

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

**PERMIT ISSUED**

Permit Number: 051189

DEC 15 2005

**CITY OF PORTLAND**

This is to certify that Mardigan Stephen /East Coast Develop  
 has permission to build a single family w/ a 1 car attached garage & deck  
 AT 148 Plymouth St 345 A007001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is placed or closed-in. **24 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_  
 Health Dept. \_\_\_\_\_  
 Appeal Board \_\_\_\_\_  
 Other \_\_\_\_\_  
 Department Name \_\_\_\_\_

*Jamie Bouke* 12/14/05  
 Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

|                       |             |                     |
|-----------------------|-------------|---------------------|
| Permit No:<br>05-1189 | Issue Date: | CBL:<br>345 A007001 |
|-----------------------|-------------|---------------------|

|  |                                 |
|--|---------------------------------|
| Location of Construction:<br>148 Plymouth St | Owner Name:<br>Mardigan Stephen |
|--|---------------------------------|

|                                   |        |
|-----------------------------------|--------|
| Owner Address:<br>460 Baxter Blvd | Phone: |
|-----------------------------------|--------|

|                |  |
|----------------|--|
| Business Name: | Contractor Name:<br>East Coast Development LLC |
|----------------|--|

|   |                      |
|---|----------------------|
| Contractor Address:<br>P.O. Box 3561 Portland | Phone:<br>2074157586 |
|---|----------------------|

|                     |        |
|---------------------|--------|
| Lessee/Buyer's Name | Phone: |
|---------------------|--------|

|                               |              |
|-------------------------------|--------------|
| Permit Type:<br>Single Family | Zone:<br>R-3 |
|-------------------------------|--------------|

|                          |  |
|--------------------------|--|
| Past Use:<br>Vacant Land | Proposed Use:<br>Single Family home/ build a single family w/ a 1 car attached garage & deck |
|--------------------------|--|

|                           |                               |                    |
|---------------------------|-------------------------------|--------------------|
| Permit Fee:<br>\$1,221.00 | Cost of Work:<br>\$125,000.00 | CEO District:<br>5 |
|---------------------------|-------------------------------|--------------------|

|  |  |
|--|--|
| FIRE DEPT:<br><input type="checkbox"/> Approved<br><input type="checkbox"/> Denied | INSPECTION:<br>Use Group: R3<br>Type: JB<br>IRC-2003 |
|--|--|

|  |
|--|
| Proposed Project Description:<br>build a single family w/ a 1 car attached garage & deck |
|--|

|           |                        |
|-----------|------------------------|
| Signature | Signature: MB 10/19/05 |
|-----------|------------------------|

Action:  Approved  Approved w/Conditions  Denied

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

|                             |                                 |
|-----------------------------|---------------------------------|
| Permit Taken By:<br>Idobson | Date Applied For:<br>08/19/2005 |
|-----------------------------|---------------------------------|

Zoning Approval

|   |   |  |
|---|---|--|
| <b>Special Zone or Reviews</b><br><input type="checkbox"/> Shoreland MA<br><input type="checkbox"/> Wetland<br><input type="checkbox"/> Flood Zone Panel 7 Zone X<br><input type="checkbox"/> Subdivision<br><input checked="" type="checkbox"/> Site Plan<br>2005-08%<br>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/><br>OK with conditions<br>Date: 8/26/05 | <b>Zoning Appeal</b><br><input type="checkbox"/> Variance<br><input type="checkbox"/> Miscellaneous<br><input type="checkbox"/> Conditional Use<br><input type="checkbox"/> Interpretation<br><input type="checkbox"/> Approved<br><input type="checkbox"/> Denied<br>Date: | <b>Historic Preservation</b><br><input checked="" type="checkbox"/> Not in District or Landmark<br><input type="checkbox"/> Does Not Require Review<br><input type="checkbox"/> Requires Review<br><input type="checkbox"/> Approved<br><input type="checkbox"/> Approved w/Conditions<br><input type="checkbox"/> Denied<br>Date: |
|---|---|--|

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

|                              |  |                            |
|------------------------------|--|----------------------------|
| <b>Permit No:</b><br>05-1189 | <b>Date Applied For:</b><br>08/19/2005 | <b>CBL:</b><br>345 A007001 |
|------------------------------|--|----------------------------|

|   |   |  |                                 |
|---|---|--|---------------------------------|
| <b>Location of Construction:</b><br>148 Plymouth St | <b>Owner Name:</b><br>Mardigan Stephen                | <b>Owner Address:</b><br>460 Baxter Blvd             | <b>Phone:</b>                   |
| <b>Business Name:</b>                               | <b>Contractor Name:</b><br>East Coast Development LLC | <b>Contractor Address:</b><br>P.O. Box 3561 Portland | <b>Phone:</b><br>(207) 415-7586 |
| <b>Lessee/Buyer's Name</b>                          | <b>Phone:</b>   | <b>Permit Type:</b><br>Single Family                 |                                 |

|   |   |
|---|---|
| Single Family home/ build a single family w/ a 1 car attached garage & deck | build a single family w/ a 1 car attached garage & deck |
|---|---|

|  |   |                                  |                                  |
|--|---|----------------------------------|----------------------------------|
| <b>Dept:</b> Zoning  | <b>Status:</b> Approved with Conditions | <b>Reviewer:</b> Marge Schmuckal | <b>Approval Date:</b> 08/26/2005 |
| <b>Note:</b> 08/24/05 only showing one parking space wher two are required - left message for Stephen Mardigan - in my hold area<br>8/26/05 received revised plans showing the extra parking space   |   |                                  |                                  |
| <ol style="list-style-type: none"> <li>1) This permit is being approved on the basis of plans submitted on 8/26/05. Any deviations shall require a separate approval before starting that work.</li> <li>2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.</li> <li>3) Separate permits shall be required for future decks, sheds, pools, and/or garages.</li> </ol>  |   |                                  |                                  |
| <b>Dept:</b> Building  | <b>Status:</b> Approved with Conditions | <b>Reviewer:</b> Jeanine Bourke  | <b>Approval Date:</b> 10/19/2005 |
| <b>Note:</b> 9/20/05 left vm w/Joe R. For details as noted on review checklist. He called back & asked to fax review list, says he brought in pdf., Lannie does not have it.<br>10/7 received revisions<br>10/11 left vm w/Joe R. For more details as noted on review checklist<br>10/17 revised pdf submitted   |   |                                  |                                  |
| <ol style="list-style-type: none"> <li>1) The 2nd floor 10'beam must point load down to the lally column &amp; footing</li> <li>2) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.</li> <li>3) A copy of the enclosed chimney disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.</li> <li>4) The design load spec sheets for any engineered beam(s) must be submitted to this office.</li> </ol> |   |                                  |                                  |

|   |   |                               |                                  |
|---|---|-------------------------------|----------------------------------|
| <b>Dept:</b> DRC  | <b>Status:</b> Approved with Conditions | <b>Reviewer:</b> Jay Reynolds | <b>Approval Date:</b> 09/15/2005 |
| <b>Note:</b>  |   |                               |                                  |
| <ol style="list-style-type: none"> <li>1) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.</li> <li>2) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext .8822.The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.</li> <li>3) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.</li> <li>4) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.</li> <li>5) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.</li> <li>6) A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)</li> </ol> |   |                               |                                  |

