

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION PERMIT

Permit Number: 030939

Please Read Application And Notes, If Any, Attached

This is to certify that Hunter Karen M/Hamlin Home Improvements
has permission to add 8' x 27' rear addition
AT 88 Pennell Ave 344 D021001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

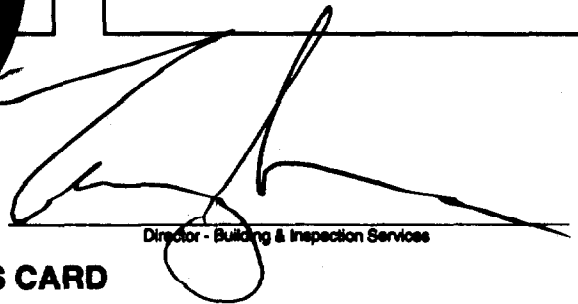
Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is leased or otherwise closed-in.
48 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name


Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0939	Issue Date:	CBL: 344 D021001
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Location of Construction: 88 Pennell Ave	Owner Name: Hunter Karen M	Owner Address: 88 Pennell Ave	Phone: 207-878-2417
Business Name:	Contractor Name: Hamlin Home Improvements	Contractor Address: 33 Sebago Lake Road Gorham	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-3

Past Use: single family	Proposed Use: single family - add 8' x 27' rear addition	Permit Fee:	Cost of Work: \$0.00	CEO District: 2
		FIRE DEPT. <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: SB BOCA 99	

Proposed Project Description: add 8' x 27' rear addition	Signature:	Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: tmm	Date Applied For: 08/05/2003	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 8/13/03	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 8/13/03
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>88 Pennell Ave. Portland</u>		
Total Square Footage of Proposed Structure <u>248 sq. ft.</u>	Square Footage of Lot <u>50 x 100 5000 sq. ft.</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>344</u> Block# <u>D</u> Lot# <u>021</u>	Owner: <u>Karew W. Hunter</u>	Telephone: <u>878-2417</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>Karew Hunter</u> <u>88 Pennell Ave.</u> <u>Portland, ME.</u>	Cost Of Work: <u>\$18,000-20,000</u> Fee: <u>\$19,000</u>
Current use: <u>Private Residence</u> <u>S/F</u> <u>#192</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>Expansion of kitchen, bathroom & bedroom</u>		
Project description: _____		
Contractor's name, address & telephone:		<u>207-892-5218</u>
Who should we contact when the permit is ready:		<u>Joel Hamlin</u>
Mailing address:		<u>333 Sebago Lake Rd.</u> <u>Gorham Me. 04038</u>
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>892-5218</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Karew W. Hunter</u>	Date: <u>8/1/03</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the
Planning Department on the 4th floor of City Hall**

GENERAL NOTES

- Continuous lateral support at the top of the beam is assumed.
- Minimum 3 inch end bearing or see BC Calc software requirements.
- Bearing length specifications assume bearing across the full width of the beam.
- Uniform loading is assumed for all tables.
- Multiple member beams require proper connection schedules.
- Dry service conditions are assumed.
- It may be possible to exceed the limitations of this table by analyzing a specific application with the BC Calc software.

Roof Notes (see pages 8, 9 & 10)

- Always use roof live and dead loads that meet or exceed the required design loading.
- No roof load reductions have been taken.
- Table assumes 2'-0" roof overhang.

Ridge Beam (see page 9)

- Deflection is limited to L/240 live load and L/180 total load.
- Table based upon either simple or continuous beam span conditions.

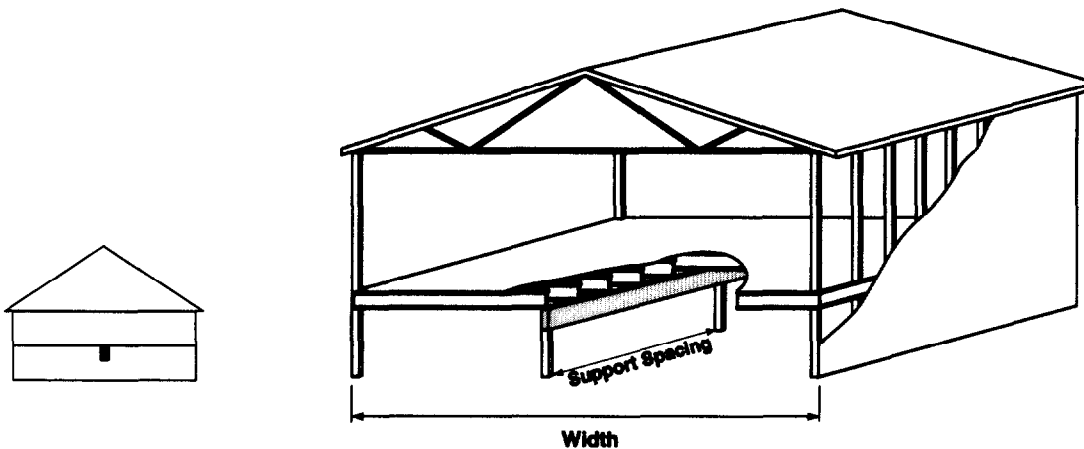
Floor Notes (see pages 6, 7, 10)

