

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

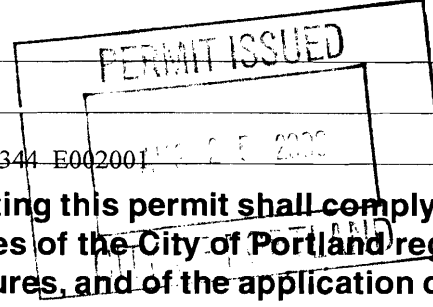
Permit Number: 081062

Please Read
Application And
Notes, If Any,
Attached

This is to certify that MAIETTA MICHELENA S. D WWIL VET

has permission to 8' x 12' Shed

AT 278 ALLEN AVE



provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or service is closed-in. 4 HOUR NOT REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Thomas H. Manley 8/25/08
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716


Permit No: 08-1062	Issue Date:	CBL: 344 E002001
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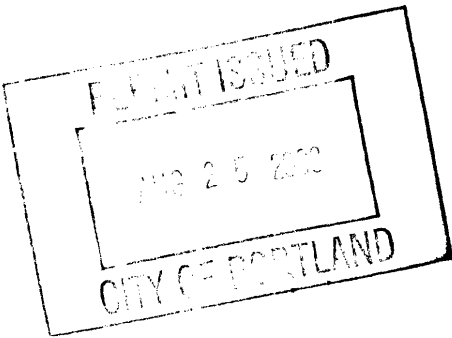
Location of Construction: 278 ALLEN AVE	Owner Name: MAIETTA MICHELENA S WID	Owner Address: 278 ALLEN AVE	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone
Lessee/Buyer's Name	Phone:	Permit Type: Sheds	Zone: R3

Past Use: Single Family hOMe	Proposed Use: Single Family Home - 8' x 12' Shed	Permit Fee: \$30.00	Cost of Work: \$1,000.00	CEO District: 5
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB Irc 2003	

Proposed Project Description: 8' x 12' Shed	Signature:	Signature: <i>Jm 8/25/08</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: Idobson	Date Applied For: 08/25/2008	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>Jm 8/25/08</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input checked="" type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>Jm</i>
			



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1062	Date Applied For: 08/25/2008	CBL: 344 E002001
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Location of Construction: 278 ALLEN AVE	Owner Name: MAIETTA MICHELENA S WID	Owner Address: 278 ALLEN AVE	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Sheds	

Proposed Use: Single Family Home - 8' x 12' Shed	Proposed Project Description: 8' x 12' Shed
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 08/25/2008

Note: **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 08/25/2008

Note: **Ok to Issue:**

- 1) This structure is exempt from meeting the City of Portland Building Code based on size.
- 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.



General Building Permit Application

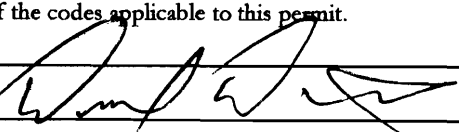
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>278 Allen Ave. Portland ME</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>344</u> Block# <u>E</u> Lot# <u>2</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>Derek Dockett</u> Address <u>278 Allen Ave</u> City, State & Zip <u>Portland, ME 04103</u>	Telephone: <u>207 879 9259</u> <u>(c) 267 415 2388</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>1000</u> C of O Fee: \$ _____ Total Fee: \$ <u>30</u>
Current legal use (i.e. single family) Single Family <u>SHED</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>STORAGE</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>8x12 SHED</u>		
Contractor's name: <u>SELF</u> Address: _____ City, State & Zip _____ Telephone: _____ Who should we contact when the permit is ready: <u>Derek Dockett</u> Telephone: <u>4152388</u> Mailing address: <u>278 Allen Ave Portland ME 04103</u>		