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK  
**CITY OF PORTLAND**

Please Read  
Application And  
Notes, if Any,  
Attached

**PERMIT**

PERMIT ISSUED  
Permit Number: 051189  
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has permission to build a single family w/ a 1 car detached garage & deck

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provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

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**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

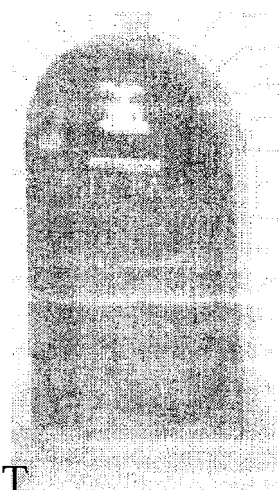
*Jamie Brouke* 12/19/05  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

City of Portland  
**INSPECTION SERVICES**

Room 315  
389 Congress Street  
Portland, Maine 04101

Telephone: 207-874-8703 or 207-874-8693  
Facsimile: 207-874-8716



**FACSIMILE TRANSMISSION COVER SHEET**

|                             |  |
|-----------------------------|--|
| TO: <u>Joe Robinson</u>     | FROM: <u>Jeanie Baucke</u>             |
| FAX NUMBER: <u>797-2287</u> | NUMBER OF PAGES, WITH COVER: <u>4</u>  |
| TELEPHONE: _____            | RE: <u>Checklist: 144-148 Plymouth</u> |
| DATE: <u>9/20/05</u>        | _____                                  |

Comments:

9/20/05

144 Plymouth

345-A-10

(Need 11x17 or Pdf)

148 Plymouth

# 05-1191

# 05-1189-345-A-7

| ONE AND TWO FAMILY   |  | PLAN REVIEW                      |  | CHECKLIST |                                  |      |
|--|--|----------------------------------|--|-----------|----------------------------------|------|
| Soil type/Presumptive Load Value (Table R401.4.1)  |  | Submitted Plan                   |  | Findings  | Revisions                        | Date |
| Component  |  |                                  |  |           |                                  |      |
| <b>STRUCTURAL</b>  |  |                                  |  |           |                                  |      |
| Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)              |  | 4' 20x10<br>16x10 garage         |  |           | OK                               |      |
| Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)                               |  | drain, Stone, Filter, bituminous |  |           | OK                               |      |
| Ventilation/Access (Section R408.1 & R408.3)<br>Crawls Space ONLY                              |  | N/A                              |  |           |                                  |      |
| Anchor Bolts/Straps, spacing (Section R403.1.6)  |  | 1/2" x 12" 6'o.c. & cones        |  |           | OK                               |      |
| Lally Column Type (Section R407)   |  | Point Load                       |  |           | Beam from 2nd Fl OK<br>Condition |      |
| Girder & Header Spans (Table R 502.5(2))   |  | 5'9" span                        |  |           |                                  |      |
| Built-Up Wood Center Girder Dimension/Type   |  | 2 FLOORS                         |  |           | 3-2x12 6'7 OK                    |      |
| Sill/Band Joist Type & Dimensions  |  | 2x6 PT 2x10 Box                  |  |           |                                  |      |
| First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1. J)       |  | 2x10 16" O.C.                    |  |           | OK                               |      |
| Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))      |  | 2x10 16" O.C.                    |  |           | OK                               |      |
| Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2)) |  | N/A                              |  |           |                                  |      |

|   |  |   |
|---|--|---|
| Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8))<br>Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1) | 8:12, 12:12, 3, 7:12<br>Trusses - 24" O.C.<br>gauge 2x10 16'oc.        | OK  |
| Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))   | 3/4 Adv. 7/16 Adv. 5/8 OSB H-chip<br>1/2 Roof<br>Table per<br>IBC 2003 | OK  |
| Fastener Schedule (Table R602.3(1) & (2))   |  | OK  |
| <b>Private Garage</b><br>(Section R309)<br>Living Space?<br>(Above or beside)   |  |   |
| Fire separation (Section R309.2)<br>Opening Protection (Section R309.1)   | 5/8 X Ceiling 9 walls  | OK  |
| Emergency Escape and Rescue Openings (Section R310)   | egress as noted on plans   | OK  |
| Roof Covering (Chapter 9)   | Asphalt #225   | OK  |
| Safety Glazing (Section R308)   | N/A  |   |
| Attic Access (Section R807)   | ?  | OK<br>? Note on plan 10-19-05                           |
| Chimney Clearances/Fire Blocking (Chap. 10)   | Exterior wall - bump out   | <del>Disclosed</del><br>Disclosed                       |
| Header Schedule (Section 502.5(1) & (2))  | 5'4 x 9'4 parakum - Dining<br>Garage 3-2x10 @ 9' / 3-2x10              | 10'6" - Point load off beam<br>11' OK space<br>19/18/05 |
| Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration                          | R-19 (30 cap, 7.4 factor)<br>8'8" max<br>ceiling                       | U = 0.31 cap R-38<br>A-21 19/19/05 OK                   |

JK - ~~JK~~

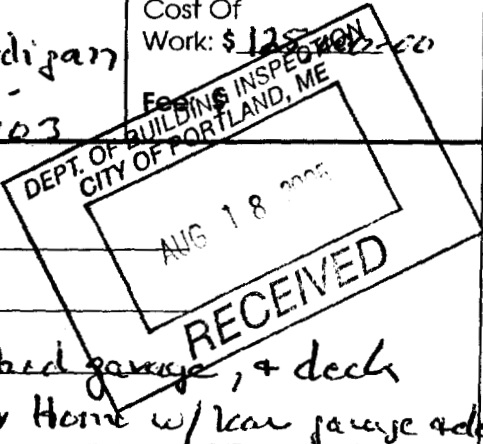
|   |                                  |    |
|---|----------------------------------|----|
| Type of Heating System  | 7 FHW 011                        |    |
| <b>Means of Egress</b> (Sec R311 & R312)  |                                  | JK |
| Basement  | bulkhead                         |    |
| Number of Stairways   | 2                                |    |
| Interior  | 2                                |    |
| Exterior  | 7 3/4 R 16" T                    | JK |
| Treads and Risers (Section R311.5.3)  | 7 5/8 R                          |    |
| Width (Section R311.5.1)  | 38" WD.                          |    |
| Headroom (Section R311.5.2)   | 6'8"                             |    |
| Guardrails and Handrails (Section R317 & R311 5.6 - R311 5.6.3)                   | 3/6" L 4" Space                  |    |
| Smoke Detectors (Section R313)<br><small>Location and type/Interconnected</small> | as noted Per code<br>FM Plans    | JK |
| Dwelling Unit Separation (Section R317) and<br>IRC - 2003 (Section 1207)          | N/A                              |    |
| Final Construction Section R502.2.1)  | 2x10 16' O.C. JOISTS<br>(3) 2x10 | JK |

Big FOOT - 3 MIN.




