

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Please Read Application And Notes, If Any, Attached

Permit Number: 070282

PERMIT ISSUED
MAR 20 2007
CITY OF PORTLAND

This is to certify that LINCOLN LINDA A /Claude Grenier
has permission to Interior renovations, expanding room, change windows & doors
AT 151 PLYMOUTH ST 345 B006001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of this State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procedure before this building or part thereof is altered or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

Thomas M. Markley 3/20/07
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

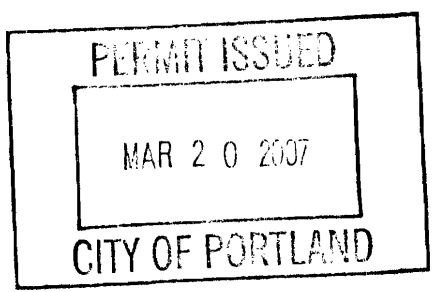
Permit No: 07-0282	Issue Date:	CBL: 345 B006001
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Location of Construction: 151 PLYMOUTH ST	Owner Name: LINCOLN LINDA A	Owner Address: 151 PLYMOUTH ST	Phone:
Business Name:	Contractor Name: Claude Grenier	Contractor Address: P.O. Box 8368 Portland	Phone 2078312411
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R3

Past Use: Single Family Home	Proposed Use: Single Family Home - Interior renovations, expand living room, change windows & Doors	Permit Fee: \$100.00	Cost of Work: \$8,000.00	CEO District: 5
Proposed Project Description: Interior renovations, expand living room, change windows & Doors		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: R3 Type: SB IRC 2003
		Signature: _____		Signature: Jm 3/20/07
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: Idobson	Date Applied For: 03/20/2007	Zoning Approval		
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: _____	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK. TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0282	Date Applied For: 03/20/2007	CBL: 345 B006001
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Location of Construction: 151 PLYMOUTH ST	Owner Name: LINCOLN LINDA A	Owner Address: 151 PLYMOUTH ST	Phone:
Business Name:	Contractor Name: Claude Grenier	Contractor Address: P.O. Box 8368 Portland	Phone (207) 831-2411
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Single Family Home - Interior renovations, expand living room, change windows & Doors	Proposed Project Description: Interior renovations, expand living room, change windows & Doors
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Dept: Zoning **Status:** Approved **Reviewer:** Tom Markley **Approval Date:** 03/20/2007
Note: **Ok to Issue:**
1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 03/20/2007
Note: **Ok to Issue:**
1) Separate permits are required for any electrical, plumbing, or HVAC systems.
Separate plans may need to be submitted for approval as a part of this process.
2) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>151 PLYMOUTH ST.</u>		
Total Square Footage of Proposed Structure		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>345 B 6</u>	Owner: <u>151 Plymouth St, LINDA L. LINCOLN</u>	Telephone:
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>CLAUDE E GRENIER P.O. Box 8368 Portland 831-2411 cell#</u>	Cost Of Work: \$ <u>8000.00</u> Fee: \$ _____ C of O Fee: \$ _____
Current legal use (i.e. single family) _____ If vacant, what was the previous use? _____ Proposed Specific use: <u>Same -</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Remove wall from living Rm - to expand. Change windows + doors -</u>	Contractor's name, address & telephone: <u>CLAUDE E. GRENIER, P.O. Box 8368 Portland, Me. 04104</u> Who should we contact when the permit is ready: <u>Claude</u> Mailing address: _____ Phone: <u>831-2411</u> <u>Same -</u>	

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

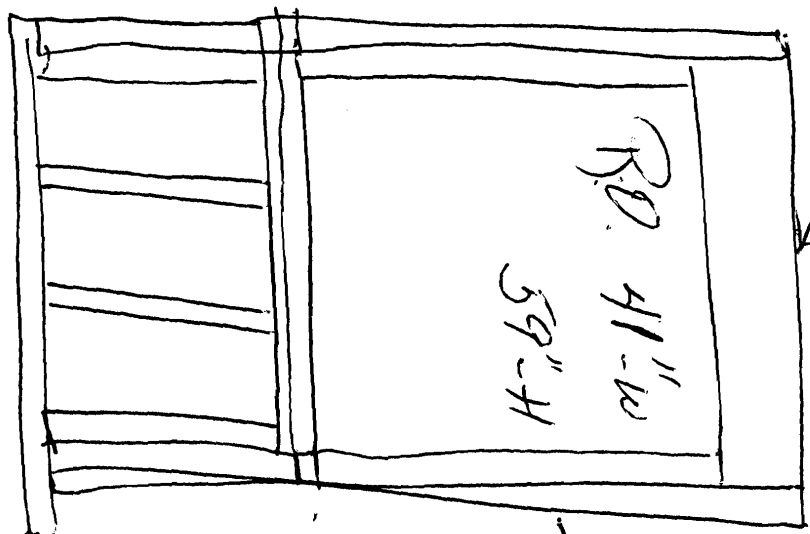
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Claude Grenier</u>	Date: <u>3-20-09</u>
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This is not a permit; you may not commence ANY work until the permit is issued.

2x6
Frame.

