

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 01-0992	Issue Date:	CBL: 344 E006001
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Location of Construction: 300 Allen Ave	Owner Name: Opm Inc	Owner Address: 52 Bangs Shore Rd	Phone: 207-797-7777 ext 21
Business Name: n/a	Contractor Name: no contractor/self	Contractor Address: n/a n/a	Phone:
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Alterations - Dwellings	Zone: R-5

Past Use: Single Family	Proposed Use: Same: Removing Garage: Demo. Shed, Rear Deck and Ramp Access. New Sills Being Installed	Permit Fee: \$72.00	Cost of Work: \$7,900.00	CEO District: 2
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <input checked="" type="checkbox"/> Type: SB Bocan 99 Signature: DC	

Proposed Project Description: Removing Garage: Demo. Shed, Rear Deck and Ramp Access. New Sills Being Installed	Signature: N/A	Signature: DC
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: N/A Date:		

Permit Taken By: cjh	Date Applied For: 08/14/2001	<b>Zoning Approval</b>
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: <i>OK with conditions 9/20</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>9</i></p>
	<p><i>① to remain in single family dwelling</i></p> <p><i>② Not to increase footprint when replacing sills</i></p>		

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>300 ALLEN AVE</u>
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Total Square Footage of Proposed Structure	Square Footage of Lot <u>35,000 SF</u>
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Tax Assessor's Chart, Block & Lot Chart# <u>344</u> Block# <u>E</u> Lot# <u>6</u>	Owner: <u>O.P.M., INC.</u>	Telephone: <u>.797-7777 x21</u>
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Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>OPM, INC</u> <u>400 ALLEN AVE</u>	Cost Of Work: \$ <u>7900.00</u> Fee: \$ <u>72.00</u>
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Current use: <u>RESIDENTIAL / PROFESSIONAL</u>
If the location is currently vacant, what was prior use: <u>currently only single family use</u>
Approximately how long has it been vacant: _____
Proposed use: <u>RESIDENTIAL / PROFESSIONAL</u>
Project description: <u>SEE ATTACHED DRAWING MARKED, SKETCH 1 DATED 8/14/01</u>

Contractor's name, address & telephone: <u>O.P.M., INC.</u>
Who should we contact when the permit is ready: <u>WILLIE AUDET, JR</u>
Mailing address: <u>400 ALLEN AVE</u> <u>PORTLAND, ME 04103</u>
Phone: <u>797-7777 x21</u>

**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: 	Date: <u>8/14/01</u>
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**This is not a permit, you may not commence ANY work until the permit is issued**

8/14  
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**INSPECTION OF PREMISES**

I HEREBY CERTIFY TO Terry Snow, Esq.  
Union Trust and its Title Insurer

300 Allen Avenue  
Portland, Maine

Job Number: 350-28  
Inspection Date: 02-12-01

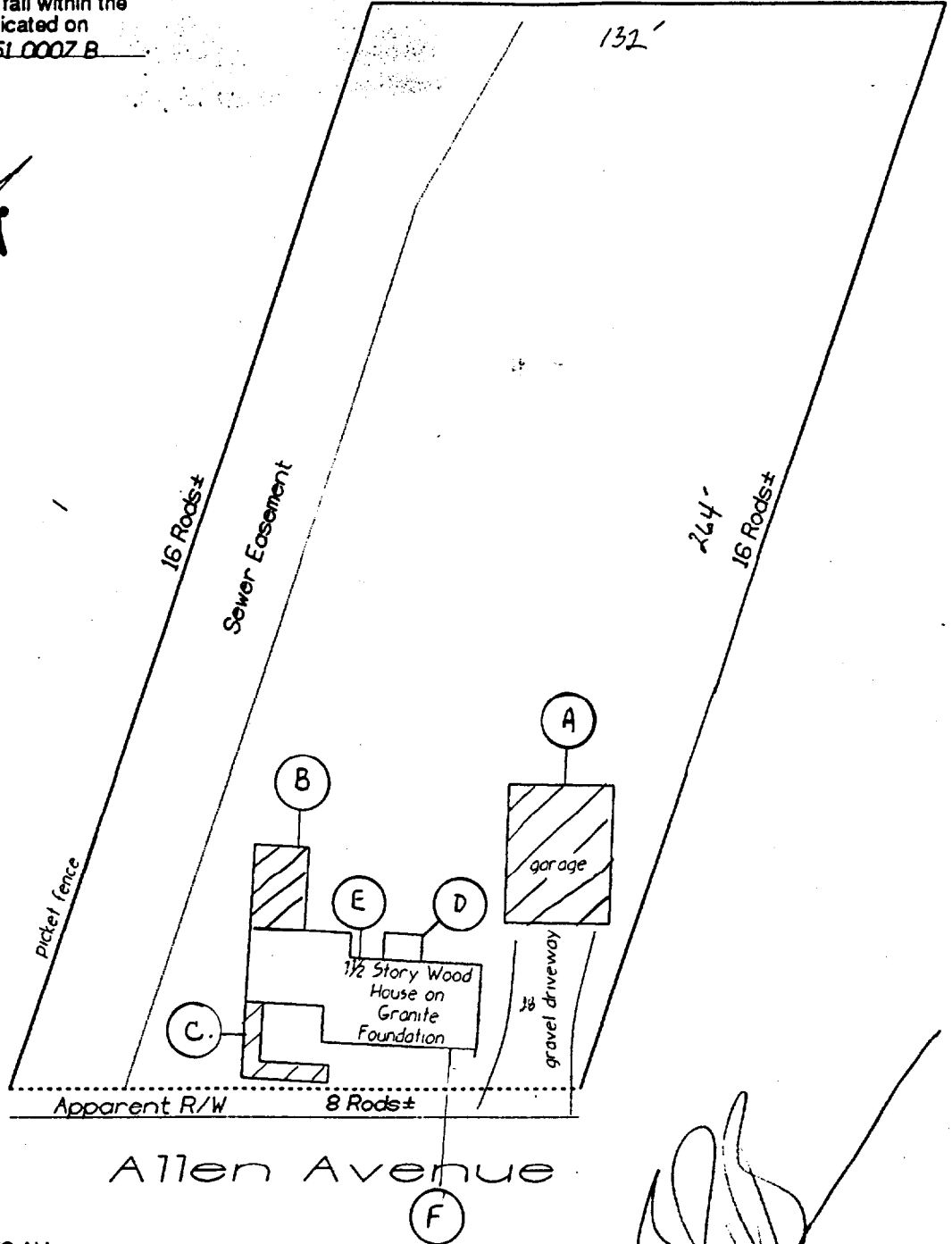
Scale: 1" = 40'