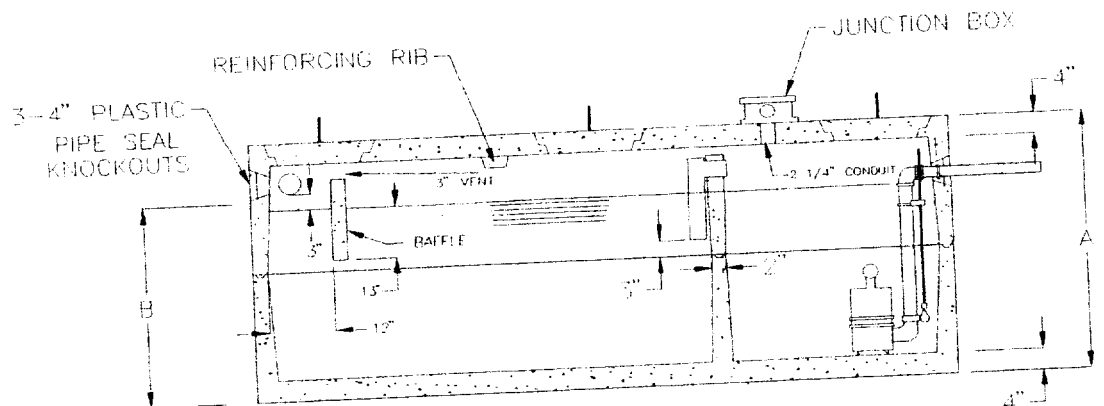
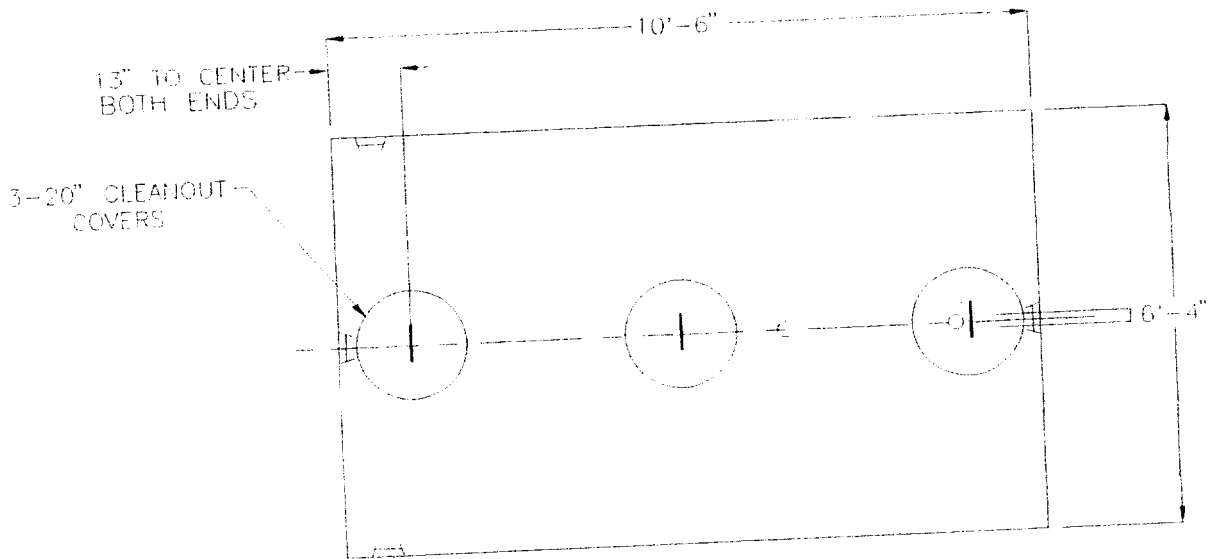
# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

|  |  |
|--|--|
| - Lots   |  |
| Total Square Footage of Proposed Structure<br><b>1,764 sq. ft</b>  | Square Footage of Lot<br><b>8,000 sq. ft.</b>  |
| Chart#      Block#      Lot#<br><b>345-A-7+8</b>   | Applicant name, address & telephone: <b>Stephen Mardigan (207) 772-5555</b>  |
| Lessee/Buyer's Name (If Applicable)  | Applicant name, address & telephone: <b>Stephen Mardigan<br/>460 Baxter Blvd -<br/>Portland, ME 04103</b>              |
| Current use: <b>Buildable Lot</b>  | Cost Of Work: <b>\$125,000</b><br> |
| If the location is currently vacant, what was prior use: _____   |  |
| Approximately how long has it been vacant: _____   |  |
| Proposed use: <b>Single Family Home w/ lean attached garage, + deck</b>  |  |
| Project description: <b>Construction of single family home w/ lean garage + deck</b>   |  |
| Contractor's name, address & telephone: <b>East Coast Development L.L.C<br/>(207) 415-7586<br/>P.O. Box 3561<br/>Portland, ME 04104</b>  |  |
| Who should we contact when the permit is ready: <b>Joe Robinson</b>  |  |
| Mailing address: <b>P.O. Box 3561<br/>Portland, ME 04104</b>   |  |
| We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. <b>PHONE: 207 (415) -75-86</b> |  |

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

|   |                      |
|---|----------------------|
| Signature of applicant:  | Date: <b>8-18-05</b> |
|---|----------------------|



- NOTES:
1. CONCRETE: 4000 PSI AFTER 28 DAYS
  2. REINFORCING: 6X6/10X10 W.W.M. & FIBERS
  3. KEYED JOINT SEALED WITH BUTYL RUBBER
  4. EXCAVATION MUST BE AT LEAST 12" LONGER AND WIDER THAN TANK SIZE.

| LIQUID CAPACITY (GALLONS) | TOTAL HEIGHT A | INLET INVERT HEIGHT B | WEIGHT (LBS) |
|---------------------------|----------------|-----------------------|--------------|
| 750/250                   | 49"            | 38"                   | 9500         |
| 1000/250                  | 56"            | 45"                   | 10500        |
| 1000/500                  | 64"            | 53"                   | 11000        |
| 1500/500                  | 76"            | 64"                   | 12500        |

3rd fl.  
4 Bed.

