

EXISTING ROOF AND CLAPBOARDS TO BE REPAIRED

WALL REMOVED DUE TO DEMOLITION OF SHED

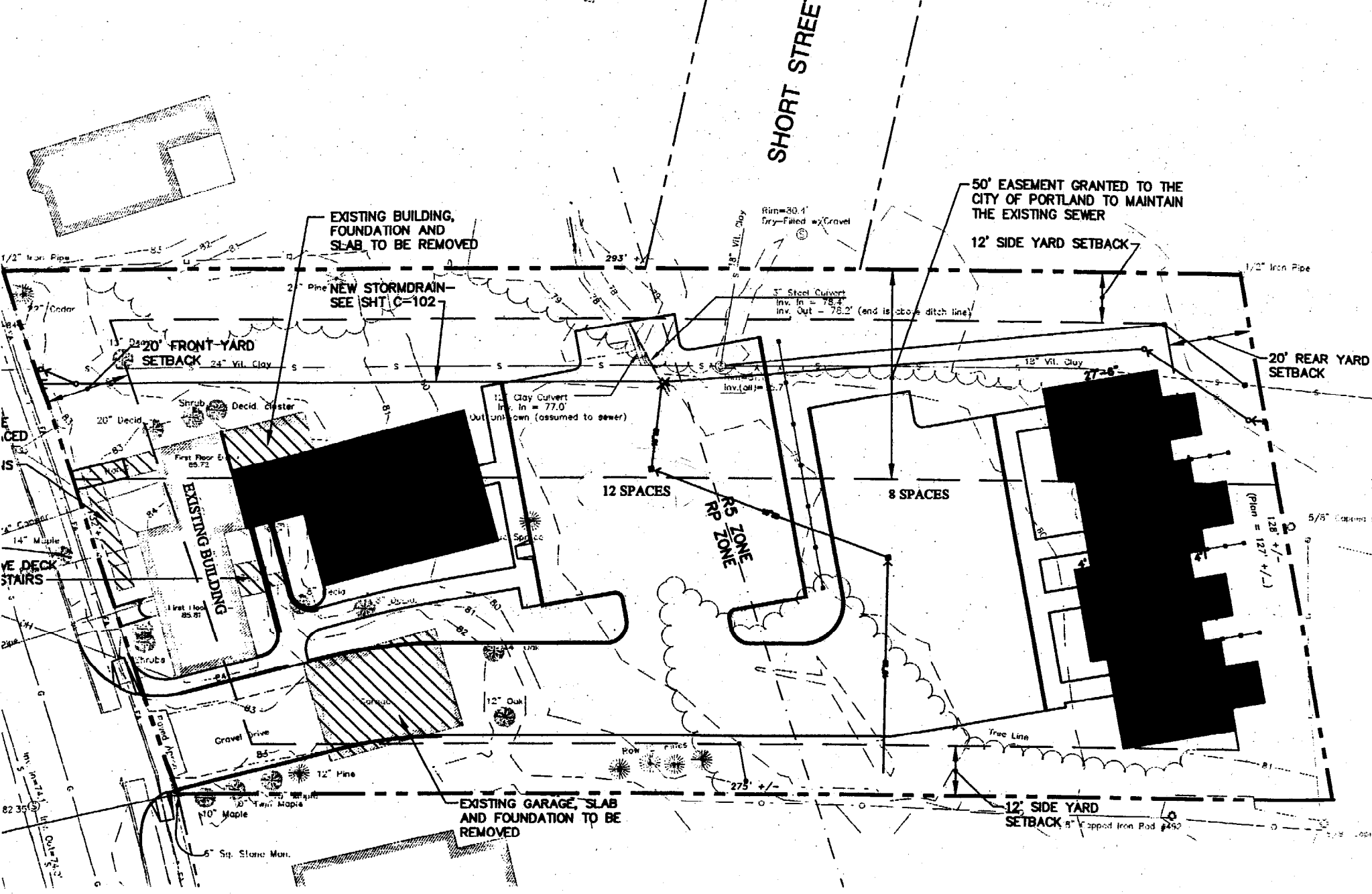
* WINDOW INSTALLED WHERE DOOR ONCE WAS.

