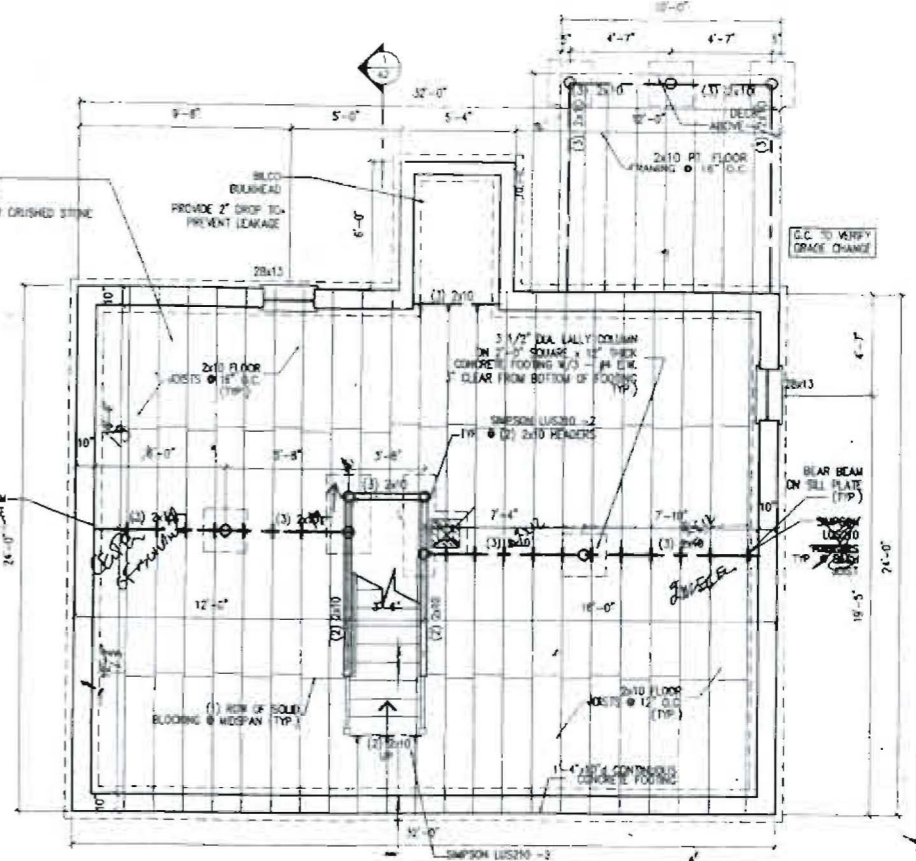


ROOF FRAMING PLAN SCALE: 1/4" = 1'-0"

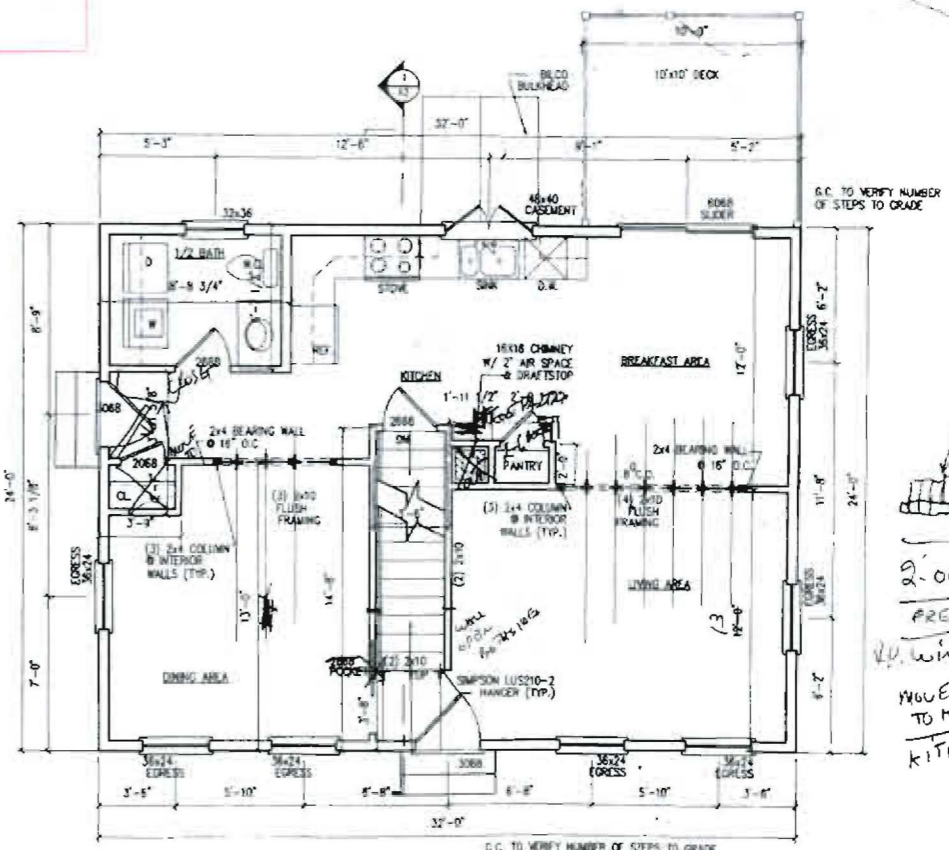


SECOND FLOOR PLAN SCALE: 1/4" = 1'-0"