**RICHARD GENEST, INC**  
**TWO COMPARTMENT SEPTIC/PUMP TANK**

Exhibit A  
Parcel 1

**Certain lots or parcels of land located on the westerly side of Plymouth Street, County of Cumberland and State of Maine currently known as Tax Map and Lots 345-A-7 & 8 as shown on the maps of the Tax Assessor for the City of Portland for the fiscal year 2002. on file in the office of said tax assessor, said lots more particularly described as follows**

Two certain lots located on the aforementioned Plymouth Street, previously known as lots 39 and 40 as shown on plan entitled "Deering Villa by C.A Thayer, Engr. Dated June 1907 and recorded in the Cumberland County Registry of Deeds in Plan Book 11, Page 71.

Said Lots also shown as Parcel 1, on a plan entitled "Boundary Survey/Site Plan Plymouth Street Portland, Maine" for Stephen Mardigan dated January 17, 2003 produced by Back Bay Boundary, Inc. 65 Newbury Street Portland, Maine, said plan recorded in the aforementioned Registry of Deeds in Plan Book 203. Page 521

Said lot containing 8000 square feet more or less.

Meaning and intending to convey a portion of the premises conveyed to Stephen Mardigan from the City of Portland as described in a Quitclaim Deed dated June 26, 2002 and recorded in the Cumberland County Registry of Deeds in Book 17980. Page 123

Applicant: Stephen Mardigan

Date: 8/24/05

Address: 140 Plymouth St

C-B-L: 345-A-007

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New Dev -

# 05-1189

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - to construct 26' x 28' Dwelling with 1 car garage rear Deck 12' x 12'

Sewage Disposal - City

Lot Street Frontage - 50' min - 80' shown

Front Yard - 25' min - 25' exactly

Rear Yard - 25' min - 37' from Deck

Side Yard - 14' min (can reduce to no less than 8' & add onto the other side) - 10' & 29' shown ok

Projections - 2 story rear Deck 12' x 12' - 6' x 7' rear bulkhead - 3' x 5' front stoop stairs side chimney 2' x 5'

Width of Lot - 65' min - 80' shown

Height - 35' max - 24' scaled

Lot Area - 6,500 sqm 8,000 sq ft shown

Lot Coverage/Impervious Surface - 35% max or 2800 sq ft

Area per Family - 6,500 sq ft

Off-street Parking - 2 pkg spaces req - only 1 car garage being shown OK

Loading Bays - N/A

Site Plan - minor/minor # 2005-0188

Shoreland Zoning/Stream Protection - N/A

Flood Plains - Panel 7 - Zone X

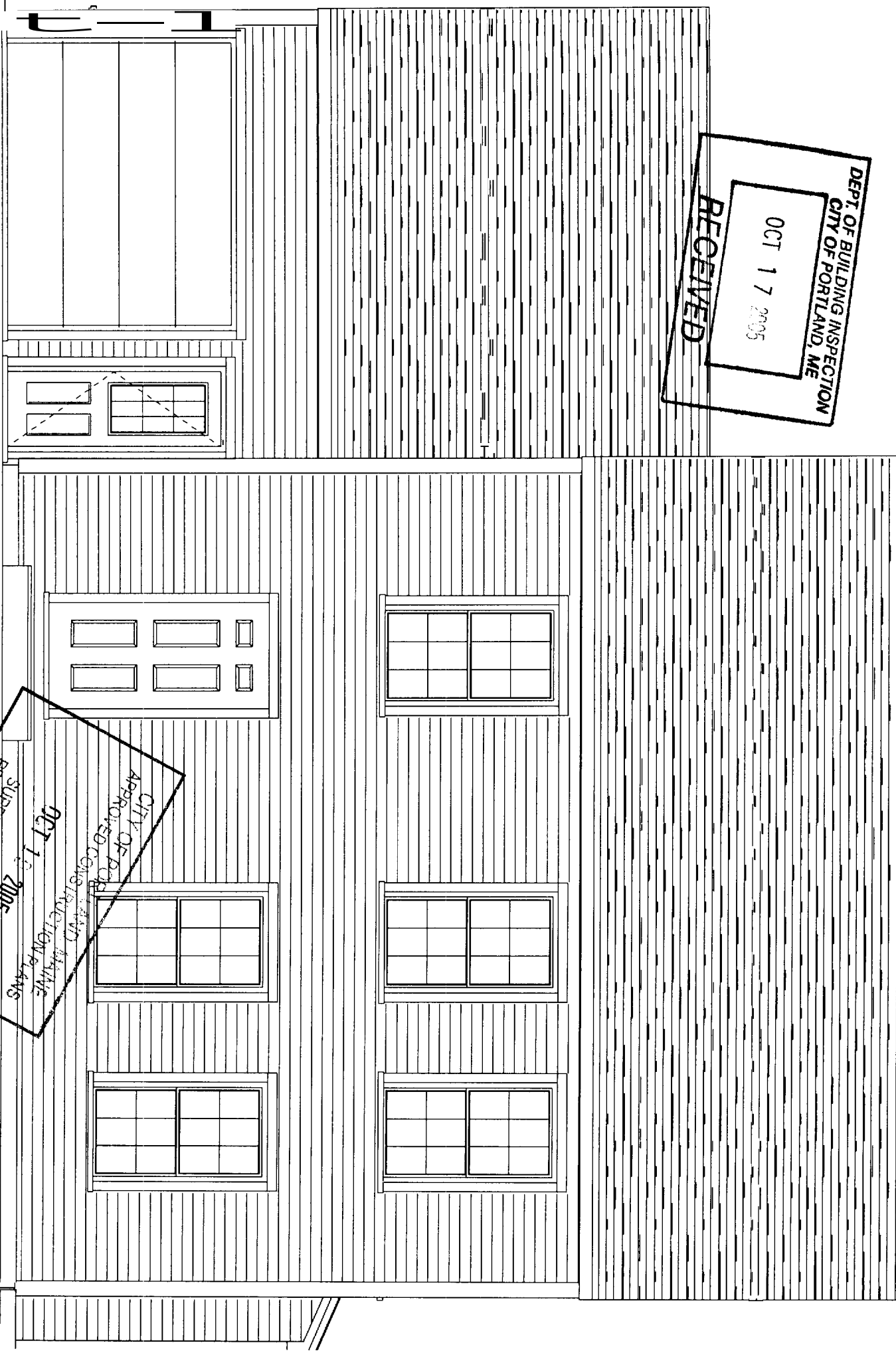
|           |     |
|-----------|-----|
| 26 x 28 = | 728 |
| 14 x 22 = | 308 |
| 12 x 12 = | 144 |
| 6 x 7 =   | 42  |
| 3 x 5 =   | 15  |
| 2 x 5 =   | 10  |