2x6 CONSTRUCTION
16" ON CENTER
CLAPBOARDS

"FRAMED" DOOR ON LEFT TO BE WALLED IN FOR FUTURE EXPANSION (SEE APPROVED PLANS)

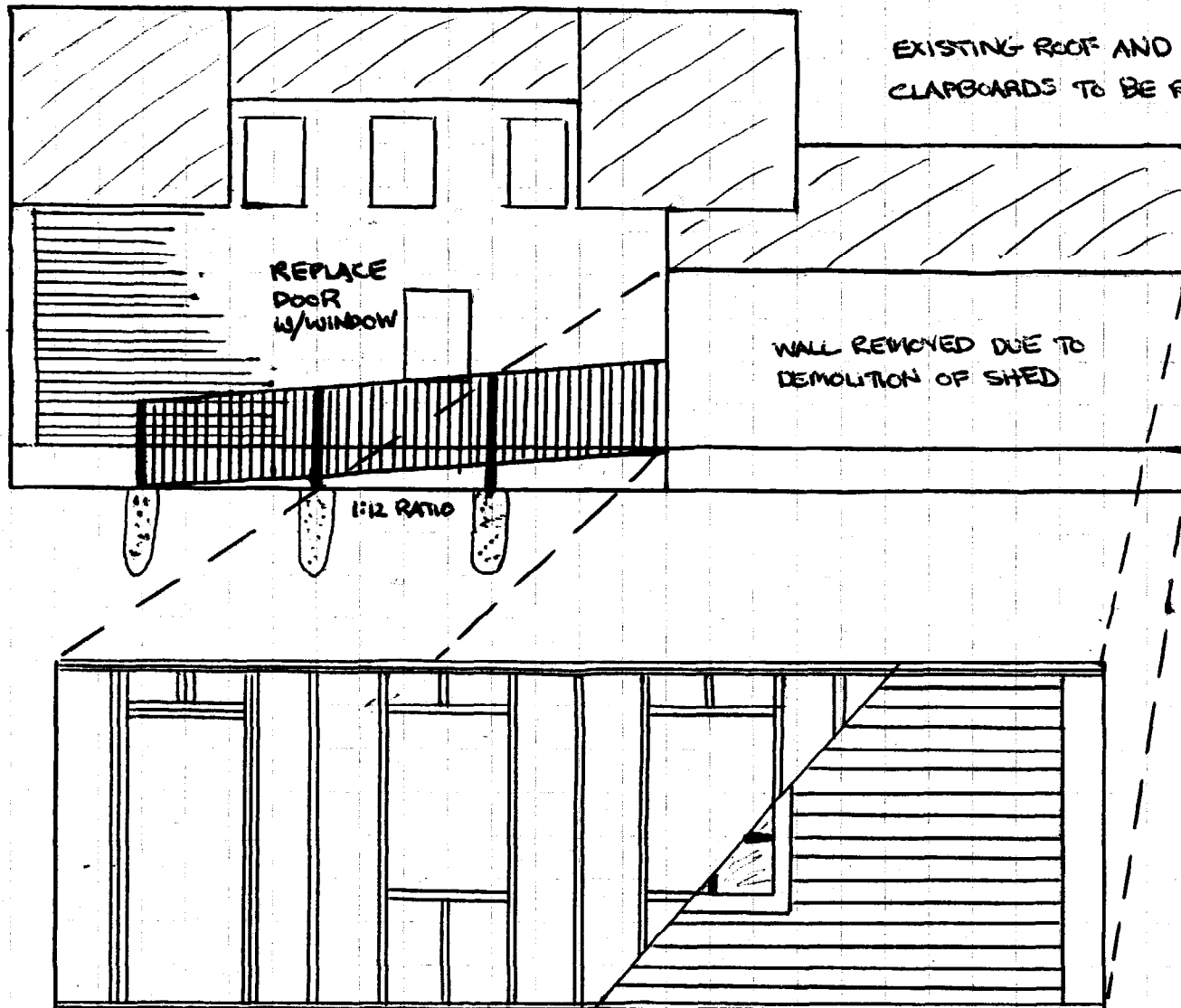
**NORTH (BACKSIDE) ELEVATION OF
300 ALLEN AVENUE, PORTLAND, MAINE**

SHORT STREET



**APPROVALS FOR MULTI-USE DEVELOPMENT
300 ALLEN AVENUE, PORTLAND, MAINE**

This plan shows existing building, demolition of shed addition & removal of garage