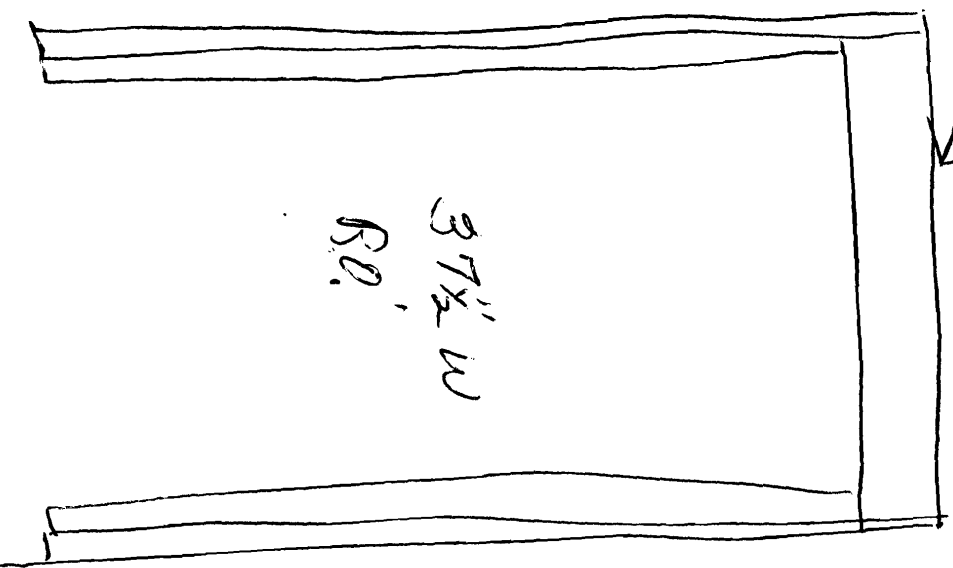
3/4x6 w/ 500x ply



1 of 3
boards

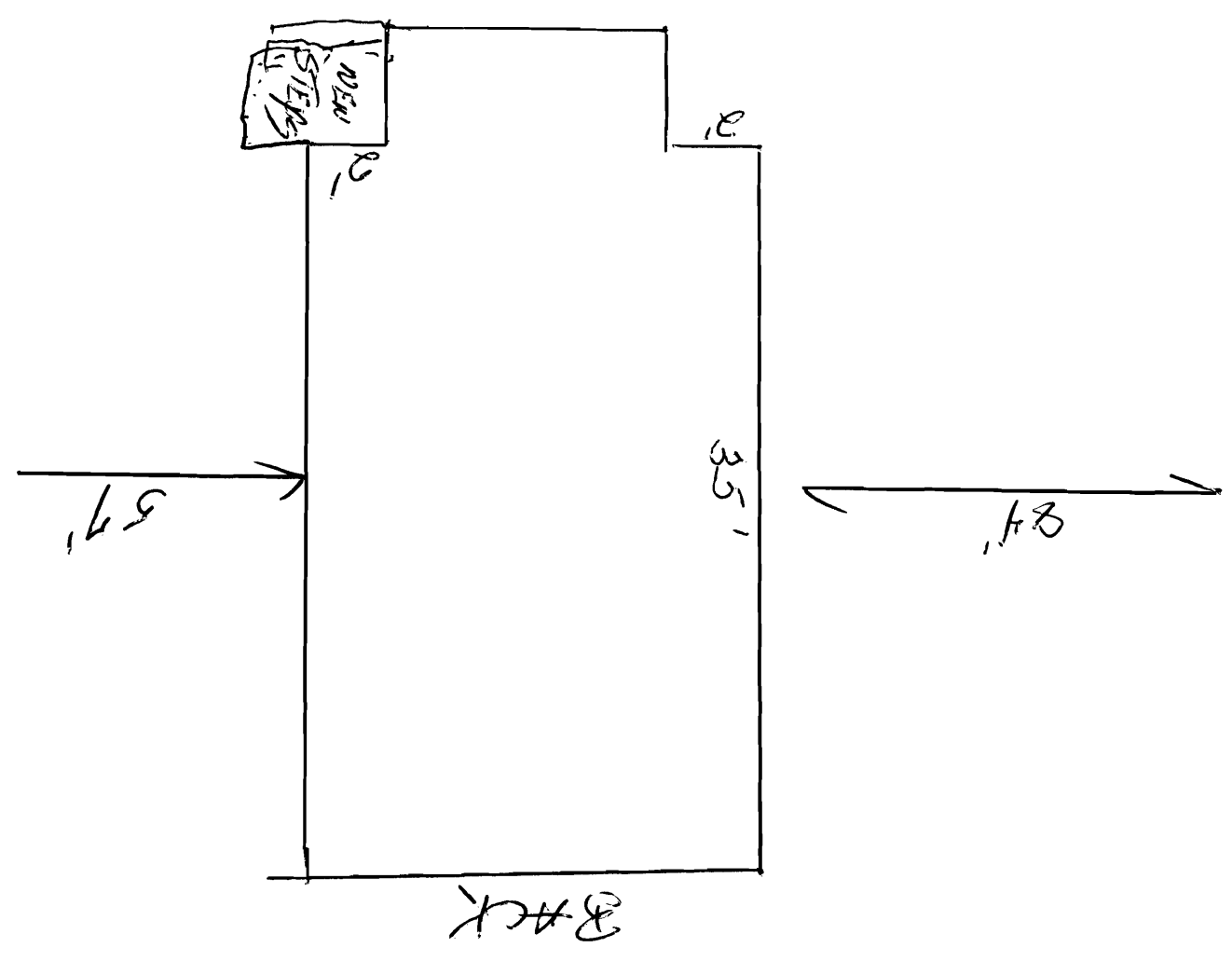
20" - FROM FLOOR

DR. HEADER
3/4x6 w/ 500x in middle



RD.
37 1/2" W

151 OLYMPIA ST. 30'



220'



CITY OF PORTLAND
ASSESSOR'S OFFICE

Thursday, December 5, 2002

Lincoln Linda A
151 Plymouth St
Portland, ME 04103

Re Parcel ID: 345 B006001
Located at: 151 PLYMOUTH ST



Dear Property Owner:

The City of Portland Tax Assessor's Office seeks your assistance in verifying data regarding your property. The information listed in this mailer is on file in the Assessor's office. Our appraisers will use this data as we prepare to update tax assessments for the city's April 1, 2004 property revaluation.

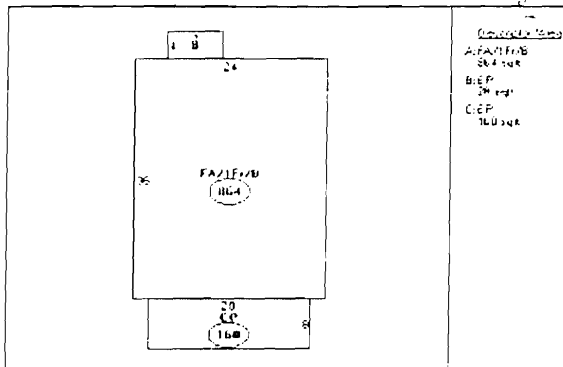
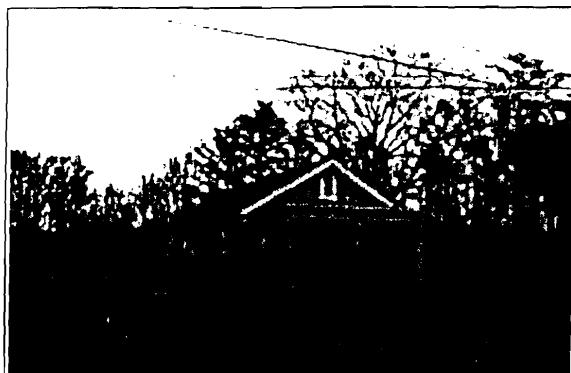
Please review the information, make corrections if needed and return the form in the self-addressed envelope provided. A photo image and sketched outline of your main structure is included and should also be reviewed for accuracy. The reverse side of this letter contains an explanation of terms used on this form.

Prompt attention to this request will help ensure that your assessment will be based on the most accurate information available. Refusal or neglect to provide this data may result in the loss of your right to appeal. Please respond within 14 days of receipt of this letter. Please include a daytime phone number so that we may call you for clarification, if necessary.

Thank you for your attention in this important matter.

