

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
 Application And
 Notes, If Any,
 Attached

BU **PERMIT** ICTION

Permit Number: 081468

This is to certify that BRICHETTO ANGELA M /R/ Aluminu
 has permission to Single Family Home - attach m room to house and existing garage - add room above existing garage - reduce w
 AT 96 PENNELL AVE CE 344 D023001

provided that the person or persons, firm or corporation accounting for this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other ed-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Shawn H. Nadeau 12/16/08
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1468	Issue Date:	CBL: 344 D023001
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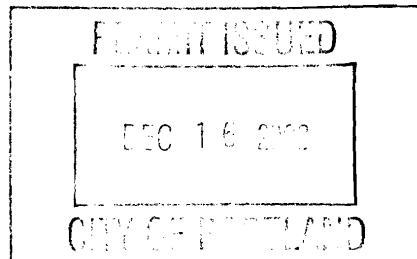
Location of Construction: 96 PENNELL AVE	Owner Name: BRICHETTO ANGELA M	Owner Address: 96 PENNELL AVE	Phone:
Business Name:	Contractor Name: Rich Aluminum Co.	Contractor Address: 315 Park Ave. Portland	Phone: 2077729822
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-3

Past Use: Single Family Home	Proposed Use: Single Family Home - attach mudroom to house and existing garage, add room above existing garage -reduce width of garage to 22'5" to meet 14' side setback	Permit Fee: \$520.00	Cost of Work: \$50,000.00	CEO District: 5
Proposed Project Description: Single Family Home - attach mudroom to house and existing garage - add room above existing garage - reduce width of garage to 22'5" to meet 14' side		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: 5B IRC 2003 Signature: <i>Jm 12/16/08</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: Idobson	Date Applied For: 11/18/2008	Zoning Approval		
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> OK w/ Conditions Date: 12/15/08 <i>Jm</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____ <i>ASU</i>



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

01/26/09 (14' to property line)
okay to pour footing
right side only

01/27/09 OTHER PARTS OKAY
to pour

02/03/09 okay to backfill foundation areas

3/12/09 - checked framing/electrical
plumbing for close-in - all ok.

John

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

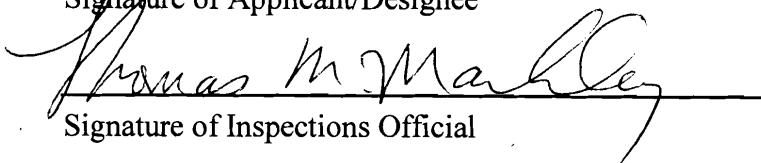
If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



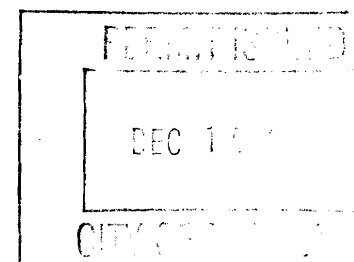
Signature of Applicant/Designee

Date



Signature of Inspections Official

12/16/08
Date





General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>96 Pennell Ave.</u>		
Total Square Footage of Proposed Structure/Area <u>859</u>	Square Footage of Lot <u>10,800</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>344</u> Block# <u>0</u> Lot# <u>23</u>	Applicant * must be owner, Lessee or Buyer * Name <u>Angela Brichetto</u> Address <u>96 Pennell Ave.</u> City, State & Zip <u>Portland ME 04103</u>	Telephone: <u>878-9986</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>30,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>520⁰⁰ / 100</u>
Current legal use (i.e. single family) <u>single family</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>mod swim / game room</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Attach modroom to house and existing garage. Add room about existing garage.</u>		
Contractor's name: <u>Rich Aluminum Company</u> Address: <u>P.O. Box 8659 / #5 Thompsons Point Rd.</u> City, State & Zip <u>Portland, ME 04103</u> Telephone: <u>772-9822</u> Who should we contact when the permit is ready: <u>Mike McLellan</u> Telephone: <u>650-4905</u> Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 11/18/08