MAR 23 2010



FOUNDATION / FIRST FLOOR FRAMING PLAN SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN SCALE: 1/4" = 1'-0"

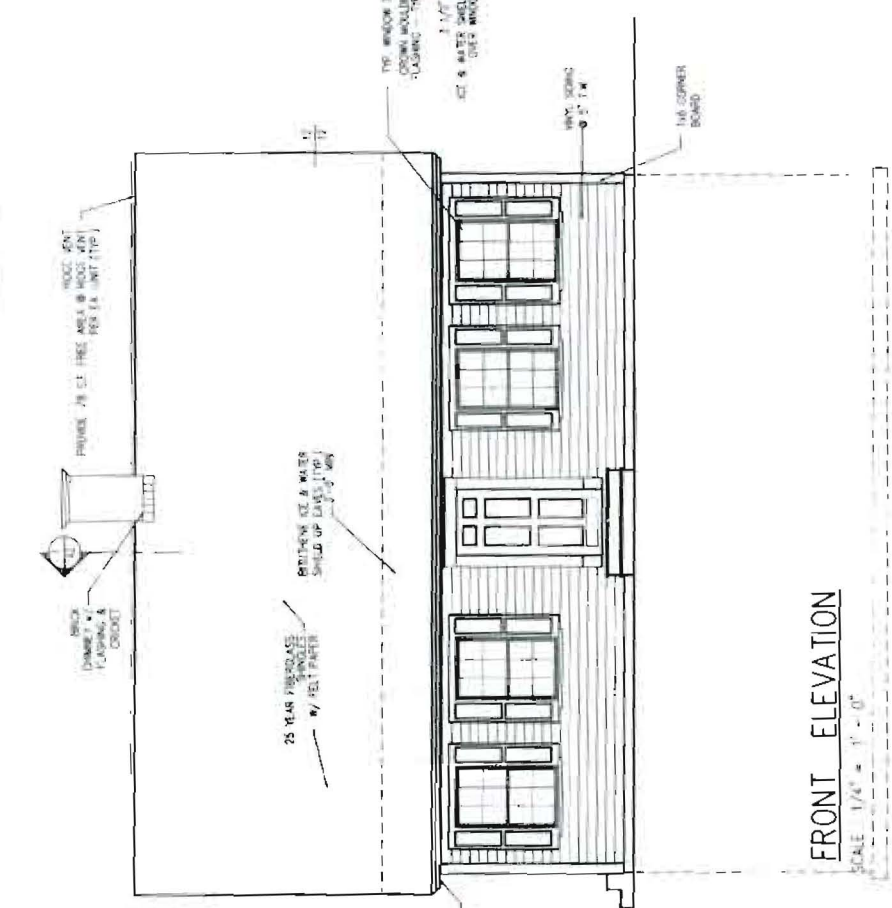
137 Plymouth St  
24x32 CAPE #D-0260

FOUNDATIONS & ROOF PLAN  
 FIRST FLOOR PLAN  
 SECOND FLOOR PLAN  
 NOTES / DETAILS

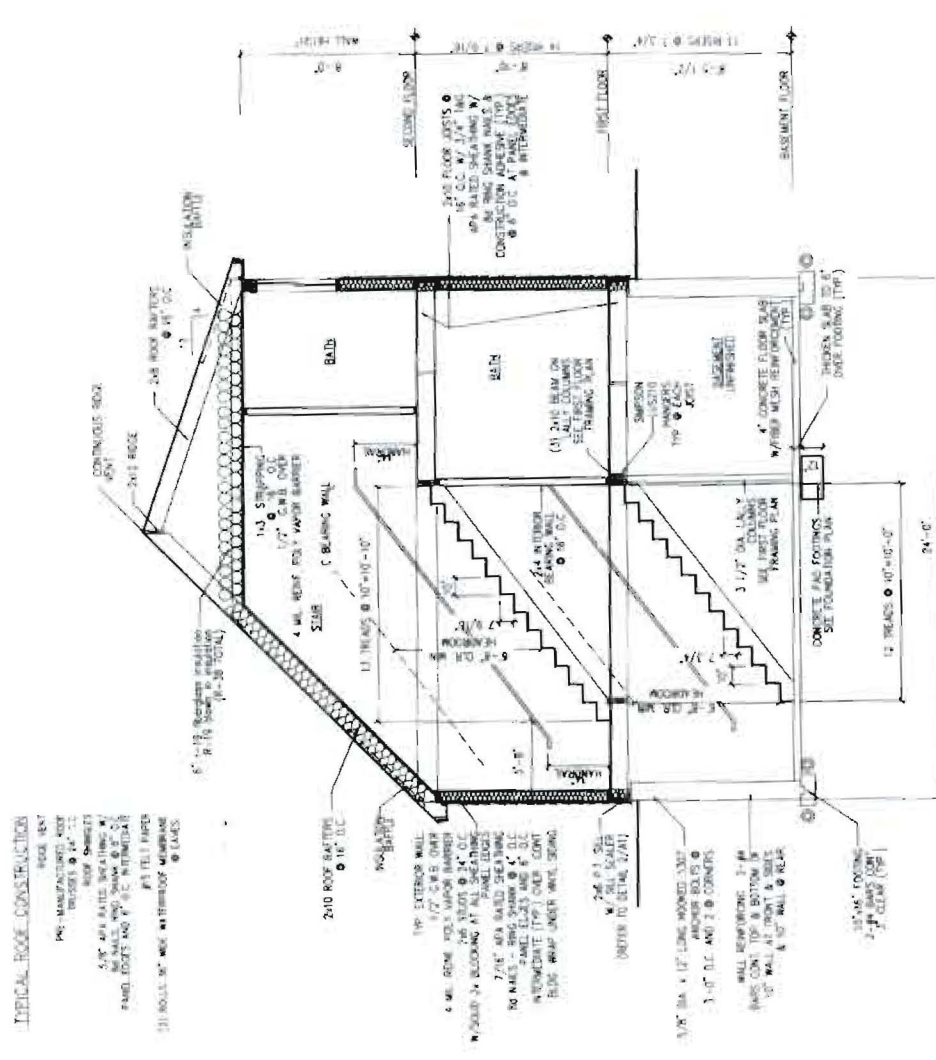
A1

HEADER SCHEDULE	ROUGH OPENING	HEADER SIZE
1	0'-3" - 2'-0"	(1) - 2x4