1247 sq ft

8/26/05 received revised plans showing the extra parking space

OK  
Needs to  
show more

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
OCT 17 2005  
RECEIVED



FRONT ELEVATION

CITY OF PORTLAND  
APPROVED FOR CONSTRUCTION AND AS SHOWN  
OCT 12 2005  
SUPERSEDES ALL  
PRIOR DATED PLANS

#50



RIGHT ELEVATION

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
OCT 17 2005  
RECEIVED

CITY OF PORTLAND, MAINE  
APPROVED CONSTRUCTION PLANS  
OCT 10 2005  
SUPERSEDES ALL  
PRIOR DATED PLANS

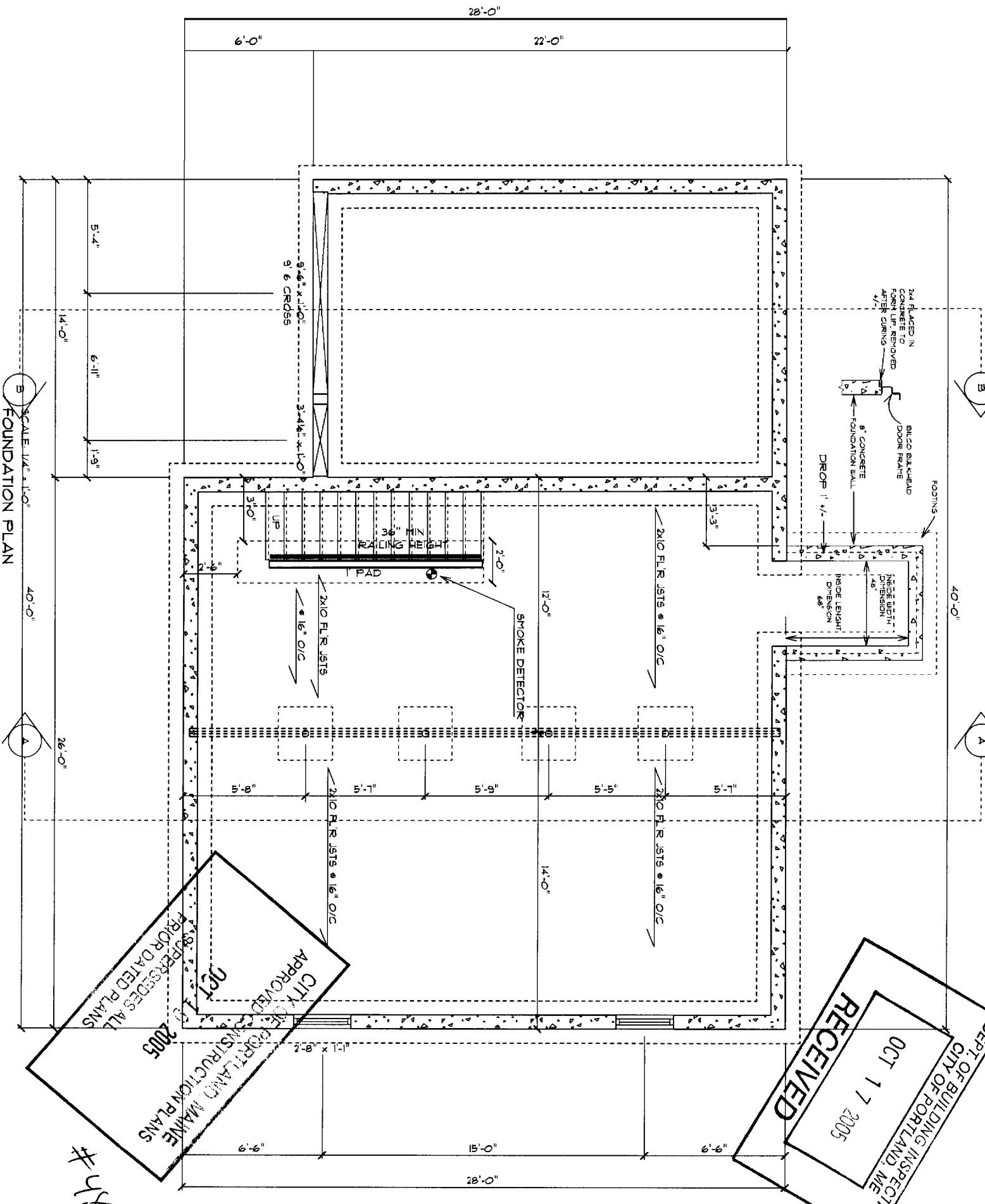


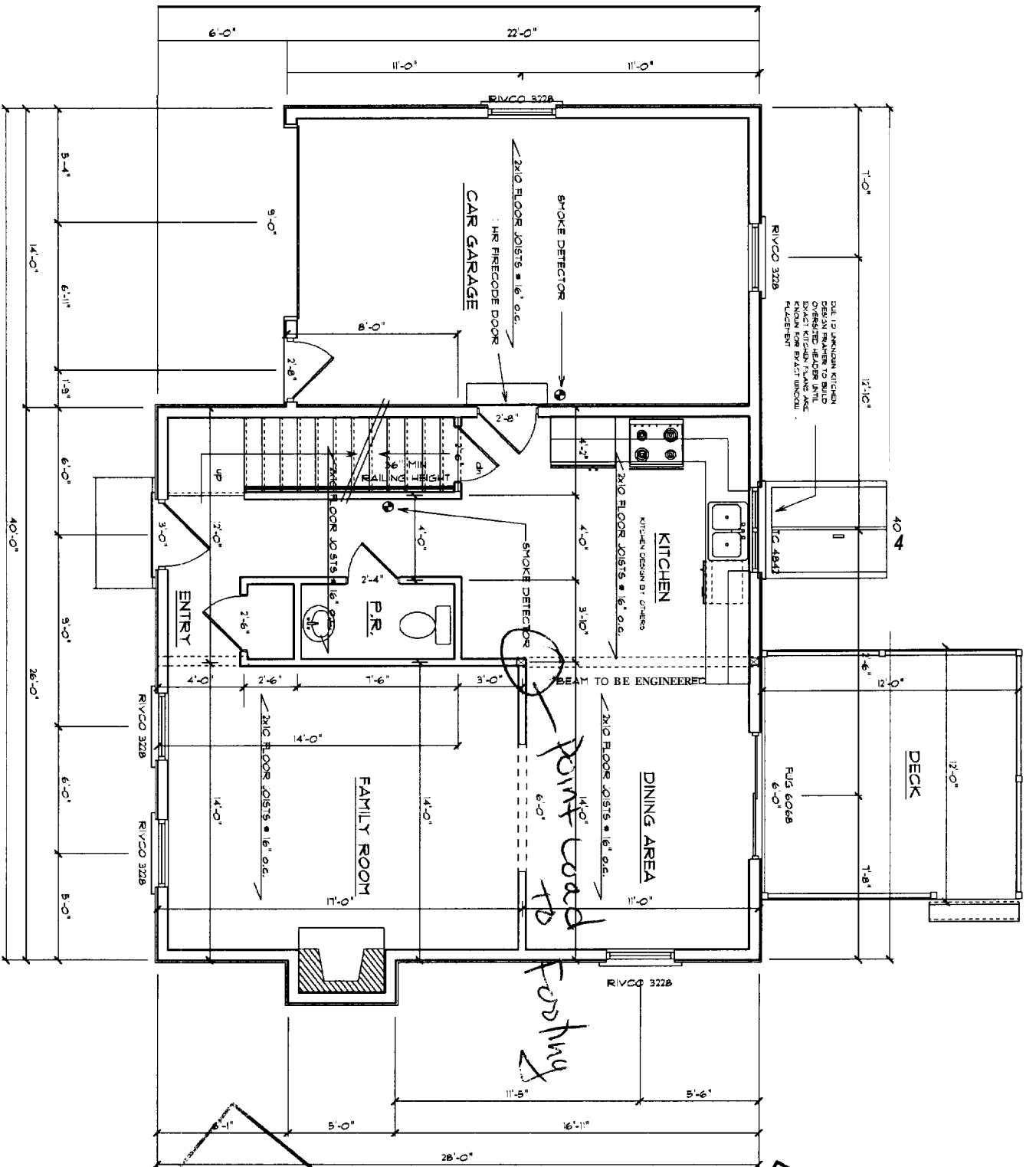
REAR ELEVATION



LEFT ELEVATION

#51





MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

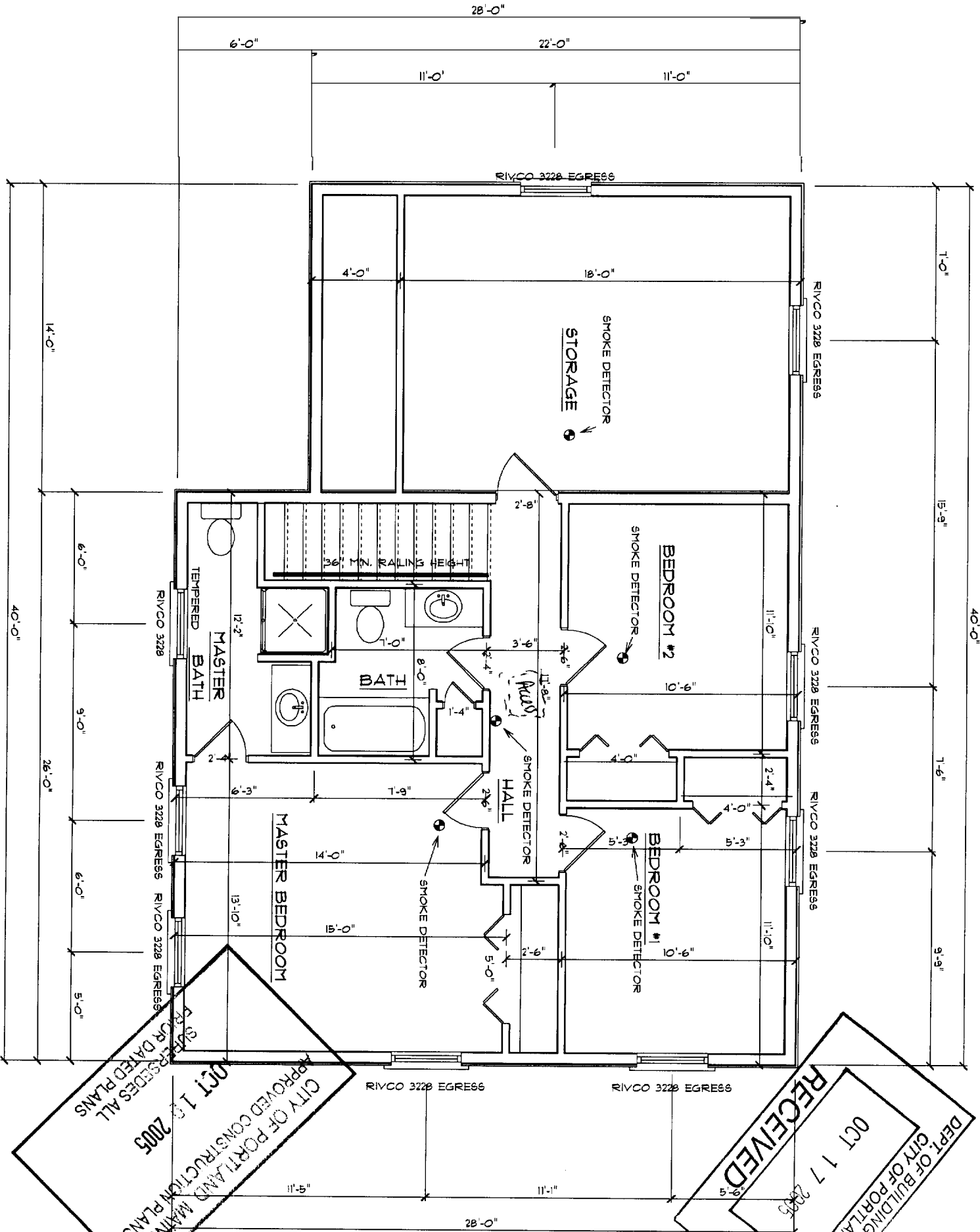
NOTE: ALL WINDOWS  
U-FACTOR = .31

APPROVED FOR ALL NEARBY PROPERTIES  
SUPERVISOR OF ELECTRICAL PLANS  
OCT 10 2005  
CITY OF PORTLAND, MAINE  
APPROVED CONSTRUCTION PLANS