This is not a permit; you may not commence ANY work until the permit is issue

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1468	Date Applied For: 11/18/2008	CBL: 344 D023001
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Location of Construction: 96 PENNELL AVE	Owner Name: BRICHETTO ANGELA M	Owner Address: 96 PENNELL AVE	Phone:
Business Name:	Contractor Name: Rich Aluminum Co.	Contractor Address: 315 Park Ave. Portland	Phone: (207) 772-9822
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - attach mudroom to house and existing garage, add room above existing garage -reduce width of garage to 22'5" to meet 14' side setback	Proposed Project Description: Single Family Home - attach mudroom to house and existing garage - add room above existing garage - reduce width of garage to 22'5" to meet 14' side
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 12/15/2008

Note:**Ok to Issue:**

- 1) This permit is being issued with the condition that the deck around the pool must meet the 25' rear setback per permit #03-0483.
- 2) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.
- 3) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 4) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 5) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 12/16/2008

Note:**Ok to Issue:**

- 1) All penetrations between dwelling units and dwelling units and common areas shall be protected with approved firestop materials, and recessed lighting/vent fixtures shall not reduce the (1 hour) required rating.
- 2) Separate permits are required for any electrical, plumbing, HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Comments:

12/15/2008-amachado: Received revised plans. Width of garage is being reduced to meet the 14' side setback.

11/18/2008-amachado: Left voicemail for Mike McCullum. Can't add second story to garage because it does not meet the required 14' side setback. Questioning the location of front & rear property lines, since the front line is only 4' off the street and the existing garage does not meet the 25' rear setback. Finally the pool & deck as drawn on the site plan does not match early descriptions of the pool & deck.

11/19/2008-amachado: Spoke to Mike McCullum. He will provide a new, accurate plot plan. I told him that if the garage meets the rear setback that a half story could be added to it.

Applicant: Angela Bricchetto

Date: 11/18/08

Address: 96 Pennell Ave.

C-B-L: 344-D-23
permit # 08-1468 - revised plans
12/15/08

CHECK-LIST AGAINST ZONING ORDINANCE

Date - house built 1942

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - attaches garage to house - 2 story addition (11.5x 16'4 1/2") } add second floor to garage - taking 2' off garage - now 22'5" x 28'5"

Sevage Disposal -

Lot Street Frontage -

Front Yard - 25' min. - ~~44' to addition~~ 38.5' to porch of addition

Rear Yard - 25' min. - ~~21.75' to garage~~
37.75' to addition 43' to addition

Side Yard - 1 1/2 story - 8' - left side 13' to house

Projections - 2 story 14' - right side ~~10' to garage~~ 14' to garage

Width of Lot -

Height - 35' max - 23' scaled for garage

Lot Area - 6,500 ϕ min - 9,500 ϕ

Lot Coverage Impervious Surface - 35% = 3,325 ϕ

Area per Family - 6,500 ϕ ok.

Off-street Parking -

Loading Bays -

Site Plan -

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - N/A

* the pool deck must meet the 25' setback from rear property line

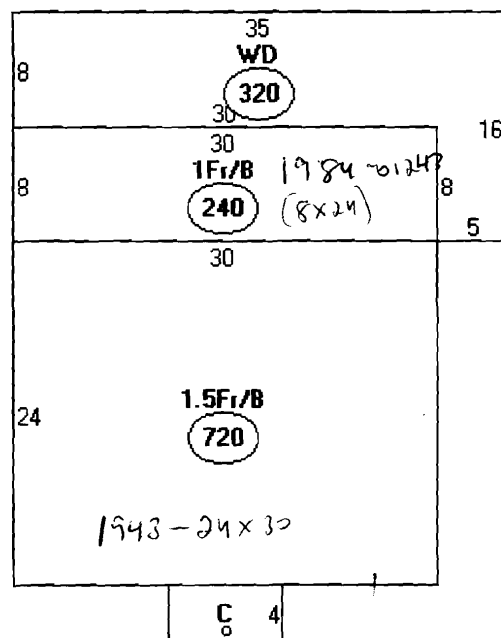
house - 30 x 32 = 960
deck - ~~510.75~~ ^{438.75} / 22.5 x ~~28.35~~ 35.5 = 798.75
(- 18 x 24 = ~~288~~ 360)

garage - ~~25.75~~ ^{22.42} x 28.42 = ~~731.82~~ ^{510.75}
~~637.18~~

~~2202.52~~
2035.93

proposed - 11.5 x 16.38 = 188.37

~~2390.94~~
2224.3 ok.