2	2'-0" - 4'-0"	(1) - 2x6
3	4'-0" - 6'-0"	(1) - 2x8
4	6'-0" - 8'-0"	(1) - 2x10
5	8'-0" - 10'-0"	(1) - 2x12

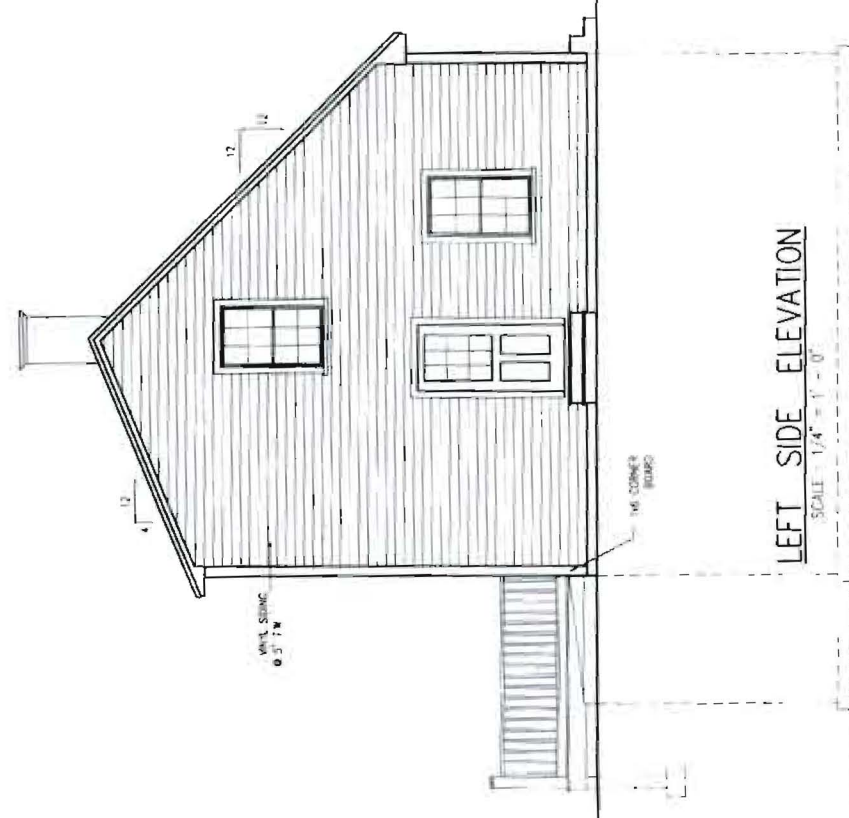
NOTE: PROVIDE JAMB BOTH ENDS AS FOLLOWS:  
 2x4 JAMB PLUS 2x4 KING UP TO 4'-0" ROUGH OPENING  
 (2) 2x4 JOCKS PLUS (2) 2x4 KING UP TO 5'-0" ROUGH OPENING



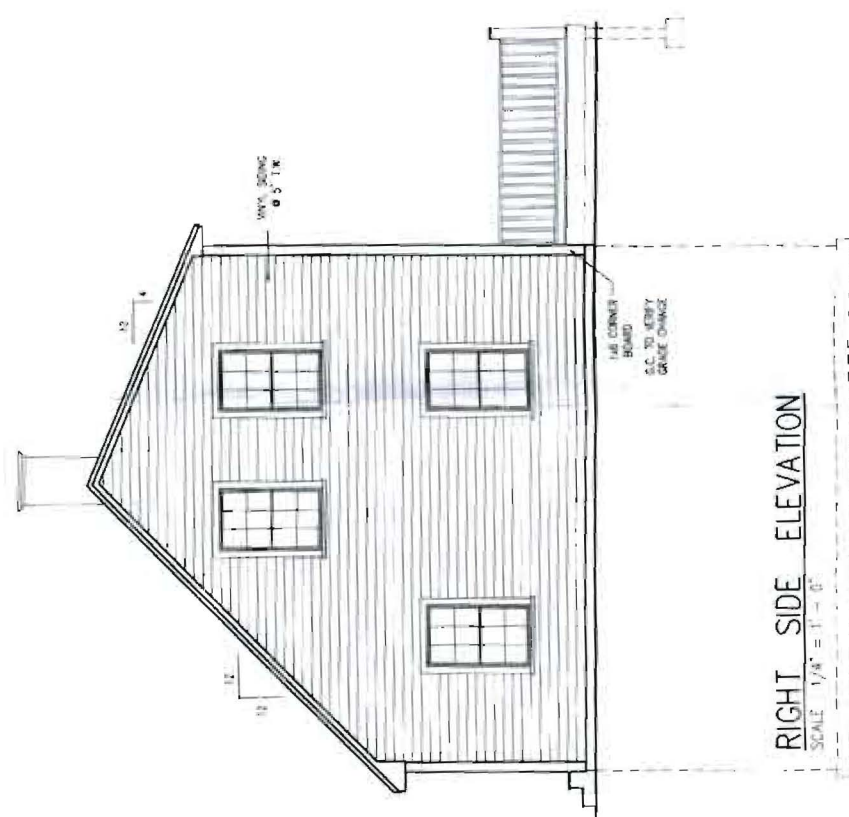
FRONT ELEVATION  
SCALE 1/4" = 1'-0"