Richard W. Blackburn, Portland Tax Assessor

<i>Dwelling Data</i>		
Land Use: Single Family	Attic: Full Finish	Total Full Baths: 1
Style: Old Style	Basement: Full	Total Half Baths: 0
Year Built: 1930	Fireplace Openings: 0	Total Rooms: 7
Exterior Walls: Alum/Vinyl	Total Living Area: 1210	System Type: Steam
Story Height: 1	Total Bedrooms: 4	Rec Room Area:



Name: Linda A Lincoln No Changes Necessary
 Further Review Requested, please contact me.
 Daytime Phone: 297-5828 Changes as listed, no contact requested.

TRT 345

C.M.P.CO.
1
23668

(D)

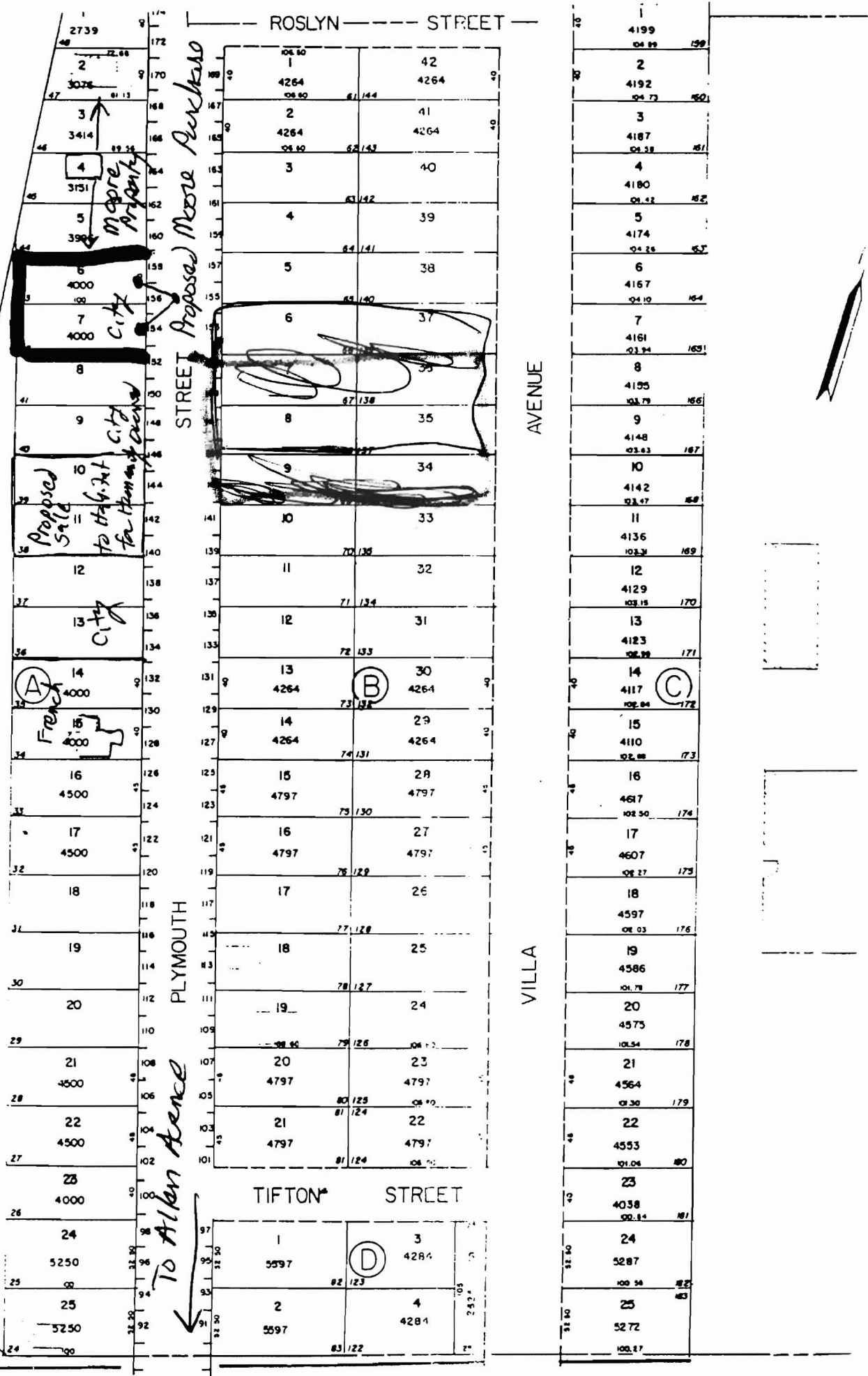
EXEMPT LOCATION

PORTLAND TERMINAL CO

P.T.CO.
A-26

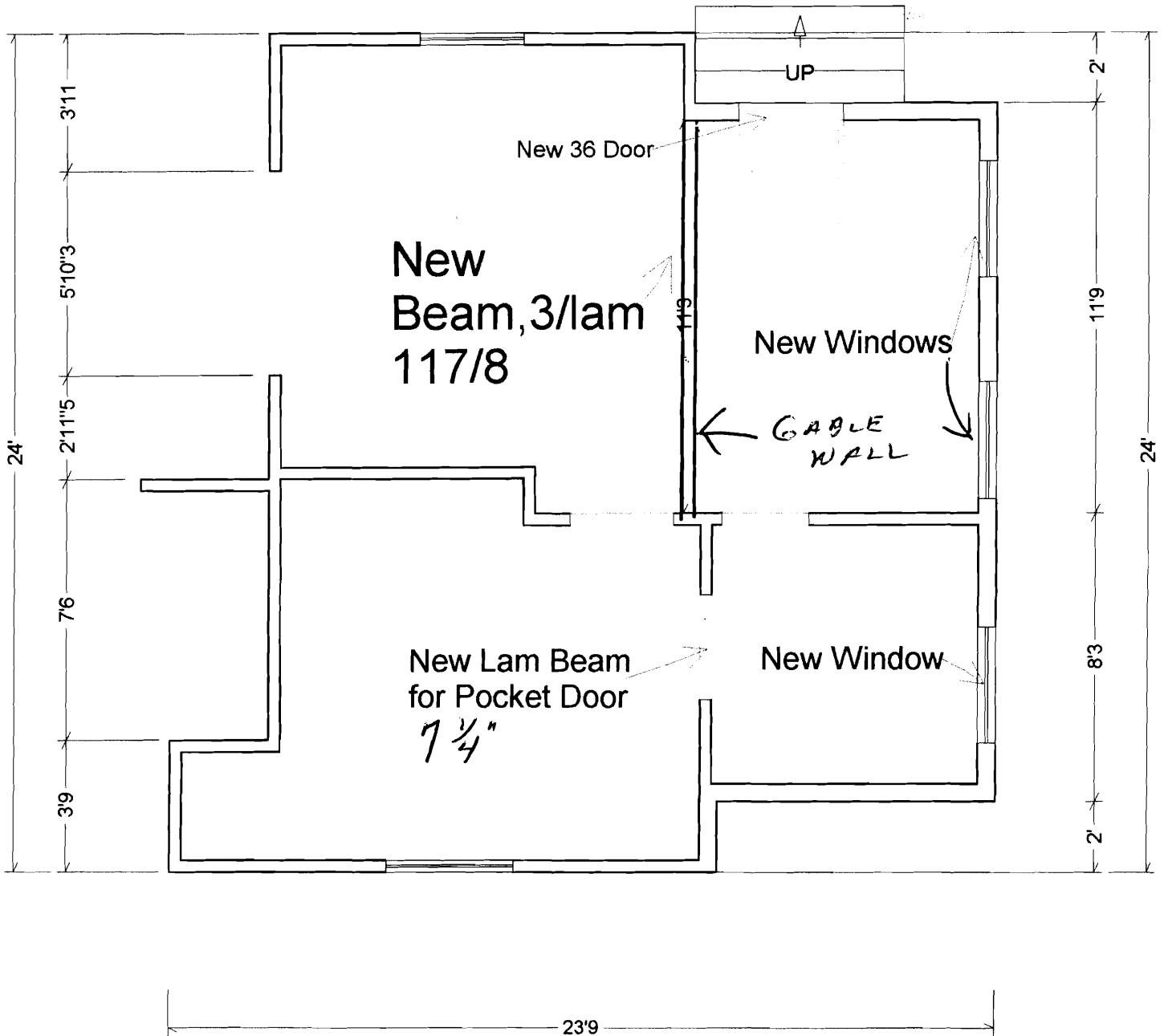
SHEET 340-B

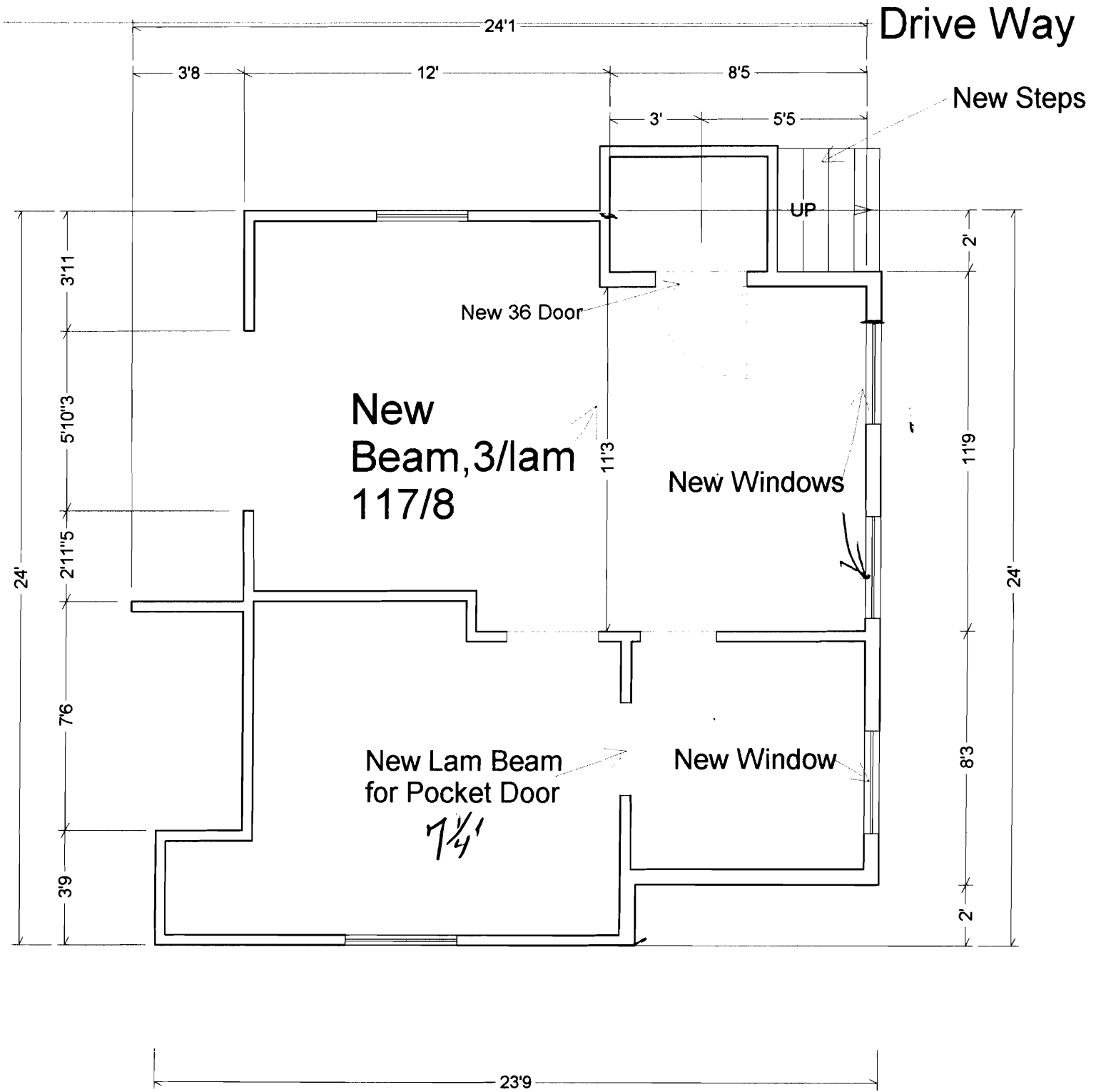
SHEET 341-A



Drive Way

Old Steps







Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at www.portlandmaine.gov, in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

One (1) complete set of construction drawings must include:

- Cross sections w/framing details
- Floor plans and elevations existing & proposed
- Detail removal of all partitions & any new structural beams
- Detail any new walls or permanent partitions
- Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing
- Window and door schedules
- Foundation plans w/required drainage and damp proofing (if applicable)
- Detail egress requirements and fire separation/sound transmission ratings (if applicable)
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IECC 2003
- Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
- Reduced plans or electronic files in pdf format are required if originals are larger than 11" x 17"
- Proof of ownership is required if it is inconsistent with the assessors records

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include:

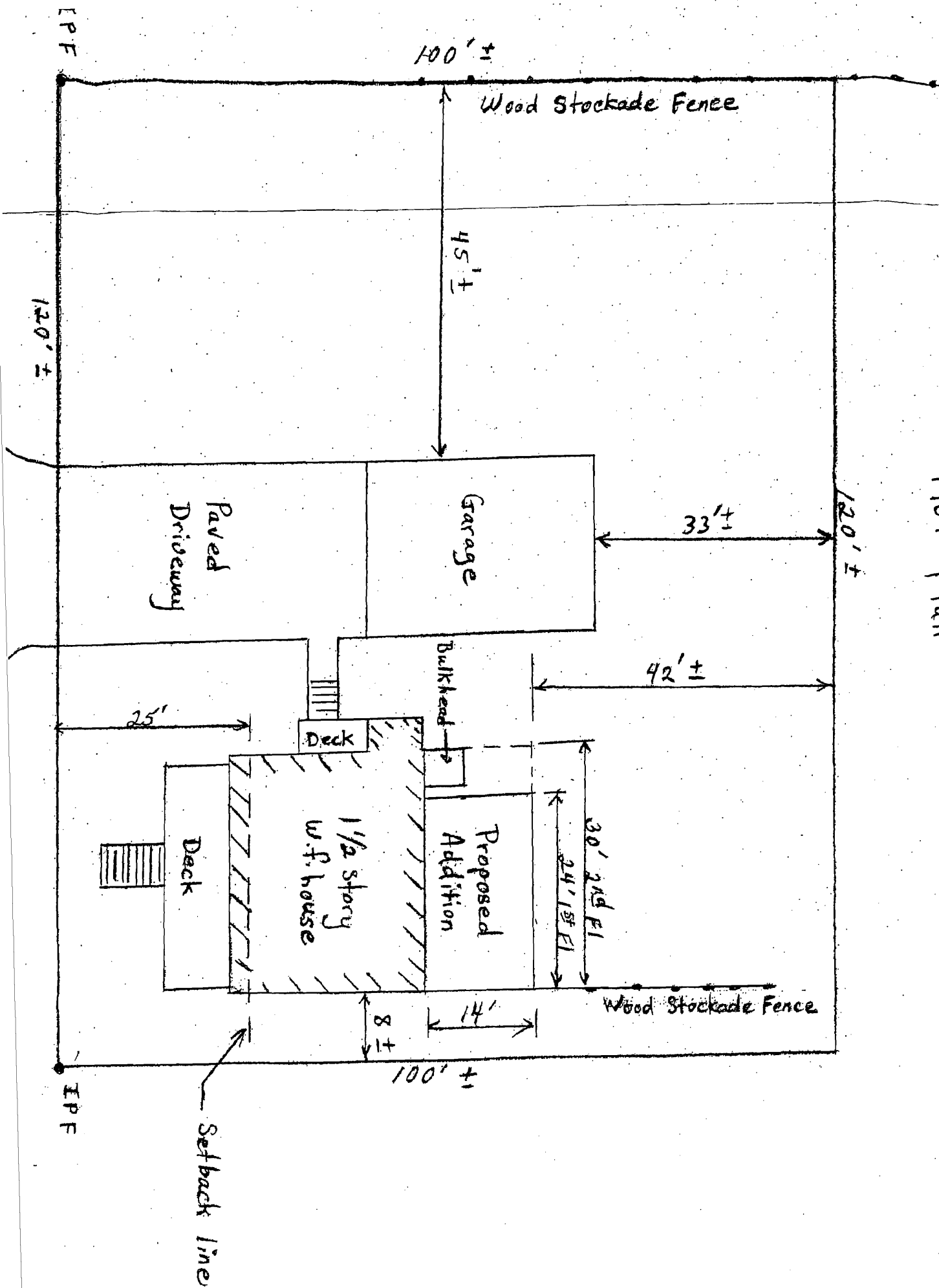
- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- Location and dimensions of parking areas and driveways
- A change of use may require a site plan exemption application to be filed.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

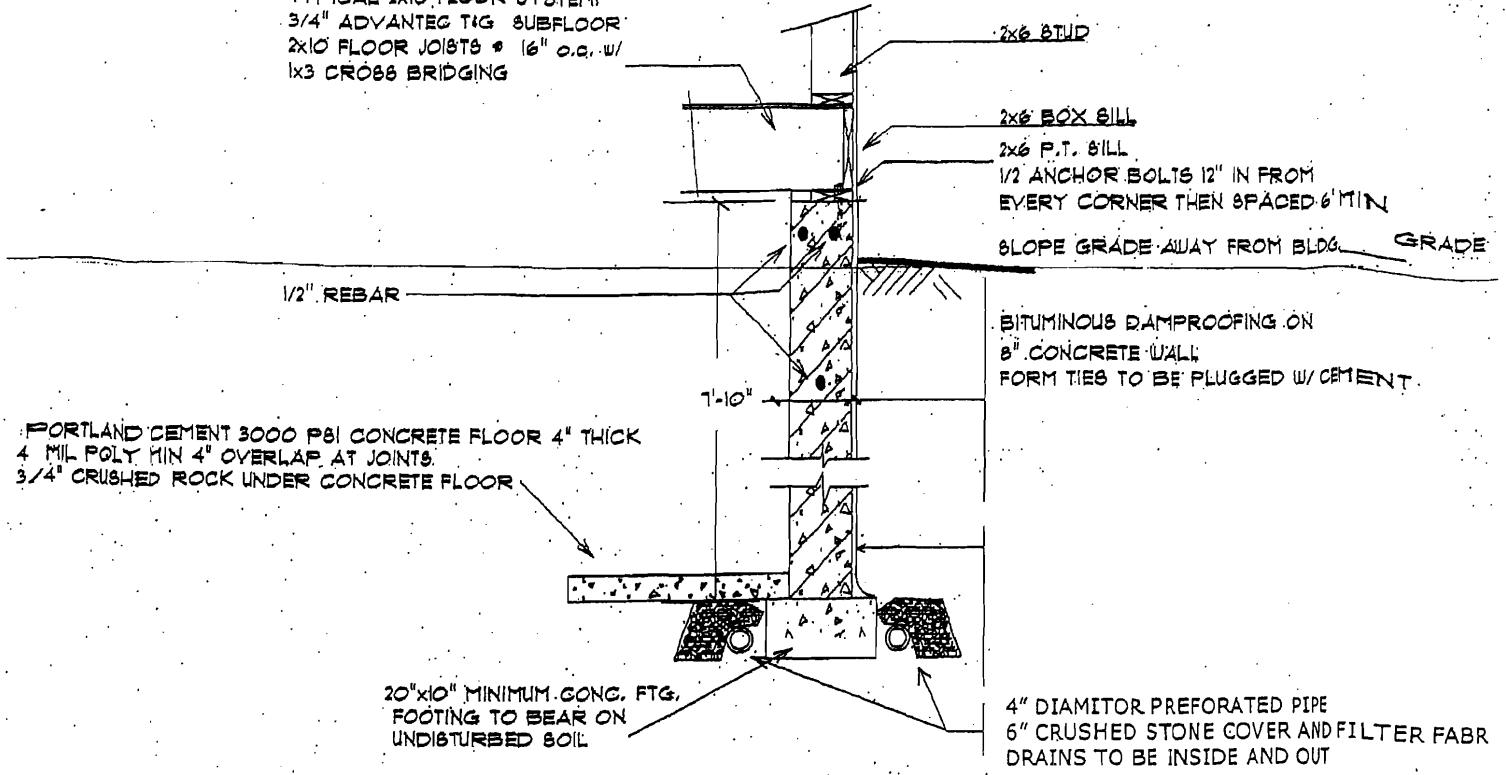
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost
This is not a Permit; you may not commence any work until the Permit is issued.