RECEIVED  
OCT 17 2005  
DEPT OF BUILDING INSPECTION  
CITY OF PORTLAND, ME

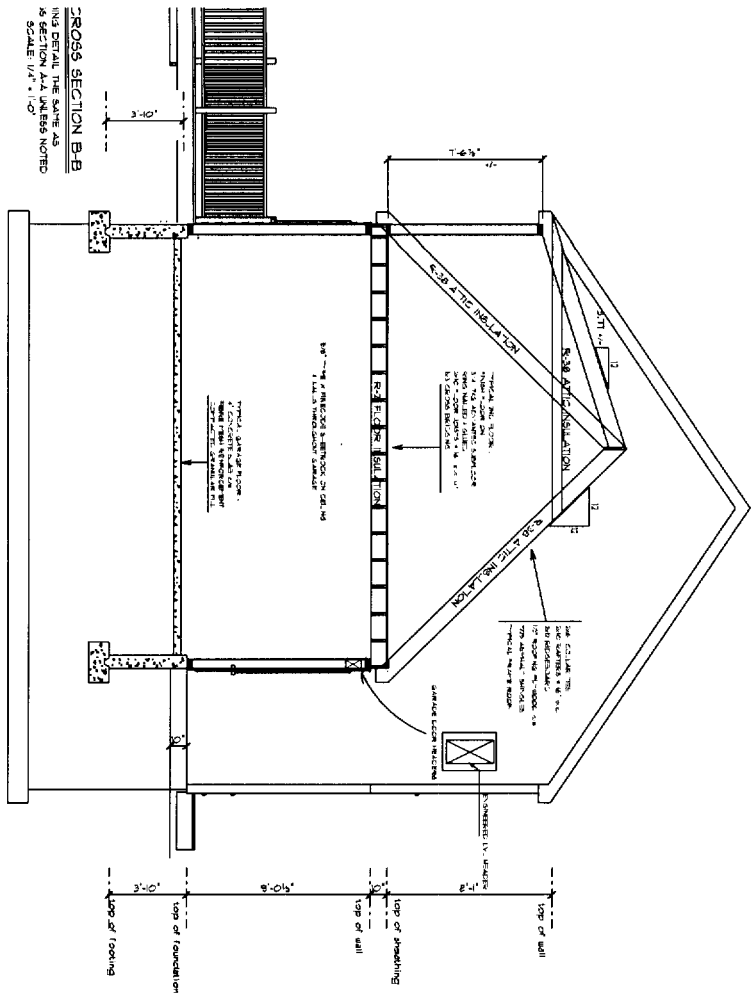


SCALE: 1/4" = 1'-0"  
**2ND FLOOR PLAN**



APPROVED FOR DATED PLANS  
 OCT 13 2005  
 CITY OF PORTLAND MAINE  
 APPROVED CONSTRUCTION PLANS

RECEIVED  
 OCT 17 2005  
 DEPT. OF BUILDING INSPECTION  
 CITY OF PORTLAND, ME

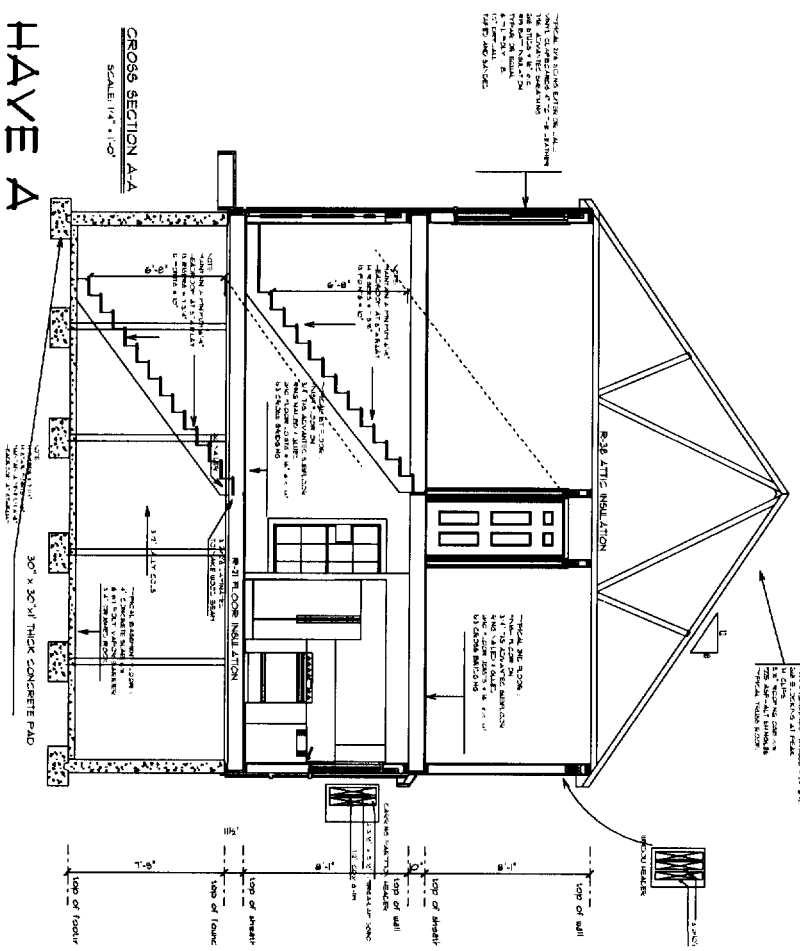


**CROSS SECTION B-B**  
 AND DETAIL THE SAME AS  
 CROSS SECTION A-A  
 SCALE 1/4" = 1'-0"

**ALL WINDOWS TO HAVE A  
 U-FACTOR U-.31**

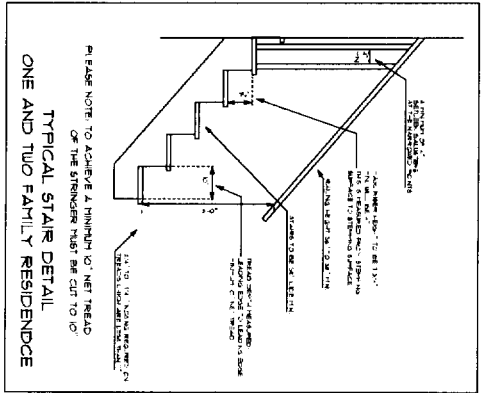
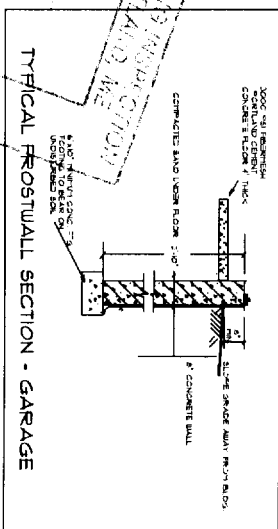
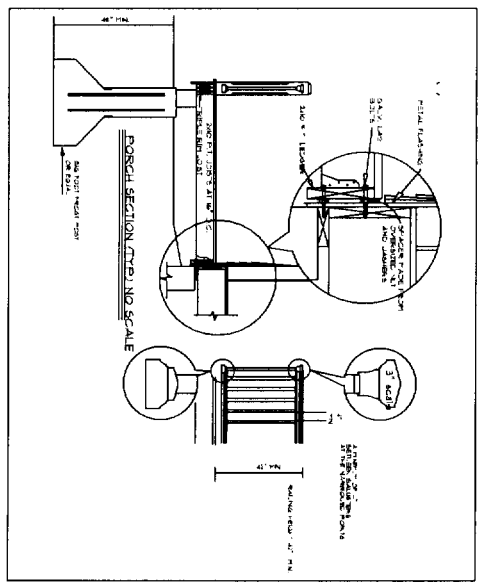
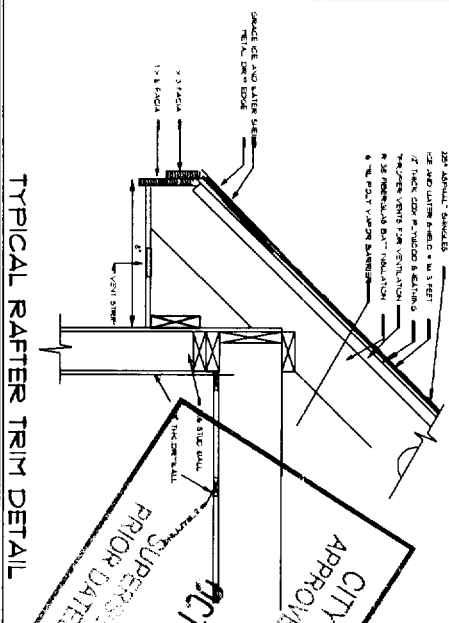
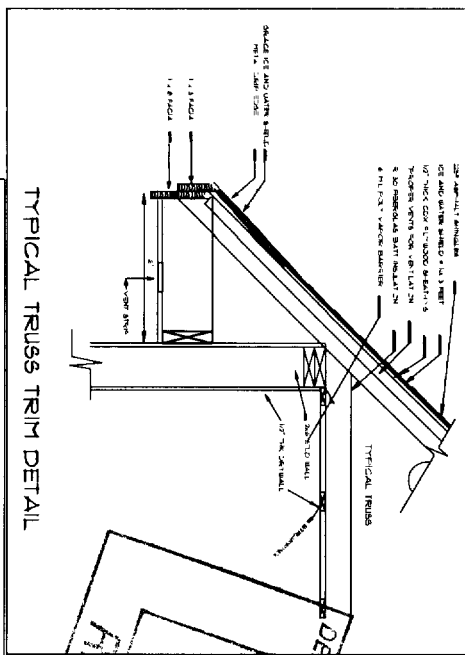
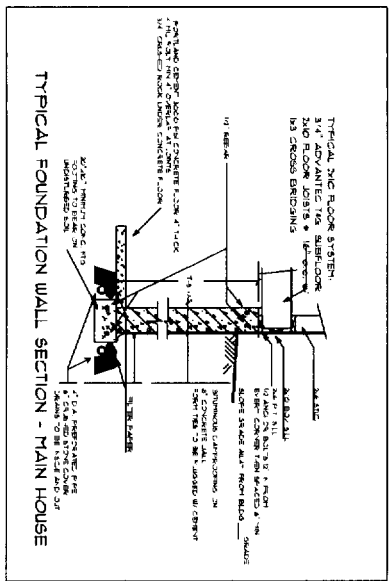
**HEATING SYSTEM:  
 FORCED HOT WATER  
 WITH POWER VENT,  
 POSITIONING BY  
 PLUMBING CONTRACTOR**

**CITY OF PORTLAND, MAINE  
 APPROVED CONSTRUCTION PLANS  
 OCT 10 2005  
 SUPERSEDES ALL  
 PRIOR DATED PLANS**



**CROSS SECTION A-A**  
 SCALE 1/4" = 1'-0"

**DEPT. OF BUILDING INSPECTION  
 CITY OF PORTLAND, ME  
 OCT 17 2005  
 RECEIVED**



**FASTENING SCHEDULE (SEE TABLE 2304.9.1 WE 3, RESIDENTIAL CONSTRUCTION CODE FOR COMPLETE DETAILS)**

| NO. | DESCRIPTION                 | TYPE       | SIZE | SPACING | NOTES |
|-----|-----------------------------|------------|------|---------|-------|
| 1   | WOOD JOIST TO CONCRETE WALL | WOOD JOIST | 2x12 | 16\"/>  |       |
| 2   | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 3   | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 4   | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 5   | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 6   | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 7   | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 8   | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 9   | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 10  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 11  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 12  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 13  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 14  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 15  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 16  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 17  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 18  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 19  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 20  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 21  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 22  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 