- Floor loads are 40 psf live load and 10 psf dead load.
- Deflection is limited to L/360 live load and L/240 total load.
- Table based upon either simple or continuous floor joist spans.
- Tables assume a wall weight of 100 pcf (pages 7,10).
- Interior floor support may vary a maximum of 4 feet from centerline (page 10).

Header (Roof) (see page 8)

- Deflection is limited to L/240 live load and L/180 total load.

One Floor Beam Span Tables



Required Beam Depths and Bearing Lengths [in]

3060 Fb DF - 3100 Fb SP

Load Duration %	Floor Load [psf]		Beam Support Spacing [Feet]	Width of Building Segment [feet]																	
	Live	Dead		20	24	26	28	30	32	36	40										
100	40	10	8'	3.5 x 7.25	1.5/3	3.5 x 7.25	1.5/3	3.5 x 9.5	1.5/3	3.5 x 9.5	1.5/3	3.5 x 9.5	1.5/4.5	3.5 x 9.5	1.5/4.5	3.5 x 9.5	3/4.5	3.5 x 9.5	3/4.5		
				5.25 x 7.25	1.5/1.5	5.25 x 7.25	1.5/3	5.25 x 7.25	1.5/3	5.25 x 7.25	1.5/3	5.25 x 7.25	1.5/3	5.25 x 7.25	1.5/3	5.25 x 7.25	1.5/3	5.25 x 7.25	1.5/3	5.25 x 9.5	1.5/3
			10'	3.5 x 9.5	1.5/3	3.5 x 9.5	1.5/4.5	3.5 x 9.5	1.5/4.5	3.5 x 9.5	1.5/4.5	3.5 x 11.875	3/4.5	3.5 x 11.875	3/4.5	3.5 x 11.875	3/6	3.5 x 11.875	3/6	3.5 x 11.875	3/6
				5.25 x 9.5	1.5/3	5.25 x 9.5	1.5/3	5.25 x 9.5	1.5/3	5.25 x 9.5	1.5/3	5.25 x 9.5	1.5/3	5.25 x 9.5	1.5/3	5.25 x 9.5	1.5/4.5	5.25 x 9.5	1.5/4.5	5.25 x 9.5	1.5/4.5
			12'	3.5 x 11.875	1.5/4.5	3.5 x 11.875	3/4.5	3.5 x 11.875	3/4.5	3.5 x 11.875	3/4.5	3.5 x 11.875	3/6	3.5 x 11.875	3/6	3.5 x 11.875	3/6	3.5 x 14	3/6	3.5 x 14	3/7.5
				5.25 x 9.5	1.5/3	5.25 x 9.5	1.5/3	5.25 x 11.875	1.5/3	5.25 x 11.875	1.5/3	5.25 x 11.875	1.5/3	5.25 x 11.875	1.5/4.5	5.25 x 11.875	1.5/4.5	5.25 x 11.875	3/4.5	5.25 x 11.875	3/4.5
			14'	3.5 x 11.875	1.5/4.5	3.5 x 14	3/4.5	3.5 x 14	3/6	3.5 x 14	3/6	3.5 x 14	3/6	3.5 x 14	3/6	3.5 x 14	3/6	3.5 x 14	3/7.5	3.5 x 16	3/7.5
				5.25 x 11.875	1.5/3	5.25 x 11.875	1.5/3	5.25 x 11.875	1.5/4.5	5.25 x 11.875	1.5/4.5	5.25 x 11.875	1.5/4.5	5.25 x 14	3/4.5	5.25 x 14	3/4.5	5.25 x 14	3/4.5	5.25 x 14	3/6
			16'	3.5 x 14	3/4.5	3.5 x 16	3/6	3.5 x 16	3/6	3.5 x 16	3/6	3.5 x 16	3/7.5	3.5 x 16	3/7.5	3.5 x 16	3/7.5	3.5 x 18	4.5/9	3.5 x 18	4.5/9
				5.25 x 11.875	1.5/3	5.25 x 14	1.5/4.5	5.25 x 14	1.5/4.5	5.25 x 14	1.5/4.5	5.25 x 14	3/4.5	5.25 x 14	3/4.5	5.25 x 16	3/6	5.25 x 16	3/6	5.25 x 16	3/6
			18'	3.5 x 16	3/6	3.5 x 16	3/6	3.5 x 16	3/7.5	3.5 x 16	3/7.5	3.5 x 16	3/7.5	3.5 x 16	3/7.5	3.5 x 16	4.5/9	5.25 x 16	3/6	5.25 x 16	3/7.5
				5.25 x 14	1.5/4.5	5.25 x 14	3/4.5	5.25 x 16	3/4.5	5.25 x 16	3/4.5	5.25 x 16	3/6	5.25 x 16	3/6	5.25 x 16	3/6	7 x 16	3/4.5	7 x 16	3/6
			20'	3.5 x 16	3/6	3.5 x 16	3/7.5	5.25 x 16	3/6	5.25 x 16	3/6	5.25 x 16	3/6	5.25 x 16	3/6	5.25 x 16	3/6	5.25 x 16	3/7.5	-	-
				5.25 x 16	1.5/4.5	5.25 x 16	3/4.5	7 x 16	1.5/4.5	7 x 16	1.5/4.5	7 x 16	3/4.5	7 x 16	3/4.5	7 x 16	3/4.5	7 x 16	3/6	7 x 16	3/6