Plot Plan

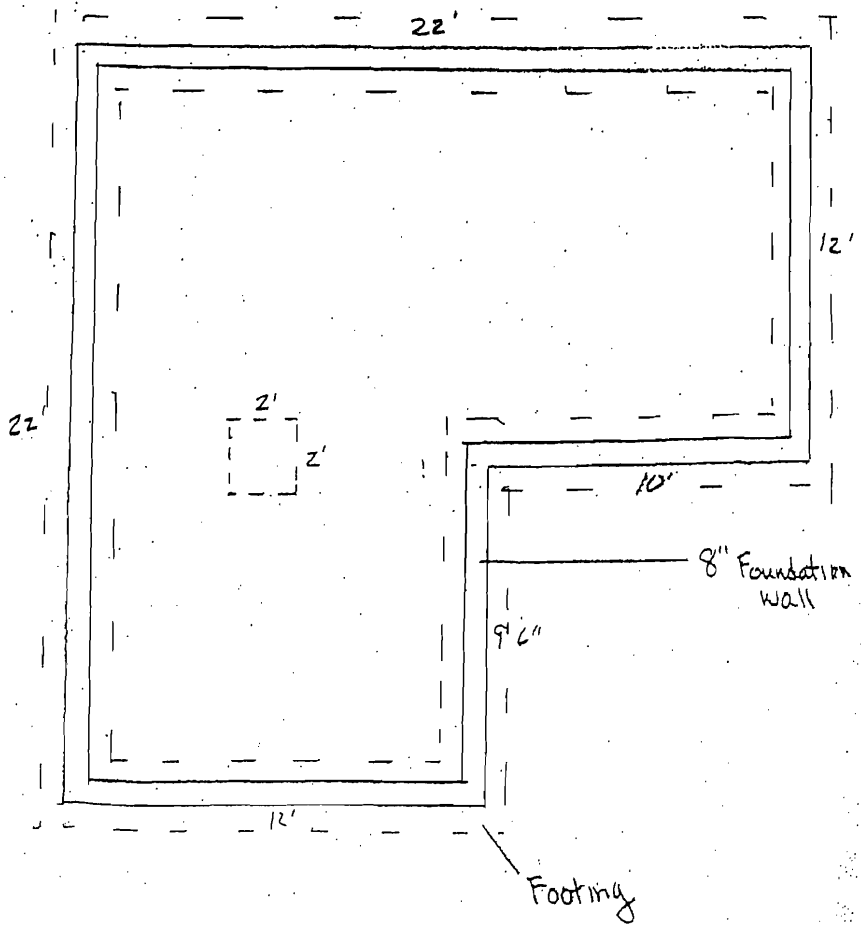


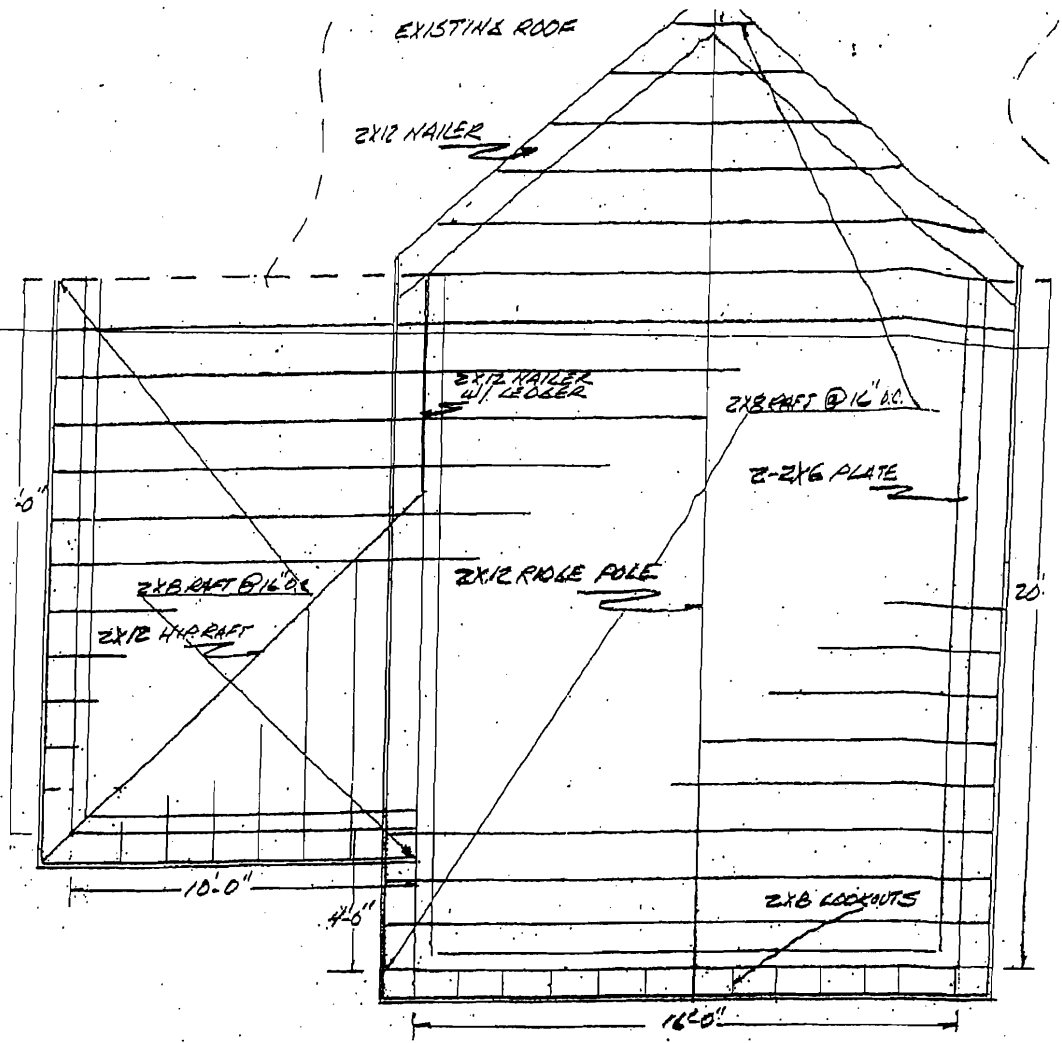
TYPICAL 2x10 FLOOR SYSTEM:
 3/4" ADVANTEG TIG SUBFLOOR
 2x10 FLOOR JOISTS @ 16" o.c. w/
 1x3 CROSS BRIDGING