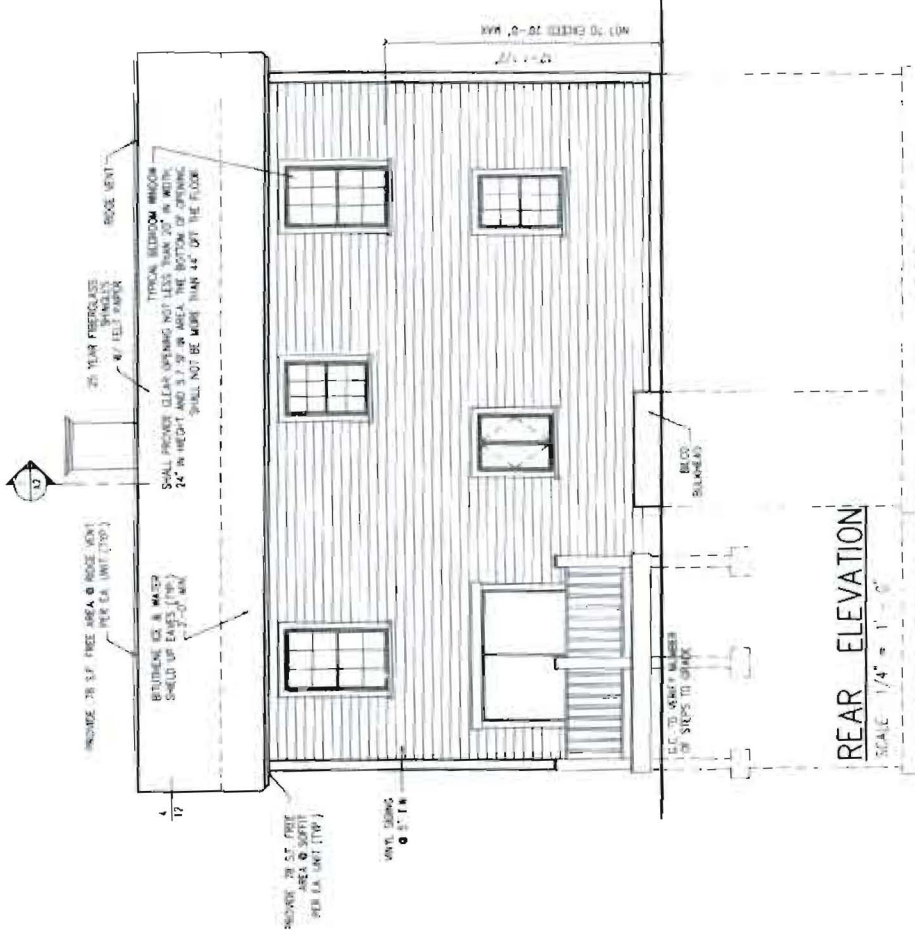
SECTION THRU HOUSE  
SCALE 1/4" = 1'-0"



LEFT SIDE ELEVATION  
SCALE 1/4" = 1'-0"



RIGHT SIDE ELEVATION  
SCALE 1/4" = 1'-0"



REAR ELEVATION  
SCALE 1/4" = 1'-0"