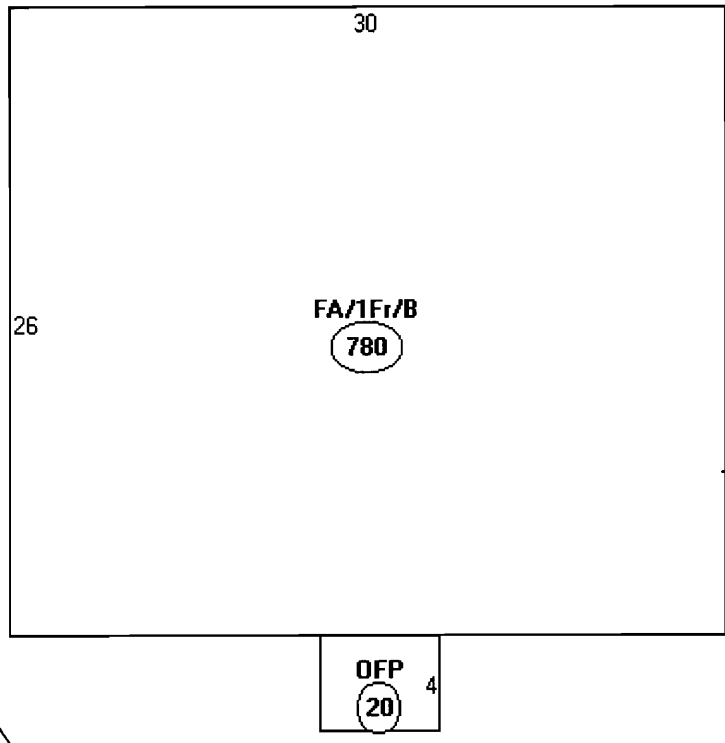
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

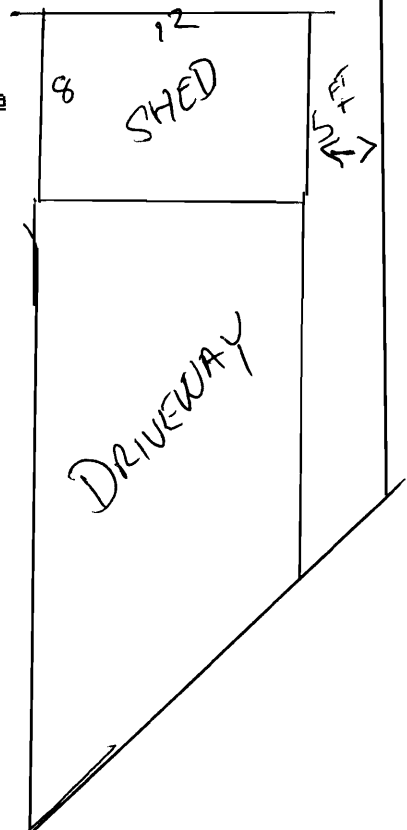
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:  Date: 8/25/8

This is not a permit; you may not commence ANY work until the permit is issue



Descriptor/Area
A: FA/1Fr/B
780 sqft
B: OFP
20 sqft



PROJECT CENTER

Woodworking
Outdoor How-To
Projects & Repairs
Kitchens & Bathrooms
Plant Care

Basic Shed

[Index](#) > [Furnishings](#) > [Outdoor Wood Furnishings](#) >



This 8 x 12-ft. shed features a simple gable roof, double doors, and side and rear windows for natural lighting. With full-height walls and doors, there's ample room for storing large items or creating a comfortable work space. An optional wood ramp helps in moving lawn mowers and other heavy equipment.

The shed's simple construction makes it especially adaptable for different uses. For example, you can easily frame in additional windows—to use the shed as a workshop or potting shed—or omit all of the windows and devote the space entirely to secure storage.

The finish materials for the basic shed also are true to its name: asphalt roof shingles, plywood siding, and simple trim details are appropriately practical for this classic outbuilding design. You can purchase prehung doors or build your own using the project plans.

Materials

Description	Quantity/Size	Material
Foundation		
Drainage material	1.4 cu. yd.	Compactible gravel
Skids	3 @ 12'-0"	4 x 4 treated timbers
Floor Framing		

Rim joists	2 @ 12'-0"	2 × 6 pressure-treated
joists	10 @ 8'-0"	2 × 6 pressure-treated
Floor sheathing	3 sheets, 4 × 8'	3/4" tongue-&-groove ext.-grade plywood
Joist clip angles	20	3" × 3" × 3" × 16-gauge galvanized

Wall Framing

Bottom plates	2 @ 12'-0", 1 @ 8'-0"	2 × 4
Top plates	4 @ 12'-0", 4 @ 8'-0"	2 × 4
Studs	40 @ 92 5/8"	2 × 4
Headers	2 @ 10'-0", 2 @ 6'-0"	2 × 6
Header spacers	1 @ 9'-0", 1 @ 6'-0"	1/2" plywood—5" wide