RAMP DETAILS

PRESSURE TREATED WOOD
 6X6 POSTS / CONCRETE
 1:12 RATIO / 2X6 JOIST
 42" RAILS / 5' WIDE
 HANDRAILS

WALL DETAILS

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 16" ON CENTER
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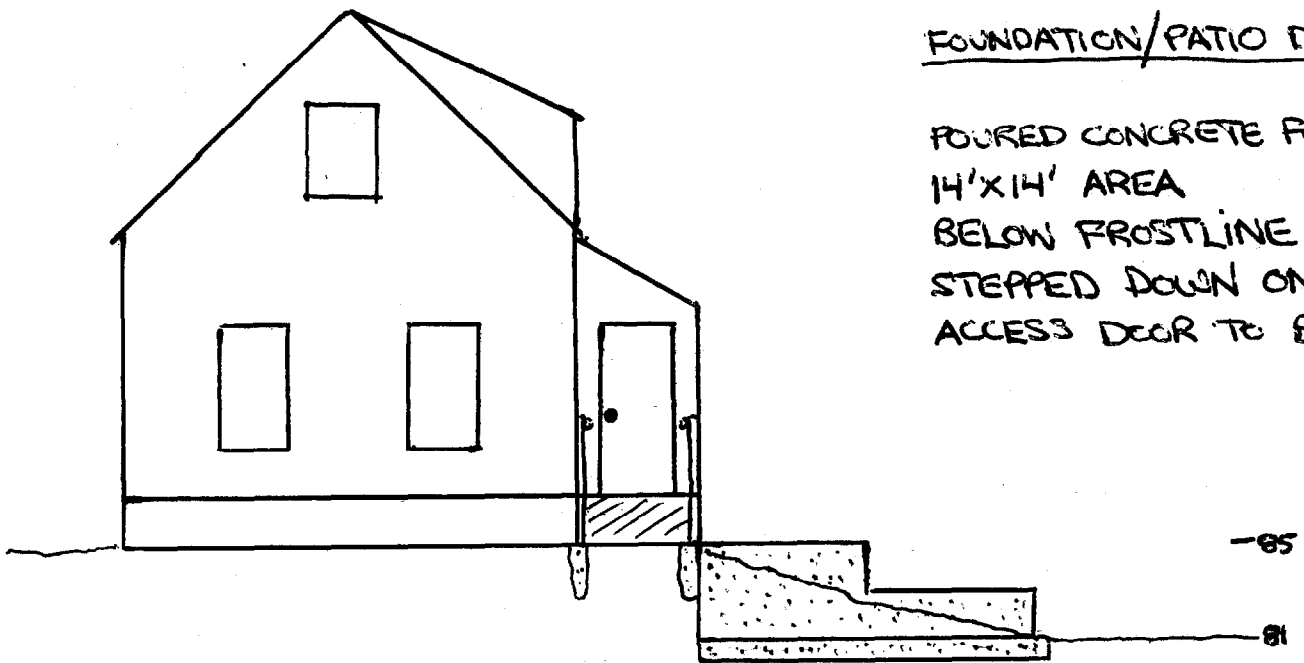
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 300 ALLEN AVENUE, PORTLAND, MAINE**