137

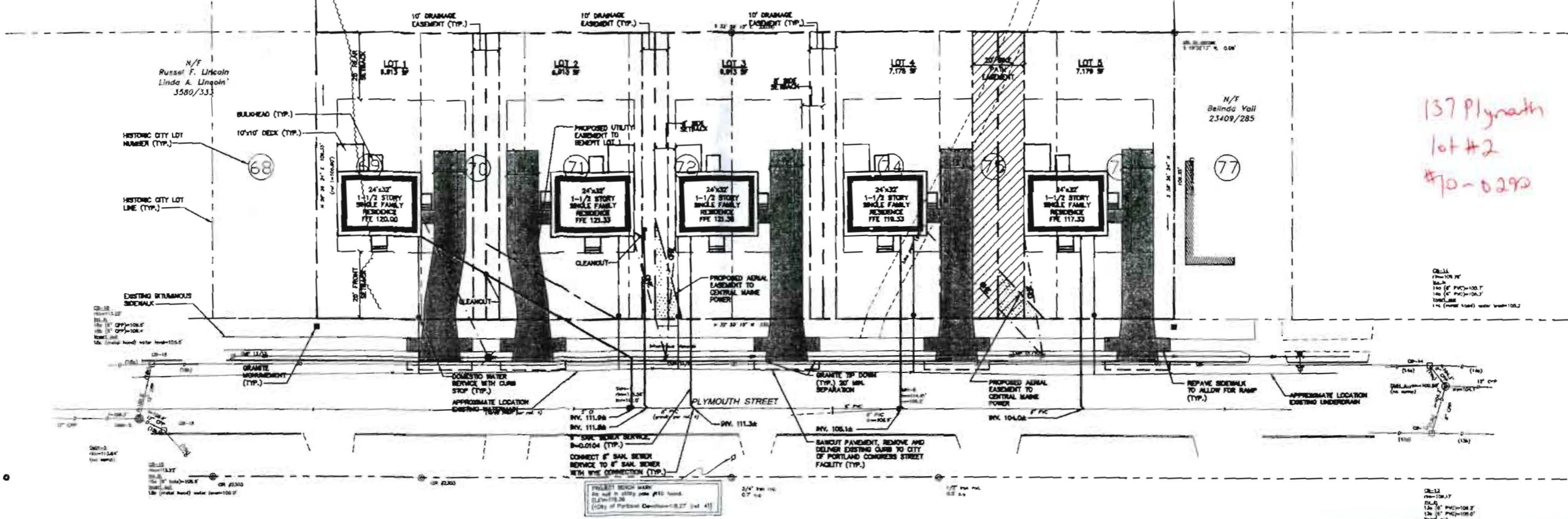
128

N/F Remaining portion of City of Portland 3992/94

N/F Russel F. Lincoln Linda A. Lincoln 3580/333

N/F Belinda Vail 23409/285

137 Plymouth lot #2 #70-0292



CELL 1: 1/2" = 10' 2" (1/2" = 10' 2")  
CELL 2: 1/4" = 10' 2" (1/4" = 10' 2")  
CELL 3: 1/8" = 10' 2" (1/8" = 10' 2")  
CELL 4: 1/16" = 10' 2" (1/16" = 10' 2")

CELL 1: 1/2" = 10' 2" (1/2" = 10' 2")  
CELL 2: 1/4" = 10' 2" (1/4" = 10' 2")  
CELL 3: 1/8" = 10' 2" (1/8" = 10' 2")  
CELL 4: 1/16" = 10' 2" (1/16" = 10' 2")

RECEIVED  
CITY OF PORTLAND  
MAR 23 2010  
137 PLYMOUTH

**SPACE AND BULK REQUIREMENTS - R-3 ZONE**

MINIMUM LOT SIZE	6,000 S.F.
MINIMUM FRONTAGE	80 FT.
MINIMUM SETBACKS	
FRONT YARD	25 FT.
REAR YARD	25 FT.
SIDE YARD	
1 STORY	8 FT.
1 1/2 STORY	8 FT.
2 STORY	14 FT.
3 1/2 STORY	18 FT.
MINIMUM LOT WIDTH	80 FT.
OTHER USES	

\* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.

LOT SETBACKS DEPICT THE MAXIMUM BUILDING ENVELOPE, ASSUMING A SINGLE STORY BUILDING. FINAL SETBACK REQUIREMENTS WILL DEPEND ON FINAL BUILDING PERMIT SUBMITTAL BY LOT DEVELOPER.

**NOTES:**

1. EACH LOT SHALL BE PROVIDED WITH AT LEAST TWO (2) TREES MEETING THE CITY'S ARBORICULTURE SPECIFICATIONS AND WHICH ARE CLEARLY VISIBLE FROM THE STREET LINE AND ARE LOCATED SO AS TO USUALLY SCREEN THE NARROW DIMENSION OR PROJECTION OF THE UNIT.
2. ELECTRICAL SERVICE SHALL BE COORDINATED WITH CENTRAL MAIN POWER.
3. SEWER AND WATER SERVICES SHALL BE INSTALLED BY THE DEVELOPER IF INTO THE PROPERTY. CONNECTION TO THE HOUSE WILL BE THE RESPONSIBILITY OF THE LOT OWNER.
4. FUTURE LOT DEVELOPMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE INFORMATION SHOWN ON THIS PLAN. ANY MODIFICATION SHALL BE SUBMITTED TO THE PORTLAND PLANNING STAFF FOR APPROVAL PRIOR TO SUBMISSION OF A BUILDING PERMIT.
5. CONSTRUCTION OF LOT 5 SHALL INCLUDE 8' UPRIGHT ARBORVITAE (5'-6") OR EQUIVALENT BETWEEN THE STRUCTURE AND PATH FOR BORDERSHIP.