Gable Wall Framing

Top plates	2 @ 8'-0"	2 × 4
Studs	2 @ 8'-0"	2 × 4

Roof Framing

Rafters	22 @ 6'-0"	2 × 6
Metal anchors—rafters	10, with nails	Simpson H1
Rafter ties	3 @ 8'-0"	2 × 4
Ridge board	1 @ 14'-0"	2 × 8
Lookouts	1 @ 8'-0"	2 × 6
Subfascia	1 @ 8'-0", 2 @ 10'-0"	2 × 6
Soffit nailers	3 @ 8'-0"	2 × 2

Exterior Finishes

Plywood siding	10 sheets @ 4 × 9'	5/8" texture 1-11 plywood siding, grooves 8" o.c.
Z-flashing	2 pieces @ 8 ft.	Galvanized—18 gauge
Wall & corner trim	10 @ 10'-0"	1 × 4 S4S cedar
Fascia	8 @ 8'-0"	1 × 8 S4S cedar
Plywood soffits	2 sheets @ 4 × 8'	3/8" cedar or fir plywood
Soffit vents	4 @ 4 × 12"	Louver with bug screen
Flashing		

(door/window trim)	8 linear ft.	Galvanized—18 gauge
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Roofing

Roof sheathing	6 sheets @ 4 x 8'	1/2" ext.-grade plywood
Asphalt shingles	150 sq. ft.	250# per square (min.)
15# building paper	150 sq. ft.	
Metal drip edge	2 @ 14'-0", 4 @ 6'-0"	Galvanized metal
Roof vents (optional)	2 units	

Door

Frame	2 @ 8'-0", 1 @ 6'-0"	3/4 x 4 1/4" (actual) S4S cedar
Stops	2 @ 8'-0", 1 @ 6'-0"	1 x 2 S4S cedar
Panel material	12 @ 8'-0"	1 x 6 T&G V-joint S4S cedar
Z-brace	4 @ 6'-0"	1 x 6 S4S cedar
Construction adhesive	1 tube	
Exterior trim	2 @ 8'-0", 1 @ 6'-0"	1 x 4 S4S cedar
Interior trim (optional)	2 @ 8'-0", 1 @ 6'-0"	1 x 2 S4S cedar
Strap hinges	6, with screws	Exterior hinges

Windows

Frames	5 @ 6'-0"	3/4 x 4 1/4" (actual) S4S cedar
Mullion	1 @ 3'-0"	2 x 4 S4S cedar
Stops	10 @ 6'-0"	1 x 2 S4S cedar
Glazing tape	30 linear ft.	Glazing tape
Glass	3 pieces—field measure	1/4" clear, tempered
Window muntins (optional)	3 @ 8'-0"	1 x 1 S4S cedar
Exterior trim	5 @ 8'-0"	1 x 4 S4S cedar
Interior trim (optional)	5 @ 8'-0"	1 x 2 S4S cedar

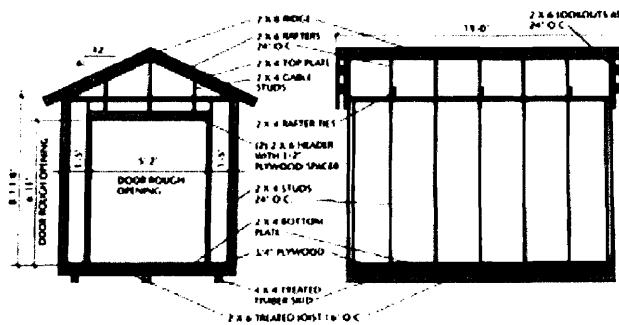
Ramp (Optional)

Pads	2 @ 6'-0"	2 x 8 pressure-treated
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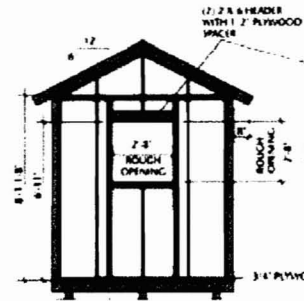
Stringers	1 @ 8'-0"	2 x 8 pressure-treated
Decking	7 @ 6'-0"	2 x 4 pressure-treated
Fasteners		
16d common nails	16 lbs.	
10d common nails	1 lb.	
10d galvanized casing nails	1 lb.	
8d common nails	1/2 lb.	
8d box nails	3 lbs.	
8d galvanized box nails	1 1/2 lbs.	
8d galvanized finish nails	7 lbs.	
3d galvanized box nails	1/4 lb.	
7/8" galvanized roofing nails	2 lbs	
1 1/2" joist hanger nails	80 nails	
1 1/4" wood screws	70 screws	
3 1/2" deck screws	12 screws	
3" deck screws	50 screws	
2 1/2" deck screws	40 screws	
1 1/4" deck screws	30 screws	
Silicone-latex caulk	1 tube	