Descriptor/Area

A: 1.5Fr/B
720 sqft
B: 1Fr/B
240 sqft
C: OFP
32 sqft
D: WD
320 sqft

1992
foundation detached garage 24x28

Oct. 1988 new second floor add. for
630sq

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	344 D023001
Location	96 PENNELL AVE
Land Use	SINGLE FAMILY
Owner Address	BRICHETTO ANGELA M 96 PENNELL AVE PORTLAND ME 04103
Book/Page	22677/074
Legal	344-D-23-24 PENNELL AVE 96-102 9500 SF

Current Assessed Valuation

Land	Building	Total
\$70,600	\$130,200	\$200,800

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1942	Cape	1.5	1500	0.218	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
4	1		6	None	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
SHED-METAL	1	1980	9X9	D	A
GARAGE-WD/CB	1	1993	24X28	C	A

Sales Information

Date	Type	Price	Book/Page
05/24/2001	LAND + BLDING	\$149,000	16335-028
11/09/1998	LAND + BLDING	\$114,800	14287-073

Picture and Sketch

[Picture](#) [Sketch](#) [Tax Map](#)

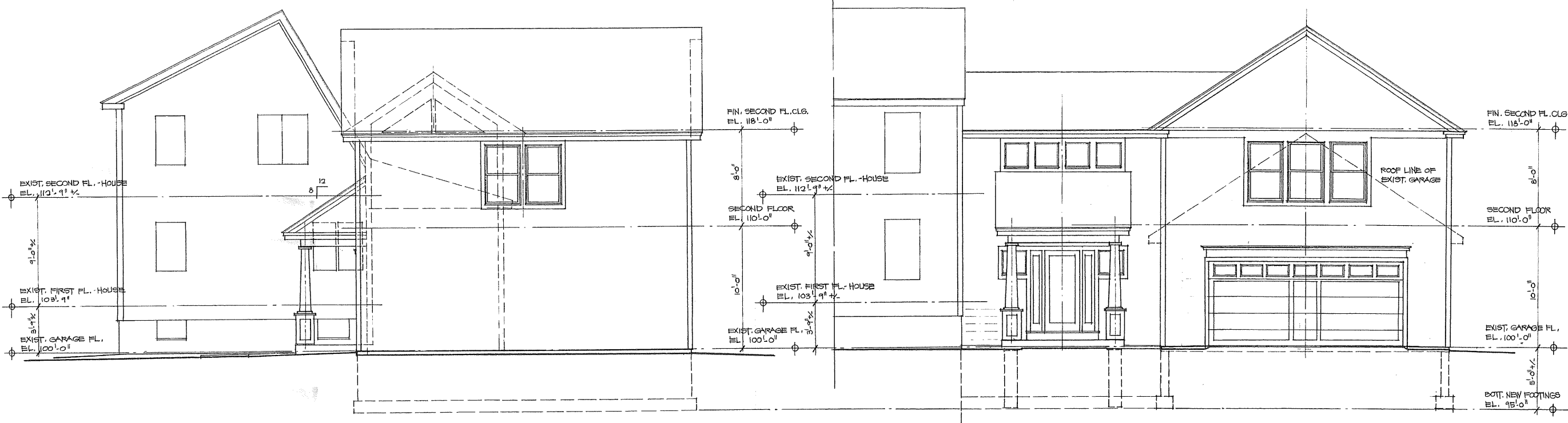
[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

New Search!