SCALE

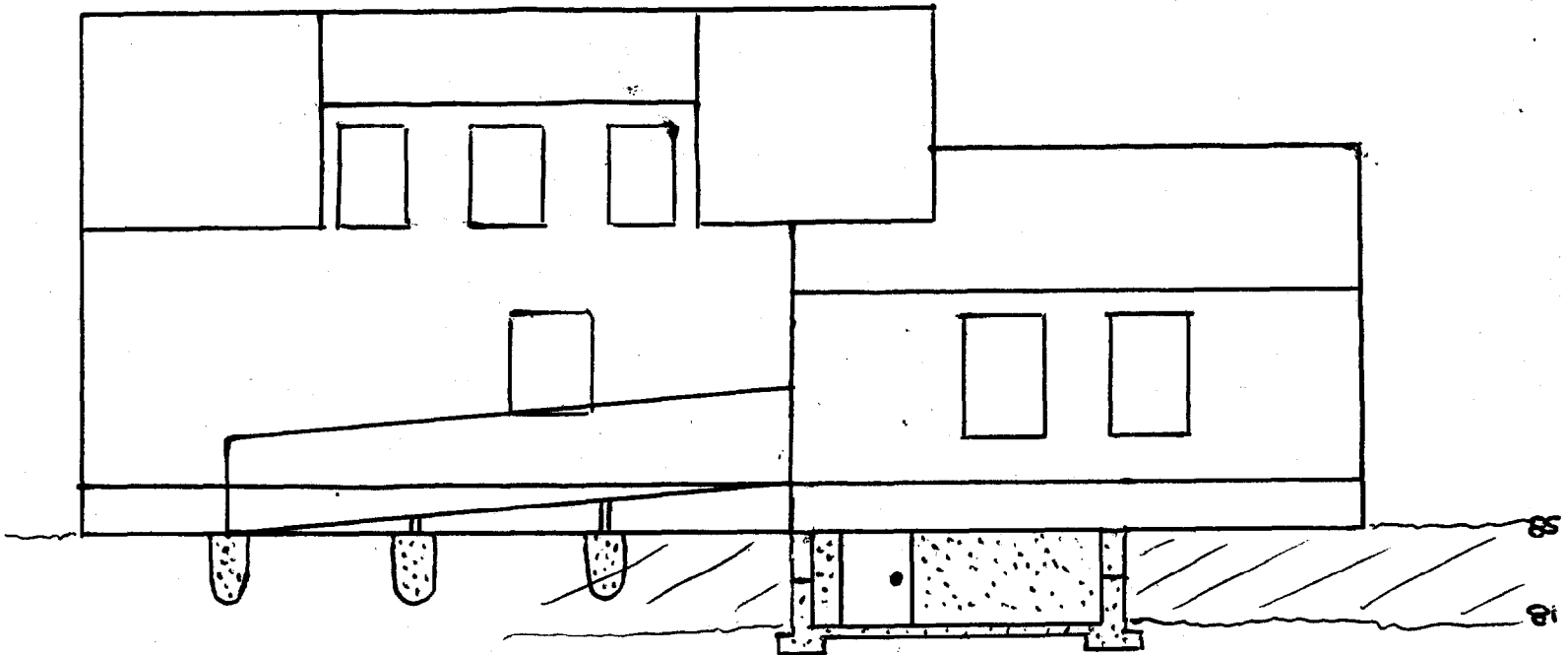
1/8" = 1 foot

FOUNDATION/PATIO DETAILS

POURED CONCRETE FOUNDATION
14'X14' AREA
BELOW FROSTLINE
STEPPED DOWN ON SIDES
ACCESS DOOR TO BASEMENT



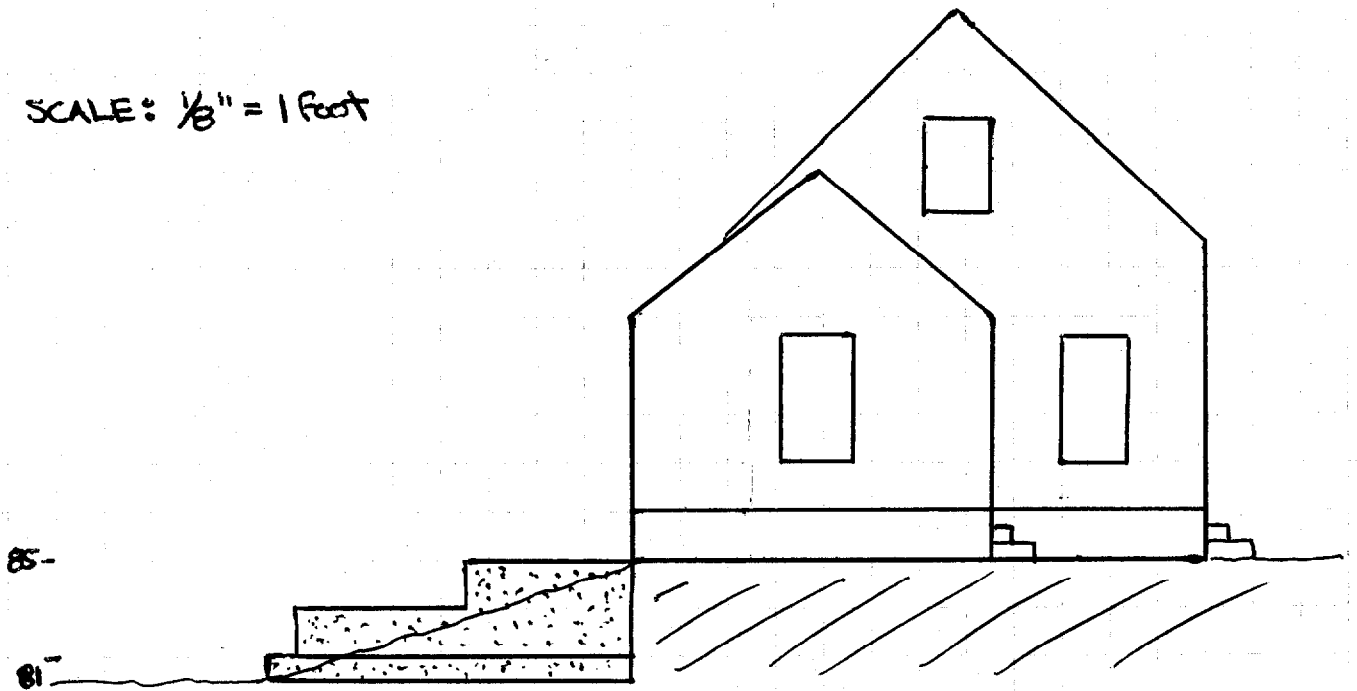
EAST ELEVATION



NORTH ELEVATION

SCALE $\frac{1}{8}'' = 1 \text{ foot}$

SCALE: $\frac{1}{8}'' = 1 \text{ Foot}$



WEST ELEVATION

From: Kandi Talbot
To: Marge Schmuckal; Sarah Hopkins
Date: Thu, May 15, 2003 1:37 PM
Subject: Re: 300 Allen Ave - Heads up

In talking with Penny, it has been determined that because he recieved site plan and subdivision approval for the office and the four unit building in the rear that adding an additional unit would be considered a subdivision/site plan amendment, which will need to go to the Planning Board.

>>> Marge Schmuckal 05/15 9:51 AM >>>
Ok, We will hold up on the permit until that is done.
Thanks,
Marge

>>> Sarah Hopkins 05/15 9:49 AM >>>
He will need an amendment first. Kandi, did he ever record the mylar?

>>> Marge Schmuckal 05/15 9:19 AM >>>
So he can't do the upstairs change in the existing building without a site plan amendment first? I thought it would be ok at this point because the project was approved for four units in total. So this is just one unit at this stage. Please advise before we issue the permit. It is on Lt. Mac's desk for fire code approvals and then goes to Mike N.
Thanks,
Marge

>>> Sarah Hopkins 05/15 9:14 AM >>>
I agree. He really can't do anything different, including the upstairs residential unit, until he comes in for site plan and subdivision revisions.
Bob Adam, too? What strange bedfellows...

>>> Marge Schmuckal 05/14 4:43 PM >>>
Willy Audet will need to come in for a revision to his site plan and subdivision plat. He has come in for a permit for the front historic house and instead of a full professional office building, he has submitted a proposal for a dwelling unit on the 2nd floor with a professional office on the first floor. He still wants to build the four units out back as approved. My addition makes that five dwelling units. So he needs to go back to the Planning Board for the five unit (within five years right?). He has not applied for a building permit for the four units out back yet, so I don't think this triggers any revision or site plan yet. Is that right?

As another fly in the ointment. Yesterday, I spoke with Bob Adam. He is interested in purchasing this property. He has wants five units outback (not four) and all professional offices upfront. So the beat goes on.

Marge

CC: Mike Nugent; Penny Littell

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To: Marge Schmuckal
Date: Thu, May 15, 2003 9:49 AM
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