FRONT FRAMING ELEVATION

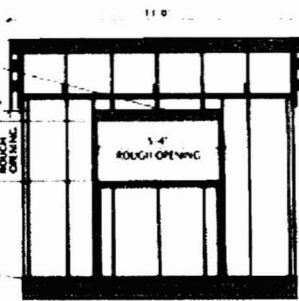
LEFT SIDE FRAMING ELEVATION



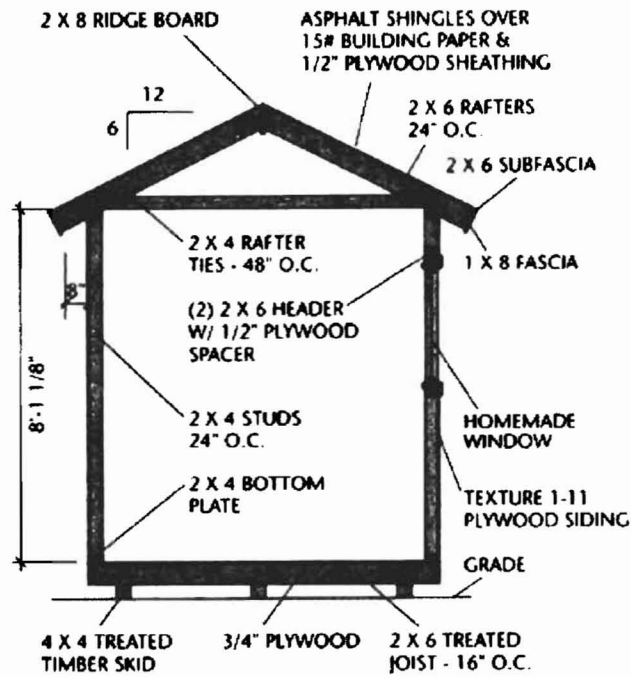
REAR FRAMING ELEVATION



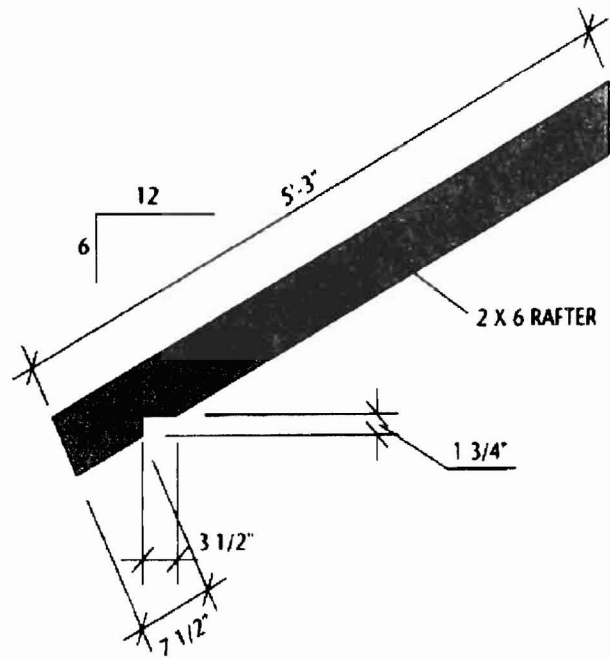
RIGHT SIDE FRAMING ELEVATION



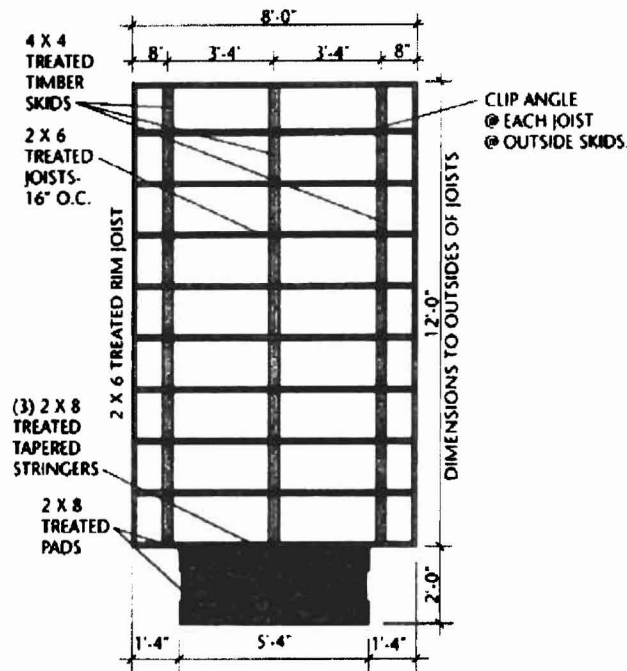
BUILDING SECTION



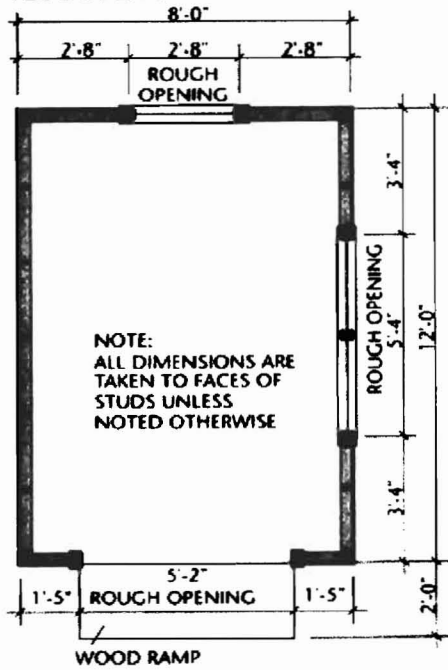
RAFTER TEMPLATE