Rev.	Date	Revision
3	8/24/09	FLIPPED LOT 5 HOUSE LOCATION
2	6/15/09	ADDED POLE AT LOT 1 REVISED NOTE 4
1	5/20/09	RESPONSE TO CITY COMMENTS

Issued For	Date	By
SUBMISSION REVIEW	3/25/09	DER

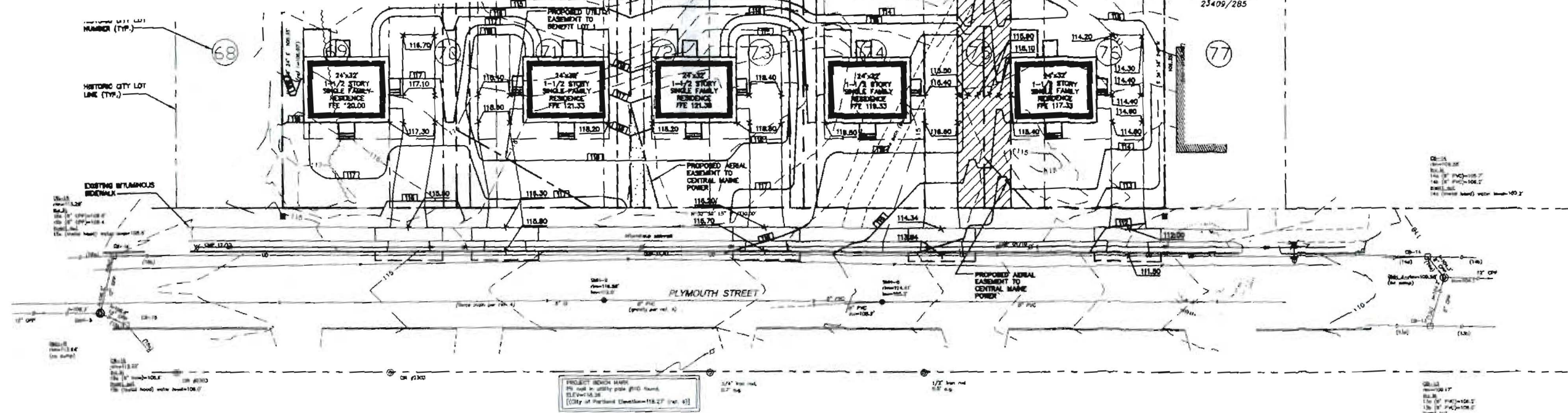
Design: JWA Draft: CAG Date: 12/06  
 Checked: DER Scale: 1"=20' Job No: 2148  
 File Name: 2148-plm.dwg  
 This plan shall not be modified without written permission from Gorrill-Palmer Consulting Engineers, Inc. (GPCE). Any alterations, authorized or otherwise, shall be at the user's own risk without liability to GPCE.

**GP** Gorrill-Palmer Consulting Engineers, Inc.  
 Transportation and Civil Engineering Services  
 PO Box 1257 15 Shaker Road Gray, ME 04039  
 207-657-6910 207-657-6912  
 E-Mail: mal@gpce.com

Drawing Name: **Lot Layout and Utility Plan**  
 Project: **Plymouth Street**  
 Portland, Maine  
 Client: **Diversified Properties**  
 P.O. Box 10127, Portland, Maine 04104

Drawing No. **C101**

137 Plymouth Street - Portland, ME - CAD/Utility/Plm - Jun 23, 2009 - 9:06am

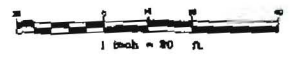
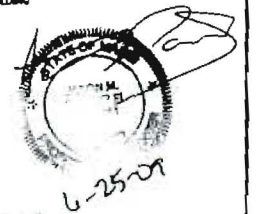


PROJECT BENCH MARK  
3/4" iron rod  
0.7' dia.  
City of Portland elevation=118.27 (at 41)

Q-15  
14.0' PNC=108.7'  
14.0' PNC=108.7'  
ELEV. 108.7'  
15' (actual head) water level=104.7'

Q-15  
14.0' PNC=108.7'  
14.0' PNC=108.7'  
ELEV. 108.7'  
15' (actual head) water level=104.7'

- NOTES
1. FOUNDATION DRAINS, OTHER GRAVITY DISCHARGE OR PUMP DISCHARGE, SHALL BE DIRECTED TO THE REAR OF EACH LOT.
  2. FUTURE LOT DEVELOPMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE GRADING SHOWN ON THIS PLAN. ANY MODIFICATIONS TO THE GRADING SHALL BE SUBMITTED TO THE PORTLAND PLANNING STAFF FOR APPROVAL PRIOR TO SUBMISSION OF A BUILDING PERMIT.



U:\145 - Plymouth Street - Portland\2 - CAD\DWG\2148-plbase.dwg - Jun 25, 2009 - 1:06pm

Rev.	Date	Revision
3	6/14/09	FLIPPED LOT 5 HOUSE LOCATION
2	6/15/09	MODIFIED EASEMENT FOR LOT 1
1	5/20/09	RESPONSE TO CITY COMMENTS

Submittal	Date	By
SUBMISSION REVIEW	3/25/09	DER
Issued For		

Design: JWA    Draft: CAG    Date: 12/08  
 Checked: DER    Scale: 1"=20'    Job No.: 2148  
 File Name: 2148-plbase.dwg  
 This plan shall not be modified without written permission from Gorrill-Palmer Consulting Engineers, Inc. (GPCEI). Any alterations, authorized or otherwise, shall be at the user's sole risk and without liability to GPCEI.