The monumentation is ~~not~~ in harmony with current deed description.  
The building setbacks are ~~not~~ in conformity with town zoning requirements.  
The dwelling does not ~~appear to~~ fall within the special flood hazard zone as delineated by the Federal Emergency Management Agency.  
The land does not ~~appear to~~ fall within the special flood hazard zone as indicated on community-panel # 230051 0007 B

BUYER: OPM Inc.  
SELLER: Estate of Sara J. Cowar  
8 Rods±



1 ROD = 16.5 FT.



THIS PROPERTY IS SUBJECT TO ALL RIGHTS AND EASEMENTS OF RECORD. THOSE THAT ARE EVIDENT ARE SHOWN. THIS PLAN MIGHT NOT REVEAL CONFLICTS WITH ABUTTING DEEDS.

**BRUCE R. BOWMAN, INC.**  
P.O. Box 12 A  
Cumberland, Maine 04021  
Phone: (207) 829-3959  
Fax: (207) 829-3522



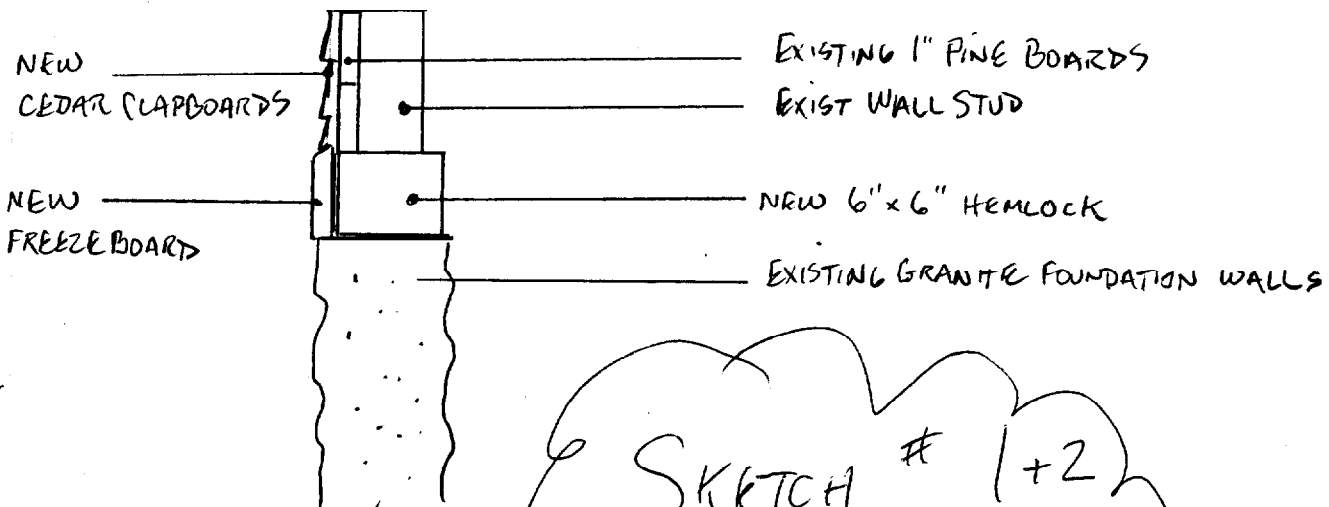
PLAN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_ LOT \_\_\_\_\_  
DEED BOOK \_\_\_\_\_ PAGE \_\_\_\_\_ COUNTY Cumberland

**THIS PLAN IS NOT FOR RECORDING** Drawn by:

SCOPE OF WORK :

- A. MOVE EXISTING GARAGE TO 1100 WASHINGTON AVE.  
(24x32')
- B. REMOVE EXISTING 12' x 19' ATTACHED SHED, CLOSE BUILDING TO WEATHER,
- C. REMOVE EXISTING HANDICAP RAMP
- D. REMOVE EXISTING REAR DECK,
- E. REPLACE EXISTING ROTTED SILLS WITH NEW 6" x 6" HEMLOCK, ENTIRE PARAMETER (APPROX 150')
- F. REPLACE SIDING AND FREEZE BOARDS (OPTIONAL)

TYPICAL SILL SECTION - N.T.S.

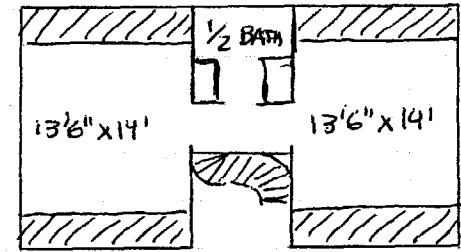


SKETCH # 1+2  
DATED 8/14/01

SKETCH # 2

8/14/01

12  
35 19 16 4



SECOND FLOOR PLAN

300 ALLEN AVENUE FLOOR PLAN