Lavalley Lumber

LAVALLEY LUMBER COMPANY, LLC
NEW DAM ROAD • PO BOX 8 • SANFORD, ME 04073 • TELEPHONE 207-324-3350
PLEASANT ST • PO BOX 5 • SPRINGVALE, ME 04083 • TELEPHONE 207 324-3350
U.S. ROUTE 1 • PO BOX 475 • MOODY, ME 04054 • TELEPHONE 207 848-4935

DATE: 8-6-03

TO: ~~REDACTED~~ Tammy Munson

ATTENTION:

PHONE:
FAX: 874-8716

FROM: LAVALLEY LUMBER CO., LLC.
NEW DAM ROAD
SANFORD, ME 04073

*Karen Hunter Jos
88 Pennel ave
Portland
Contractor - Joel Hamlin*

CONTACT:

PHONE: (207)-324-3350
FAX: (207)-324-1339

PAGES: INCLUDING THIS COVER PAGE: 4

*Pg 1 = 8' span = LVC
Pg 2 = 13' span = Steel
Pg 3 = 13' " = LVC*

Date: 8/08/03 BeamChk 2.2

Choice 8-1/4x 9-1/2 3.0E BC Vores-Lam® DF

Conditions

Min Bearing Area R1=7.2 in R2=7.2 in DL Def 0.04 in

Data

Beam Span	8.0 ft	Reaction 1	6511 #	Reaction 1 LL	5300 #
Beam Wt per ft	12.81 #	Reaction 2	6511 #	Reaction 2 LL	5300 #
Beam Weight	103 #	Maximum V	6511 #		
Max Moment	13023 #	Max V (Reduced)	5223 #		
TL Max Def	L / 240	TL Actual Def	L / 481		
LL Max Def	L / 320	LL Actual Def	L / 681		

Attributes

Section (in)	Shear (in)	TL Defl (in)	LL Defl	
Actual	78.87	48.88	0.20	0.16
Critical	46.44	27.49	0.40	0.27
Status	OK	OK	OK	OK
Ratio	63%	55%	90%	61%

Values

	Fb (psi)	Fv (psi)	E (psi x mil)	Fc.L (psi)
Base Value	3000	295	2.0	900
Base Adjusted	3181	285	2.0	900

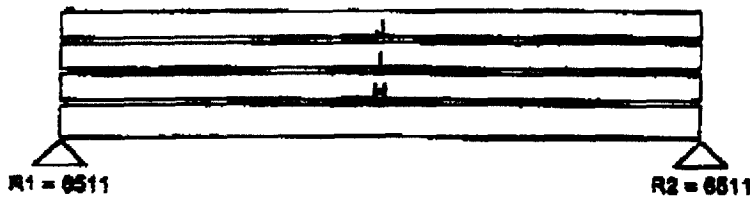
Adjustment

CP Size Factor	1.026			
Cd Duration	1.00	1.00		
Cr Repetitive				
Ch Shear Stress				
Cm Wet Use				

BeamChk has automatically added the beam self-weight into the calculations.