**GP** Gorrill-Palmer Consulting Engineers, Inc.  
 Transportation and Civil Engineering Services  
 PO Box 1237    207-857-6910  
 15 Shaker Road    FAX: 207-857-6912  
 Gray, ME 04039    E-Mail: mailbox@gorrillpalmer.com

Drawing Name: **Lot Grading Plan**  
 Project: **Plymouth Street**  
 Portland, Maine  
 Client: **Diversified Properties**  
 P.O. Box 10127, Portland, Maine 04104

Drawing No  
**C102**



### NOTES

- (1) Book and Page references are to the Cumberland County Registry of Deeds, unless otherwise specified.
- (2) Encroachments are referenced to Grid North of the Maine State Plane Coordinate System MGS03 Maine West Zone (1802) based on NAD 83 Coordinates using the Leica 2000 Dual Frequency GPS System. Coordinates were adjusted using the GRS1 Horizontal Shift provided by the National Geospatial Survey (NGS).
- (3) Deed(s) are referenced to City of Portland Deeds based on differential leveling from an iron nail in top of granite (2' offset) right of way monument inside metal box on westerly side of Main Avenue at the lot angle point southerly of Madison Ave. (Division = 112,877'). Deviations were verified by differential leveling to the project bench mark as shown on this plan.
- (4) Structures shown (tower, antenna, etc.) are based on reference 4.
- (5) The City of Portland received the issue parcels from Eric F. Saunders, Trustee of Portland Land Company in a deed recorded in the Cumberland County Registry of Deeds in Book 3892, Page 64 dated March 30, 1977, as well as through various lot leases by agreement with the City of Portland not scheduled between 1977 and the present.
- (6) The location of underground utilities is approximate based on field location of accessible features and information provided by others and should be field verified by DRS/ATJ and/or the appropriate utilities and/or excavation.
- (7) Subdivision of the lots of approval is defined as "Subdivision and mean the division of a lot, tract or parcel of land into three (3) or more lots, including lots of forty (40) acres or more, with any five-year period whether incorporated by sale, lease, development, building or otherwise and as further defined in 30-A, M.R.S.A. Section 14-402. The term subdivision also includes the division of a new structure or structure on a tract or parcel of land into three (3) or more dwelling units within a five-year period and the division of an existing structure or structure previously used for commercial or industrial use into three (3) or more dwelling units within a five-year period. The area included in the expansion of an existing structure is deemed to be a new structure for the purposes of this paragraph. A dwelling unit shall include any part of a structure which, through side or rear, is intended for human habitation, including multiple-family housing, condominiums, timeshares, units and apartments."

### NOTES - cont.

- (11) Any encroachments to this plan require the approval of the City of Portland.
- (12) All utility service lines to the lots shall be indicated 5' into the lot by the developer of the subdivision at the owner's expense. Any and all encroachments of utility shall be clearly indicated. Encroachments shall be at the responsibility and expense of the lot owner.
- (13) The lot area is based on Zone X (Zone Designated) to be within the 300' year flood zone as shown on the FEMA Flood Insurance Rate Map for the City of Portland, Community Parcel Number 230201-0007, dated December 6, 1995.
- (14) These shown and described on this plan are not to be removed without permission of the City of Portland.
- (15) This plan is included in the Plymouth Street Plan Book.
- (16) Future lot development shall be constructed in accordance with the Lot Grading Plan Drawing number 0710 submitted as a part of this plan. Any modifications to the grading shall be submitted to the Portland Planning Staff for approval prior to submission of a building permit.
- (17) The subdivision shall include two (2) users per lot in the front yard in accordance with the provisions of Section 14-405(a)(2) of the Subdivision Ordinance and provide adequate lighting of the front side of Lots 4 and 5 to be reviewed and approved by the Planning Authority.
- (18) The applicant shall submit a retained street (RS) reflecting the building and driveway on Lot 5 from the westerly side to the westerly side with private markers and a buffering area along the front for review and approval by the Planning Authority.

### SPACE AND BULK REQUIREMENTS R-3 ZONE

Minimum Lot Size	8,500 S.F.
Minimum Frontage	50 FT.
Minimum Setback:	
Front Yard	25 FT.
Rear Yard	25 FT.
Side Yard	8 FT.
1 Story	8 FT.
1 1/2 Stories	6 FT.
2 Stories	14 FT.
3 1/2 Stories	18 FT.
Side Yard - on Slope 3:1	20 FT.

Minimum Lot Width	N/A
Other Uses	65 FT.

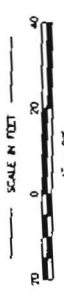
\*The width of one (1) side yard may be reduced one (1) foot for every foot that the other side yard is correspondingly increased, but no side yard shall be less than eight (8) feet in width. Side reduction does not require an approved recording plan.

- (9) Each lot shall require the submission of a site plan prior to the issuance of a building permit and shall be subject to review pursuant to Article V of Chapter 14 of the Portland City Code.
- (10) A minimum of two street front lots shall be conveyed or proposed meeting the City of Portland Architectural Specification and Standard of Practice and Landscape Design Guidelines. Developer may continue for the placement of landscaping, but shall remain ultimately liable to the City of Portland for final approval for compliance with City Ordinance and approval. Such financial obligation shall be neither transferable nor available by the developer.