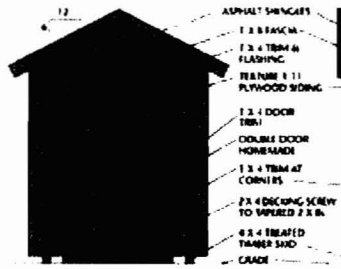
FLOOR FRAMING PLAN



FLOOR PLAN



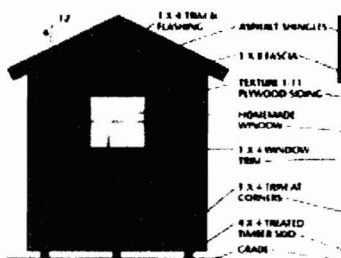
FRONT ELEVATION



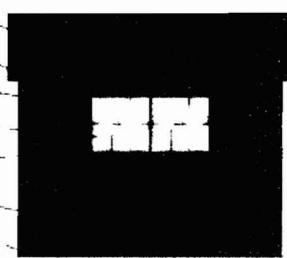
LEFT SIDE ELEVATION



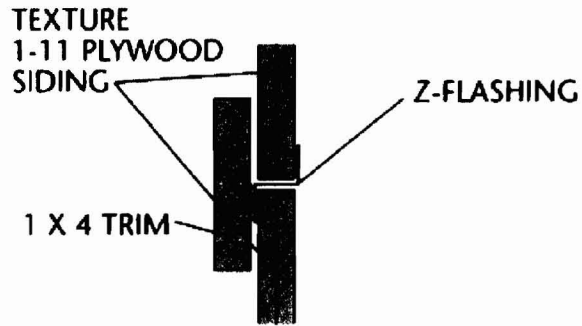
REAR ELEVATION



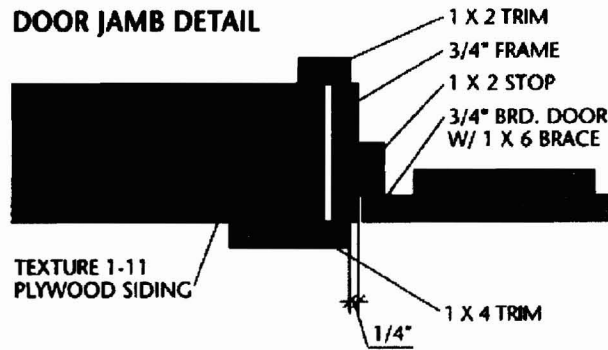
RIGHT SIDE ELEVATION



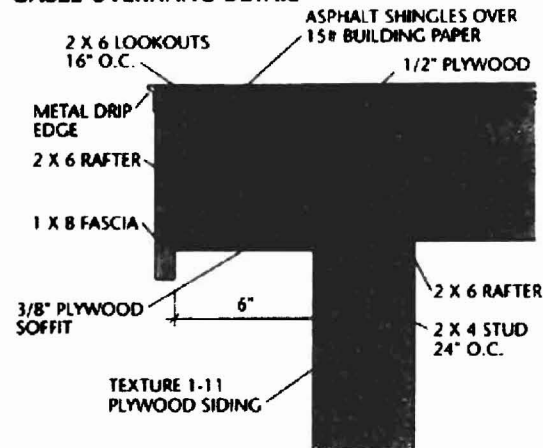
