

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that JEFFREY D CONAWAY

Located At 21 CHAPMAN ST

Job ID: 2012-03-3647-ALTR

CBL: 344-I-004-001

has permission to build a new 12 by 26 foot freestanding deck (Single Family Residence).

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer


04/30/2012
Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
 - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
 - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Footings/Setbacks prior to pouring concrete
 2. Close In Elec. / Frame. prior to insulate or gypsum
 3. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

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Acting Director of Planning and Urban Development
Gregory Mitchell

Job ID: 2012-03-3647-ALTR

Located At: 21 CHAPMAN ST

CBL: 344- I-004-001

Conditions of Approval:

Zoning

1. The plot plan submitted is not accurate for the rear property line. As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required rear and side setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.
2. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Building

1. Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. R502.6 Bearing. The ends of each joist, beam or girder shall have not less than 1.5 inches of bearing on wood or metal and not less than 3 inches on masonry or concrete except where supported on a 1-inch-by-4-inch ribbon strip and nailed to the adjacent stud or by the use of approved joist hangers.
3. Owner stated that the freestanding deck will be supported by "Sona Tubes" that extend (at least 4') below the frost line. The (2) 2 x 10 inch P.T. Beam will have a max span of 7 foot 3 inches between each "Sona Tube".

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-03-3647-ALTR	Date Applied: 3/30/2012	CBL: 344-1-004-001	
Location of Construction: 21 CHAPMAN ST	Owner Name: JEFFREY D CONAWAY	Owner Address: 21 CHAPMAN ST PORTLAND, ME 04103	Phone: 207-210-0476
Business Name:	Contractor Name: Vindal Builders LLC	Contractor Address: PO Box 6273, Cape Elizabeth, ME 04107	Phone: 207-329-9017
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-3
Past Use: Single family	Proposed Use: Same - Single family - add 12' x 26' rear deck	Cost of Work: 4000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: RS Type: SB IRC 2009 MUBEC Signature: <i>[Signature]</i>
Proposed Project Description: new 12' x 26' platform deck		Pedestrian Activities District (P.A.D.)	
Permit Taken By:		Zoning Approval	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p><input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM</p> <p>Date: <i>Over/condition</i> <i>4/3/12 ABM</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>ABM</i></p>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

5/1/12 Side & Rear Setback O.K.

Footings poured w/o inspection, however deck is freestanding and < 300sf. - no frost protection required. G

R-3

2012 03 3647 66

General Building Permit Application



If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>21 CHAPMAN ST.</u>		
Total Square Footage of Proposed Structure/Area <u>312 SF</u>	Square Footage of Lot <u>8100</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>344</u> Block# <u>10</u> Lot# <u>4</u> <u>344 I 004</u>	Applicant: (must be owner, lessee or buyer) Name <u>JEFF CONAWAY</u> Address <u>21 CHAPMAN ST.</u> City, State & Zip <u>PORTLAND, ME 04103</u>	Telephone: <u>207-210-0476</u>
Lessee/DBA RECEIVED MAR 30 2012 Dept. of Building Inspections City of Portland Maine	Owner: (if different from applicant) Name Address City, State & Zip	Cost of Work: \$ <u>3350.00</u> C of O Fee: \$ _____ Historic Review: \$ _____ Planning Amin.: \$ _____ Total Fee: \$ <u>60.00</u>
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>new 10' x 26' deck</u>		
Contractor's name: <u>VINDLE BUILDERS LLC</u>		Email: <u>ron@vindlebuilders.com</u>
Address: _____		
City, State & Zip <u>CAPE ELIZABETH, ME</u>		Telephone: <u>(207) 329-9017</u>
Who should we contact when the permit is ready: <u>JEFF CONAWAY</u>		Telephone: <u>(207)-210-0476</u>
Mailing address: <u>21 CHAPMAN ST PORTLAND, MAINE 04103</u>		

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

and I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:	Date:
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This is not a permit; you may not commence ANY work until the permit is issued



