


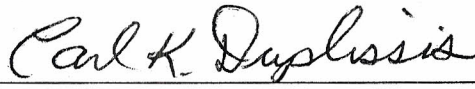
WARRANTY DEED
Maine Statutory Short Form

KNOW ALL MEN BY THESE PRESENTS, That **Carl K. Duplissis** of Portland, Maine, for consideration paid, grant(s) to **Jeffrey D. Conaway and Chloe M. Conaway** whose mailing address is 96 Pitt Street #2B, Portland, Maine 04103, as Joint Tenants with **WARRANTY COVENANTS**, the real property situated in **Portland**, County of **Cumberland** and State of **Maine** more particularly described in Exhibit A attached hereto and incorporated herein by reference.

WITNESS, my/our hand(s) and seal(s) this 24th day of June, 2011.



Witness to all



Carl K. Duplissis

State of Maine
County of Cumberland, ss.

June 24, 2011

Personally appeared before me the above named **Carl K. Duplissis** and acknowledged the foregoing instrument to be his/her/their free act and deed.



Notary Public/Attorney at Law

SUSAN GAGE KNEDLER
Notary Public, Maine
My Commission Expires **November 22, 2011**

EXHIBIT A**(MORTGAGE)****PARCEL ONE:**

A certain lot or parcel of land, with the buildings thereon, situated in the City of Portland, County of Cumberland and State of Maine, on the northerly side of Chapman Street, and being a portion of Lot 226 and a portion of Lot 223, as shown on Plan of the Homesteads, which Plan is recorded in the Cumberland County Registry of Deeds in Plan Book 14, Page 70, and bounded and described as follows:

Commencing at a point on the said northerly sideline of Chapman Street which point is distant sixty-seven and one-half ($67 \frac{1}{2}$) feet from the point of intersection of the northerly side of Chapman Street with the easterly side of Fisher Street as shown on said Plan; and running thence easterly along said northerly sideline of Chapman Street, a distance of sixty-seven and one-half ($67 \frac{1}{2}$) feet to a point, which point is the southeasterly corner of Lot 223, as shown on said Plan; thence northerly a distance of ninety (90) feet along the easterly sideline of Lot 223 to a point; thence running westerly parallel with the said northerly sideline of Chapman Street a distance of sixty-seven and one-half ($67 \frac{1}{2}$) feet to a point, which point is the northeasterly corner of a lot conveyed by Ida M. Rumery to James A. Murray and Esther M. Murray; thence southerly parallel with the said easterly sideline of Fisher Street a distance of ninety (90) feet to the point of beginning. Being the easterly half of Lot 226 and a portion of Lot 223 as shown on said Plan.

This conveyance is subject to an easement to maintain the present sewer and water pipes running through said Lot 226 with the right to enter upon said lot for the purpose of keeping and maintaining the sewer and pipes in repair. Said easement to be seven and one-half ($7 \frac{1}{2}$) feet easterly from the westerly sideline of the property conveyed and holding said width the entire depth of said lot. It being further understood and agreed that if and when the City of Portland shall construct a public sewer and water pipes on Fisher Street and the owners of the property now on Fisher Street shall enter the said public sewer and discontinue the present sewer, then the easement shall become extinct.

PARCEL TWO:

Also conveying another certain lot or parcel of land, with any improvements thereon, situated northerly of Chapman Street and on the easterly side of Fisher Street in the City of Portland, County of Cumberland and State of Maine, bounded and described as follows:

Beginning at a point on the easterly side of Fisher Street, one hundred thirty-three and $\frac{27}{100}$ (133.27) feet from the northerly sideline of Chapman Street; thence southerly along the easterly sideline of Fisher Street a distance of forty-three and $\frac{27}{100}$ (43.27) feet; thence easterly at a right angle to Fisher Street, a distance of one hundred thirty-five (135) feet; thence northerly parallel to Fisher Street, a distance of ninety (90) feet, more or less, to land now or formerly of Walter E. Campbell; thence westerly at right angles, a distance of thirty-three (33) feet; thence southerly parallel to Fisher Street, a distance of fifty and $\frac{70}{100}$ (50.70) feet; thence westerly at right angles to Fisher Street, a distance of one hundred two (102) feet to the point of beginning. EXCEPTING AND RESERVING from Parcel 2 above, the premises conveyed by Carl F. Wood, et al to Daniel J. Arsenault by deed dated April 3, 1946 and recorded in the Cumberland County Registry of Deeds in Book 1815, Page 134 and the premises conveyed by Carl F. Wood, et al to

George A. Bennett, Jr., et al by deed dated October 6, 1966 and recorded in the Cumberland County Registry of Deeds in Book 2977, Page 231. Said remaining parcel is a strip of land approximately twenty-seven (27) feet by sixty-seven and one-half (67 ½) feet, abutting the parcel of land conveyed by Ida M. Rumery to Carl F. Wood and Evelyn E. Wood by deed dated April 30, 1940 and recorded in the Cumberland County Registry of Deeds in Book 1603, Page 272.

The premises are conveyed together with and subject to any and all easements or appurtenances of record, insofar as the same are in force and applicable.

This conveyance is made subject to unpaid real estate taxes for the current tax year, if any, which the Grantee herein, by acceptance of this deed, assumes and agrees to pay.

Reference is hereby made to a deed from Carl K. Duplissis of even date to be recorded herewith.