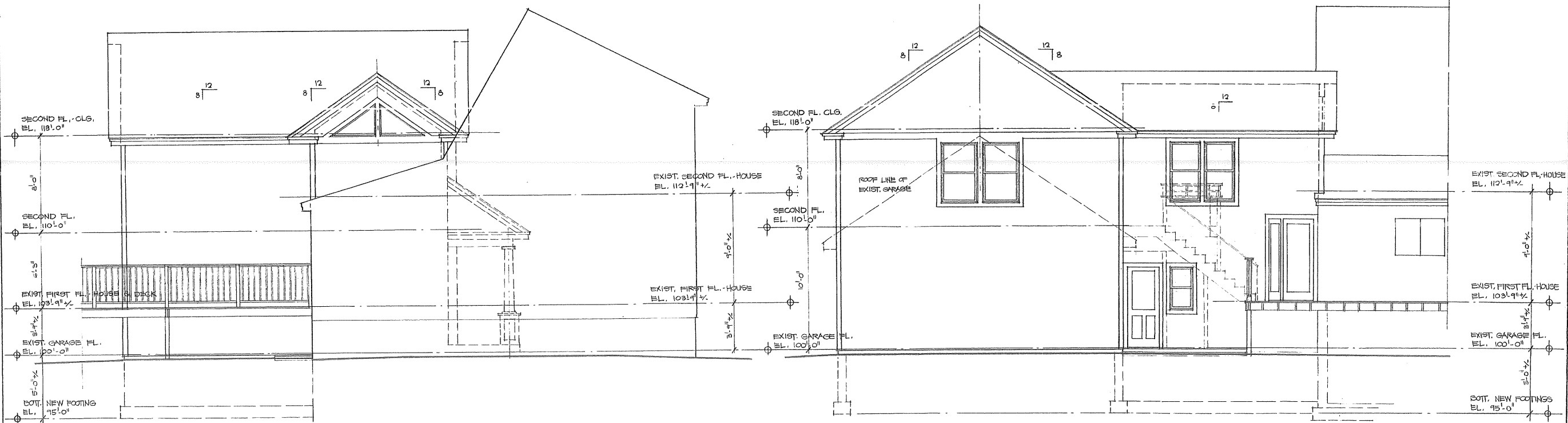


ISSUE DATE ;
 NOV. 14, 2008
 REVISED / RE- ISSUED
 DEC. 11, 2008



1.2 RIGHT SIDE ELEVATION • SCALE: 1/4"=1'-0"

2.2 FRONT ELEVATION • SCALE: 1/4"=1'-0"

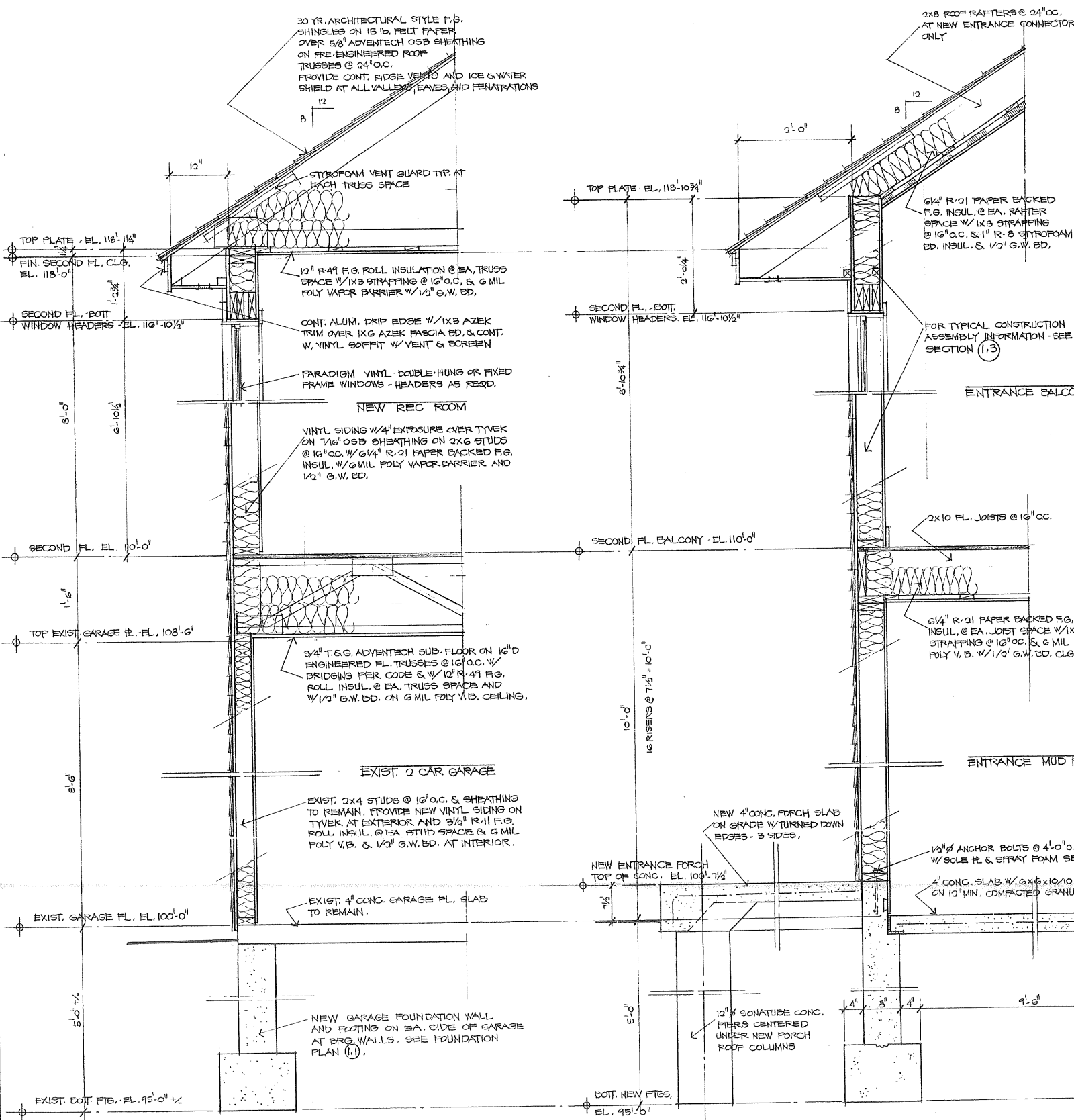


3.2 LEFT SIDE ELEVATION • SCALE: 1/4"=1'-0"

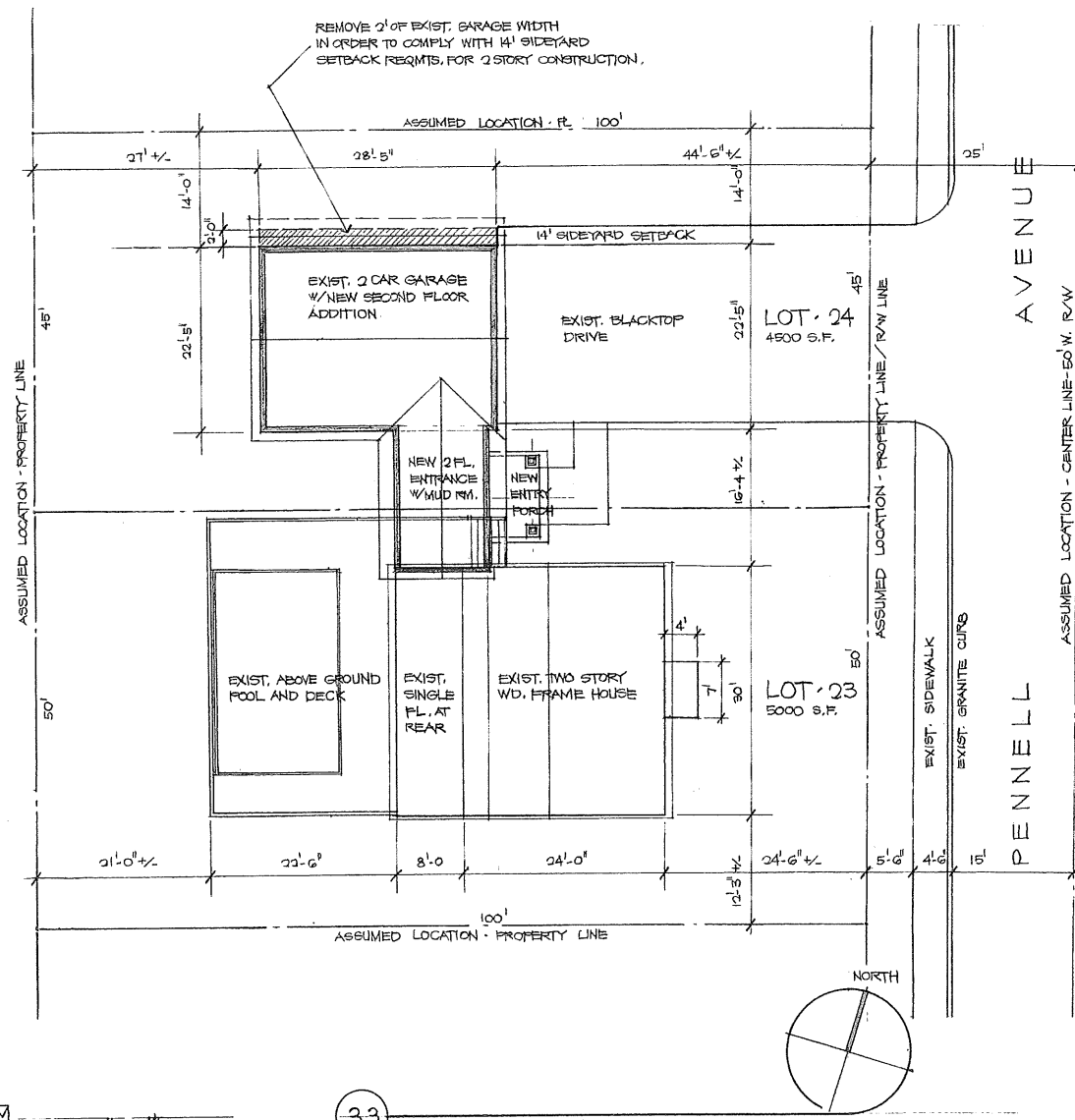
4.2 REAR ELEVATION • SCALE: 1/4"=1'-0"

EXISTING HOUSE - RENOVATION ADDITION • RICE ALUMINUM AND RESTORATION CO., I-CONTRACTOR