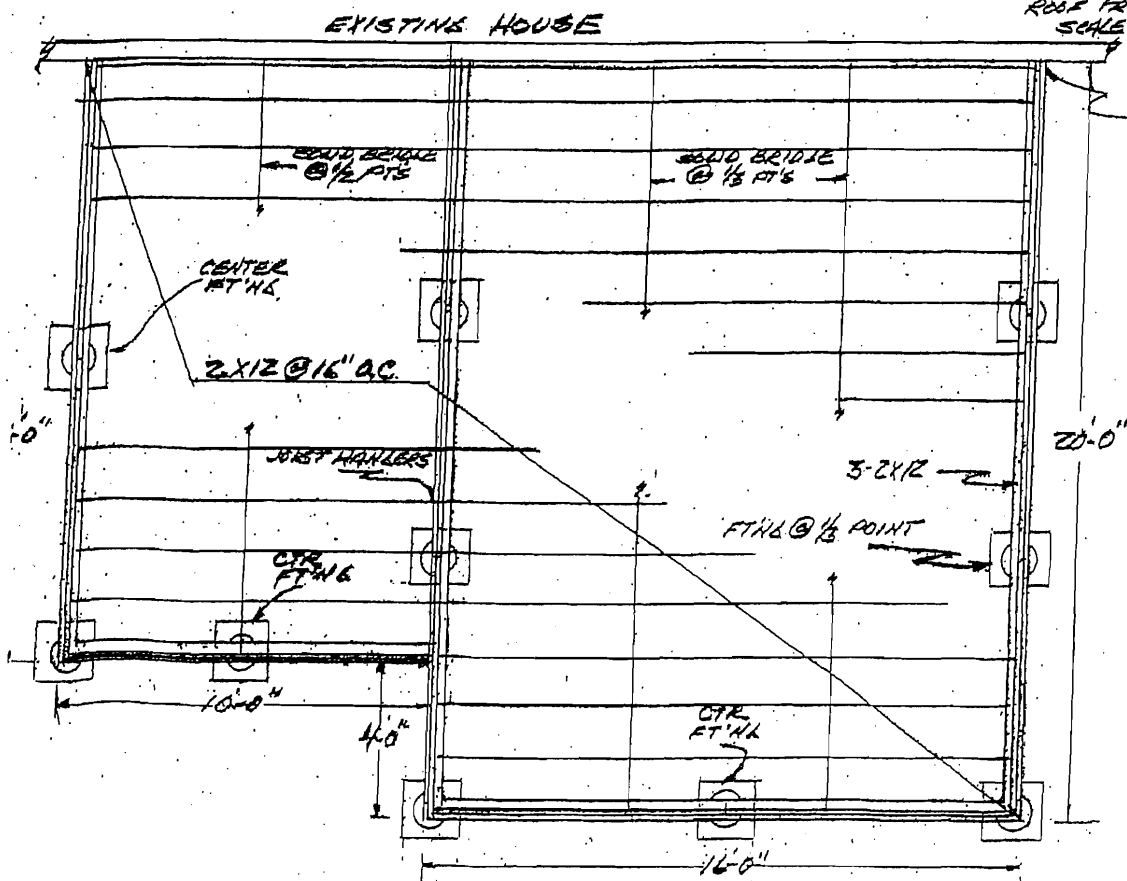
TYPICAL FOUNDATION WALL SECTION - MAIN HOUSE