Loads

	Per Unit L	Per Unit TL	Start	End
	800	H = 625	0	8.0
	825	I = 780	0	8.0
	200	J = 240	0	8.0



SPAN = 8 FT

Uniform and partial uniform loads are lbs per linear ft.

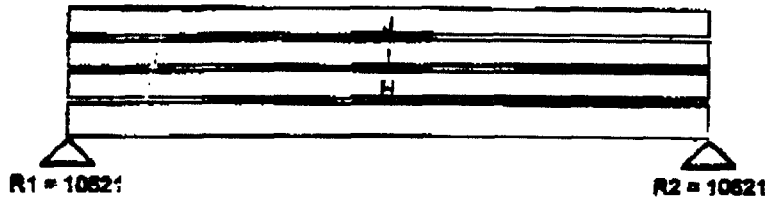
Date: 8/08/03 BeamChk 2.2

Choice	W 12x 19 A36 Wide Flange Steel		Lateral Support at: Lc = 4.2 ft max.			
Conditions	Actual Size is 4 x 12-1/8 in., Min Bearing Length R1= 0.8 in. R2= 0.8 in. DL Defl 0.05 in. Suggested Camber 0.09 in					
Data	Beam Span	13.0 ft	Reaction 1	10821 #	Reaction 1 LL	8813 #
	Beam Wt per ft	19.0 #	Reaction 2	10821 #	Reaction 2 LL	8813 #
	Beam Weight	247 #	Maximum V	10821 #		
	Max Moment	34518 #	Max V (Reduced)	N/A		
	TL Max Defl	L / 240	TL Actual Defl	L / 881		
	LL Max Defl	L / 390	LL Actual Defl	L / 692		
Attributes	Section (in)	Shear (in)	TL Defl (in)	LL Defl		
Actual	21.30	2.86	0.28	0.23		
Critical	17.43	0.74	0.85	0.43		
Status	OK	OK	OK	OK		
Ratio	82%	26%	43%	62%		
Values		Fb (psi)	Fv (psi)	E (psi x 10 ⁶)		
	Base Value Fy	36000	36000	29.0		
	Base Adjusted	23750	14400	29.0		
Adjustments	YP Factor, Lc	0.88	0.40			

BeamChk has automatically added the beam self-weight into the calculations.

Loads

	Per Lin FLL	Per Lin FTI	Start	End
	500	H = 625	0	13.0
	625	I = 780	0	13.0
	200	J = 240	0	13.0



SPAN = 13 FT

Uniform and partial uniform loads are lbs per linear ft.

*8/13/03 -
Not using
Steel
Per Joel
Hamilton*

Date: 8/06/03 BeamChk 2.2

Choice
Conditions

7x 14 2.0E BC Versa-Lam® DF

Date

Min Bearing Area R1= 11.8 in R2= 11.8 in DL Def 0.08 in

Beam Span	13.0 ft	Reaction 1	10881 #	Reaction 1 LL	8813 #
Beam Wt per ft	25.18 #	Reaction 2	10881 #	Reaction 2 LL	8813 #
Beam Weight	327 #	Maximum V	10881 #		
Max Moment	34549 #	Max V (Reduced)	8748 #		
TL Max Def	L / 240	TL Actual Def	L / 475		
LL Max Def	L / 360	LL Actual Def	L / 687		

Attributes

Section (in)	Shear (in)	TL Def (in)	LL Def
Actual	228.67	88.00	0.33
Critical	137.38	46.04	0.66
Status	OK	OK	OK
Ratio	60%	47%	61%

Values

	Fh (psi)	Fv (psi)	E (psi x 10 ⁶)	Fc I (psi)
Base Values	3080	285	2.0	900
Base Adjusted	3028	285	2.0	900

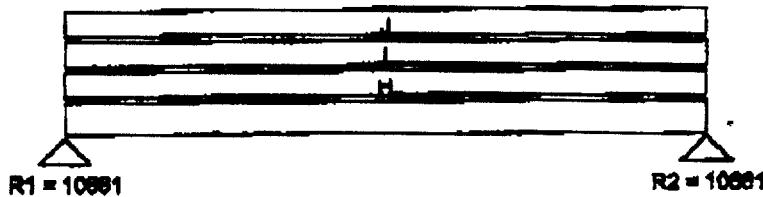
Adjustments

CF Size Factor	0.883			
Cd Duration	1.00	1.00		
Cr Repetitive				
Ch Shear Stress				
Cm Wet Use				

BeamChk has automatically added the beam self-weight into the calculations.