 ANGELA BRICHETTO & DAN BOOMHOUR, RESIDENCE
 110 PENNELL AVENUE • PORTLAND, MAINE 04103 • (207) 850-3600 (ANGELA) • (207) 993-5804 (DAN)
 MERVYN C. KELLER, DESIGNER • 274 PINE STREET, SOUTH PORTLAND, MAINE 04106 • (207) 767-5060

DATE: NOV. 14, 2008
 PROJ. NO.:
 DRWG. NO.:
 2
 OF 3 DRAWINGS



1.3 TYPICAL SECTION @ GARAGE/REC ROOM • SCALE: 1"=1'-0"



3.3 SITE PLAN • SCALE: 1"=10'

2.3 SECTION @ NEW ENTRANCE CONNECTOR • SCALE: 1"=1'-0"

EXISTING HOUSE • RENOVATION / ADDITION • RICE, ALUMINUM AND RESTORATION CO., CONTRACTOR
ANGELA BRICCHETTO & DAN BOOMHOUR, RESIDENCE
 26 PENNELL AVENUE • PORTLAND, MAINE 04103 • (707) 850-5000 (ANGELA) • (707) 899-5404 (DAN)
 MERVYN C. KELLER, DESIGNER • 224 PINE STREET, SOUTH PORTLAND, MAINE 04106 • (707) 767-9560

DATE: 11/17/08
 PROJ. NO.: 08-0103
 DRAW. NO.:
3
 OF 3 DRAWINGS