23  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 24  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 25  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 26  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 27  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 28  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 29  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 30  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 31  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 32  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 33  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 34  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 35  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 36  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 37  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 38  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 39  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 40  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 41  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 42  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 43  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 44  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 45  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 46  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 47  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 48  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 49  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |
| 50  | WOOD JOIST TO WOOD WALL     | WOOD JOIST | 2x12 | 16\"/>  |       |

TYPICAL RAFTER TRIM DETAIL

TYPICAL TRUSS TRIM DETAIL

TYPICAL POSTWALL SECTION - GARAGE

TYPICAL STAIR DETAIL ONE AND TWO FAMILY RESIDENCE

PROJECT NAME: **MARDIGAN SPEC HOUSE**

DATE: **4-4-2010**

SCALE: **AS SHOWN**

NO. **44**

PLYMOUTH ST  
PORTLAND

THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY A REGISTERED ARCHITECT OR ENGINEER FOR THE PURPOSE OF BEING USED AS A BASIS FOR THE CONSTRUCTION OF THE WORK SHOWN HEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY AND SUFFICIENCY OF THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT OR ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE PLANS OR SPECIFICATIONS WHICH MAY BE MADE BY THE CONTRACTOR OR FOR ANY CHANGES OR MODIFICATIONS TO THE PLANS OR SPECIFICATIONS WHICH MAY BE MADE BY THE CONTRACTOR OR FOR ANY CONSTRUCTION WHICH MAY BE MADE BY THE CONTRACTOR WHICH IS NOT SHOWN OR SPECIFIED IN THE PLANS OR SPECIFICATIONS.

RECEIVED  
OCT 17  
DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND  
APPROVED FOR PERMIT  
SUPERVISOR  
OCT 10 2005