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Vindle Builders LLC

Custom Framing to Fine Carpentry

Vindle Builders

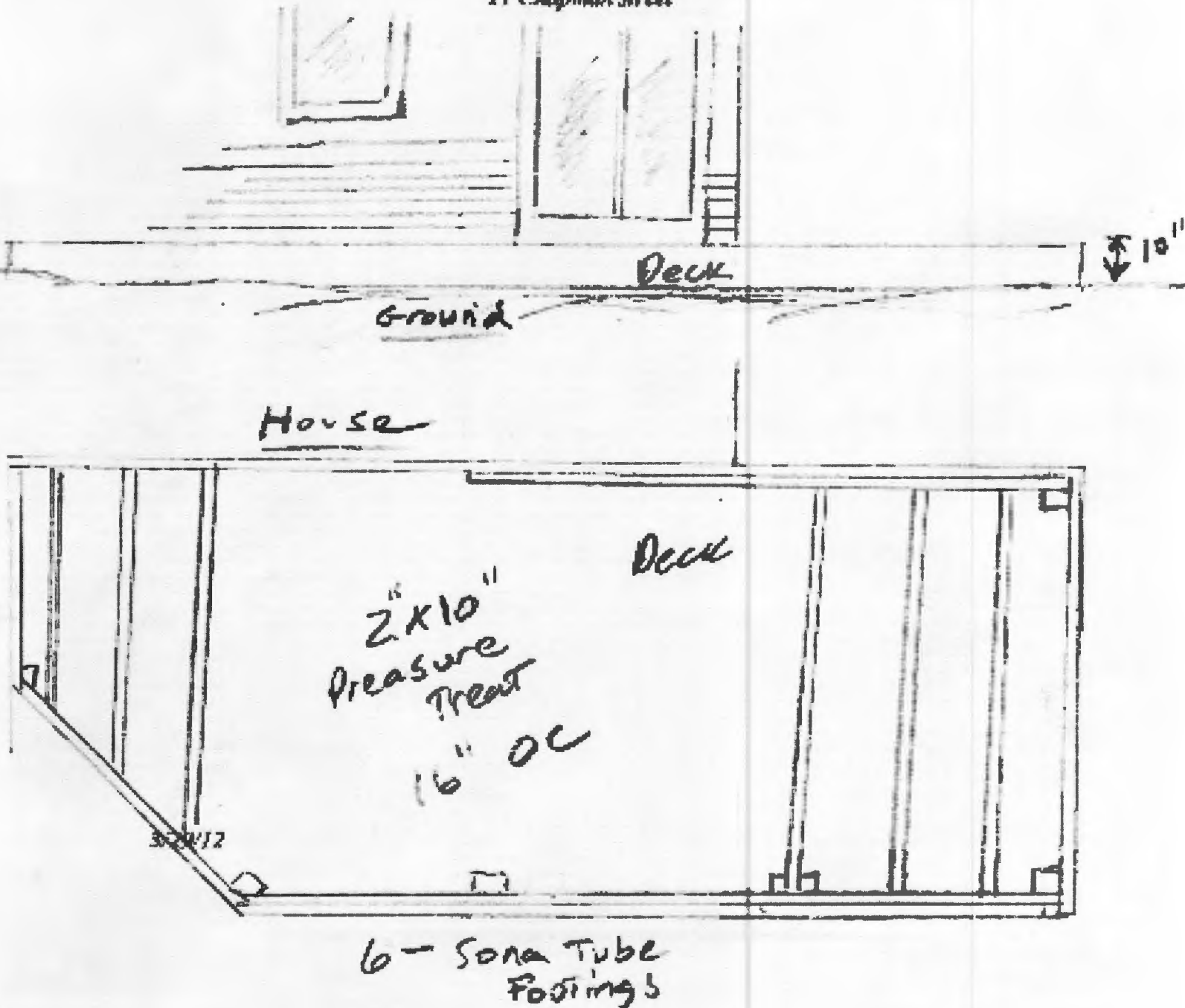
P.O. Box 6273

Cape Elizabeth, ME 04107

207-329-4017

207-767-3615

21 Chapman street





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Receipts Details:

Tender Information: Check , BusinessName: visa, Check Number: 2263

Tender Amount: 60.00

Receipt Header:

Cashier Id: gguertin

Receipt Date: 3/30/2012

Receipt Number: 42369

Receipt Details:

Referance ID:	5887	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	60.00	Charge Amount:	60.00
Job ID: Job ID: 2012-03-3647-ALTR - new 12' x 26' platform deck			
Additional Comments: 21 chapman			

Thank You for your Payment!

R-3 lot size 7889 sq ft
 rear - 25' - 27' front
 side - 8' - 10' side
 lot coverage - 35% = 2757.5 sq ft

* Plot Plan not accurate see shape of lot from GIS

existing 768
 240
 528
 1428
 252 (7x12)
 35 (5x7)
 12.5 (3.5x5)
 17 57.5