HORIZONTAL TRIM DETAIL



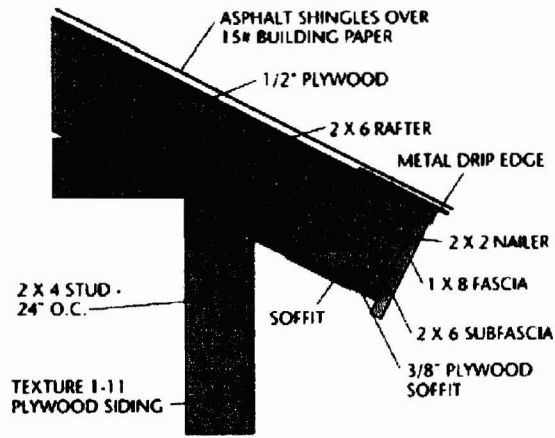
DOOR JAMB DETAIL



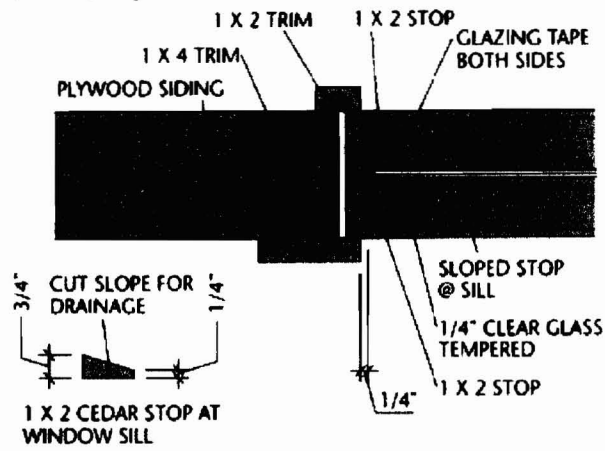
GABLE OVERHANG DETAIL



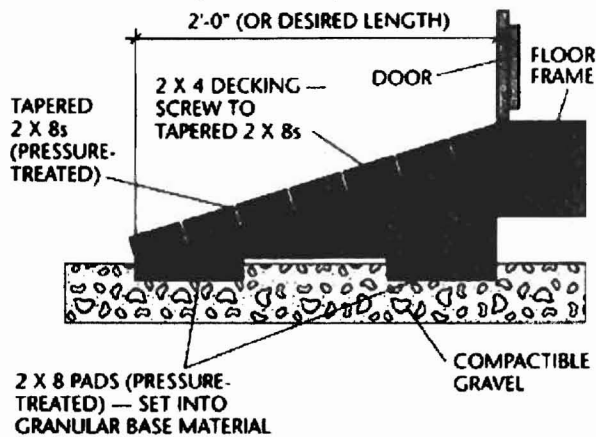
EAVE DETAIL



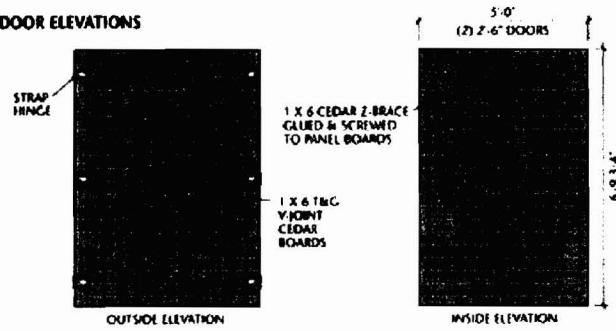
WINDOW JAMB DETAIL



RAMP DETAIL (OPTIONAL)



DOOR ELEVATIONS



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