Foundation Plan

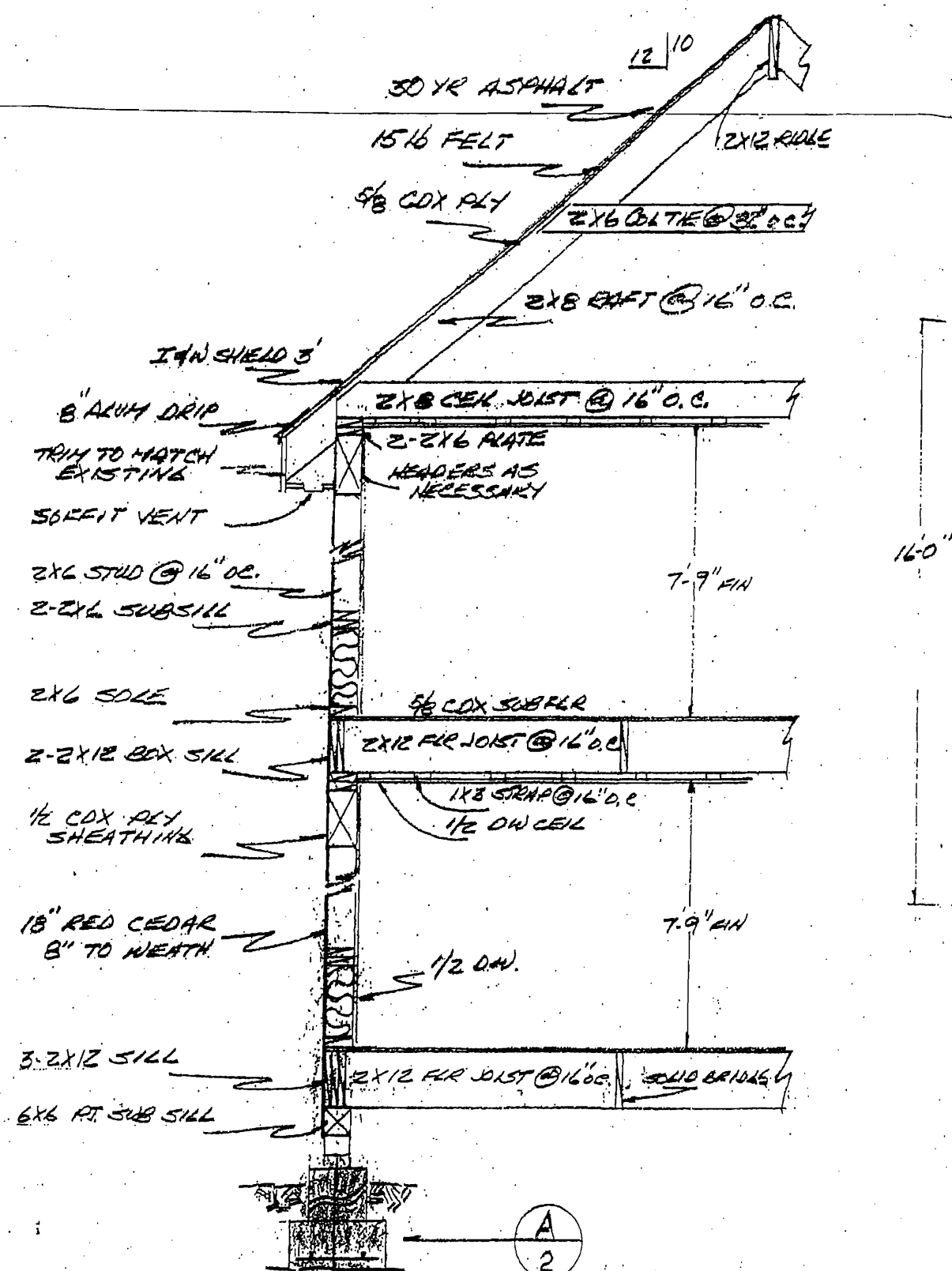




ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



FOUND # 1st FLR FRM PLAN



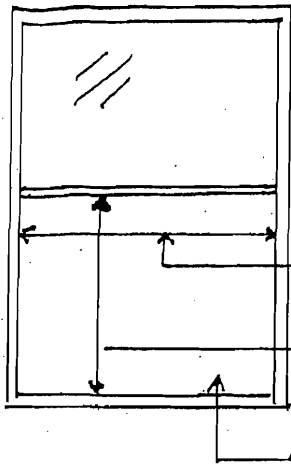
TYPICAL WALL SECTION
 SCALE 3/8" = 1'-0"

A
2

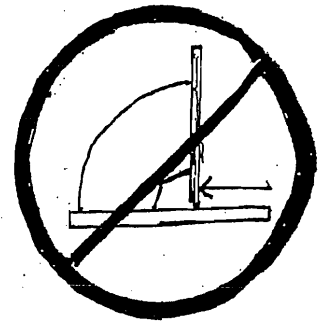
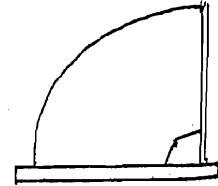
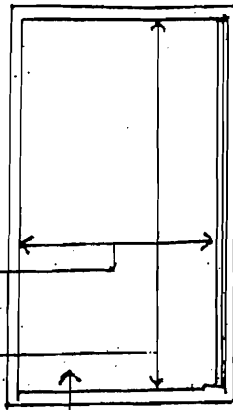
Egress Windows

At least 1 egress window (or exterior door) is required to be provided in sleeping rooms, below the fourth story to be considered an egress window, all of the following 4 conditions must be met.

Double hung windows



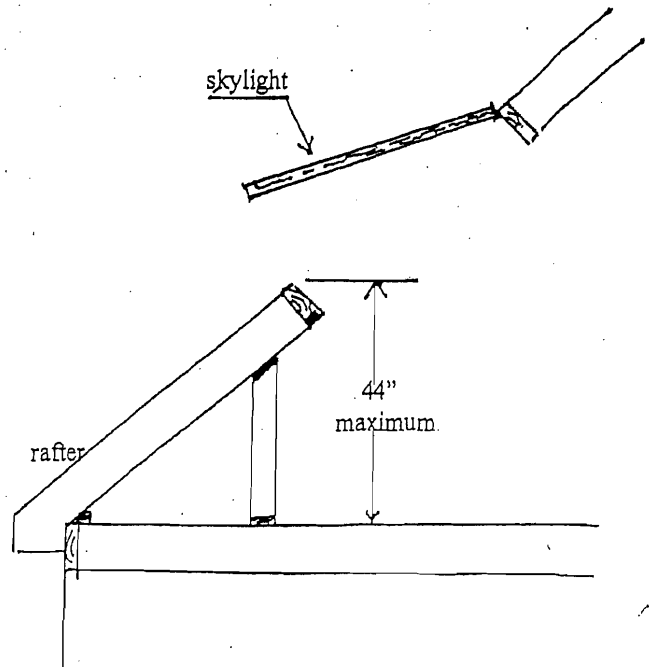
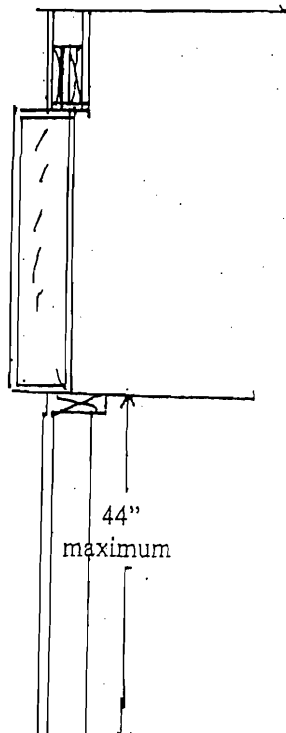
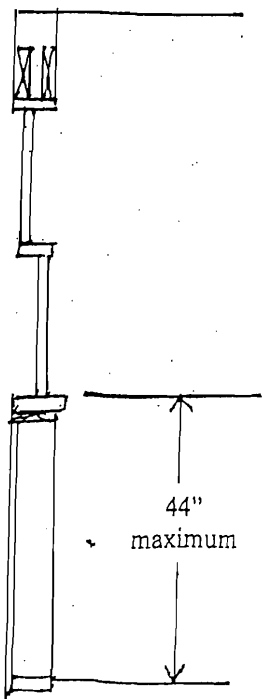
Casement Windows



- 3 Total net clear opening must be a minimum of:
5.7 square feet or 821 square inches

Caution... A window which may meet the minimum opening width & height requirements (of condition 1 & 2) does not qualify as an egress window unless it also meets the total square foot opening requirement. (condition #3)

- 4 Lowest point of the opening must not be more than 44 inches above the floor



10489 160 4192 40	10473 161 4186 40	10458 162 4180 40	10442 163 4174 40	10426 164 4167 40	10410 165 4161 40	10394 166 4155 40	10378 167 4148 40	10362 168 4142 40	10347 169 4136 40	10331 170 4129 40	10315 171 4123 40	10299 172 4117 40	10284 173 4110 40	10268 174 4617 45	10250 175 4607 45
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VILLA

40	40	40	40	40	40	40	40	40	40	40	40	40	40	45	45
10660 144 4254	143	142	141	140	139	138	137	136	135	134	133	132	131 4264	130 4797	129
10660 61 4264	62	63	64	65	66	67	68	69	70	71	72	73	74 4264	75 4797	76
40	40	40	40	40	40	40	40	40	40	40	40	40	40	45	45

COLONIAL

40	40	40	40	40	40	40	40	40	40	40	40	40	40	45	45	
47 3076	46 3414	45 3751	44 3996	43 4000	42	41	40	39	38	37	36	35	34 4000	33 4500	32	
	8118	8750	98	100												