### LEGEND

- Lot number - (if not shown)
- Property line (center)
- Right of way line
- Mean line (ref. 1)
- Edge of pavement
- Centerline
- Utility Line
- Other uses (green unless noted)
- Water table
- Tree symbols
- Setback markers
- Setback lines
- Drain markers
- Overhead utility line
- Service line
- Storm drain
- Submittal note line
- Construction (H)
- Construction (M)
- Clear reference (Bank/Prop)
- Free line
- Existing building
- Lot number (ref. 1)
- Ground 8/76 mean and (3 foot offset)

OWNERS OF RECORD  
W.A. ONE, INC.  
Rt. 28333, P.O. 379  
AREA  
30,087 square feet / 0.81 acres

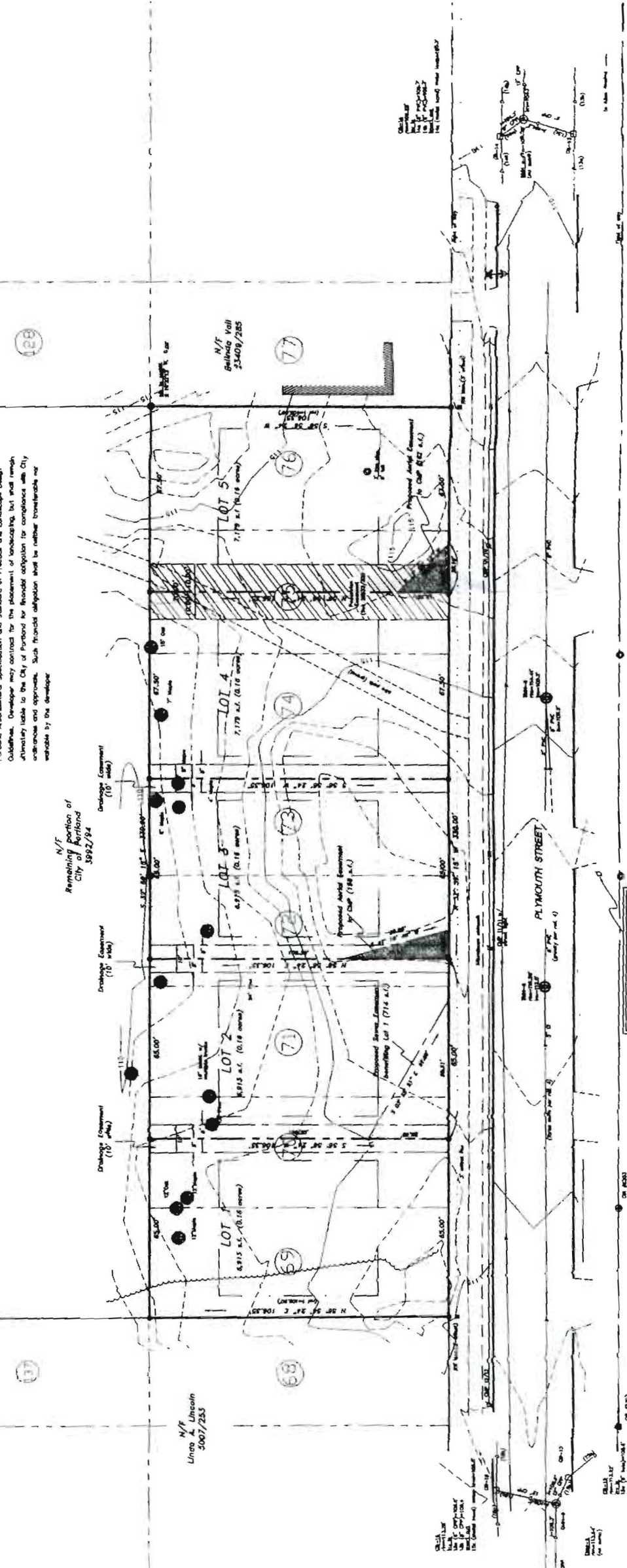


Recorded 7/27/09-Note 18 and 17 added, same as on the locations noted.  
Revised 6/15/08-Note 18 added, same as on the locations noted.  
Revised 4/15/08-Note 18 added, same as on the locations noted.  
Revised 3/03/08-Note 18 added, same as on the locations noted.

PLAN OF  
**LAND OF W.A. ONE, INC.**  
MADE FOR  
**W.A. ONE, INC.**

Submittal Date: \_\_\_\_\_  
Date Submitted: \_\_\_\_\_  
Book: 2009  
Page: 740

**Tilcomb Associates**



CERTIFICATION  
The survey conforms to the current standards of practice as set forth by the Maine State Board of Licensees for Land Surveyors.  
(1) All data/notes are as of plan date.

State of Maine  
Surveyor  
Joseph  
2009  
LAND SURVEYORS

Approved by the City of Portland Planning Board  
Dated: \_\_\_\_\_  
\_\_\_\_\_

REFERENCES

- (1) Plan of Division No. 1 made by C.A. Taylor dated June 1907 and recorded in Plan Book 11, Page 7.
- (2) Amended Subdivision Plan (see Map) Subdivision (see Old Ridge Development, Inc. by Tilcomb Associates dated July 2004).
- (3) Plan of Property in Portland, Maine made for the City of Portland - Portland Regional Vocational School - by H.C. and E.C. Jordan, dated August 22, 1979.
- (4) Plymouth Street Reconstruction Plan and Profile, sheets 5 and 6 made by the City of Portland Department of Public Works dated April 1999.
- (5) Plan of Property to be conveyed to W.A. One, Inc. by Tilcomb Associates dated August 7, 2008.

State of Maine, Cumberland Co.  
Registry of Deeds  
Book 2009, Page 740  
Submitted by: \_\_\_\_\_  
Accepted: \_\_\_\_\_  
Recorder

Seal not valid unless used in accordance with Maine Public Law 1989-174