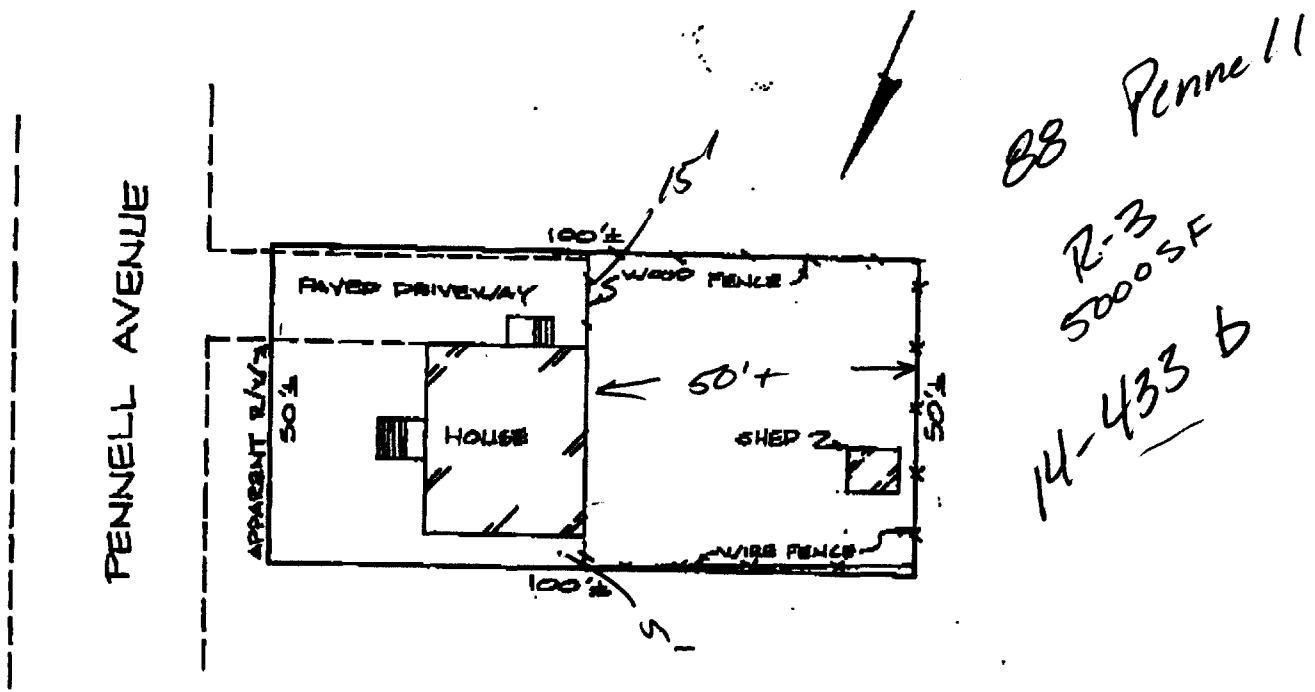
Loads

	Per Unit LL	Per Unit TL	Start	End
	500	H = 625	0	13.0
	625	I = 750	0	13.0
	200	J = 240	0	13.0



SPAN = 13 FT

Uniform and partial uniform loads are lbs per lineal ft.



MORTGAGE LOAN INSPECTION PLAN

The dwelling does conform to local zoning building setbacks at the time of construction.

The dwelling is not in a special flood zone as defined by flood insurance rate map 230051-0007 dated 7-15-1992.

THIS IS NOT A STANDARD BOUNDARY SURVEY. Information shown on this plan is for mortgage purposes only. Property lines shown on this plan are based on current lines of occupation, current deed information (referenced below), and tax map information. A **STANDARD BOUNDARY SURVEY IS SUGGESTED TO CONFIRM ALL BOUNDARY LINES SHOWN ON THIS PLAN.** This plan may not be recorded or used for any land divisions. The property shown on this plan may be subject to easements, covenants, and restrictions of record which may not be shown on this plan.

This inspection conforms to the standards of the Maine Board of Licensure for Professional Land Surveyors, standards of practice for a Mortgage Loan Inspection.

PROPERTY INFORMATION

Street: 88 PENNELL AVENUE Town: PORTLAND County: CUMBERLAND , Maine

Owner: ROBERT & MAJORIE DRISCOLL

Buyer: KAREN HUNTER

Deed Reference: book 3163 page 417

Plan Reference: book page lot

Tax Map # 344 Lot 21 Block D

Lending Institution: PEOPLES HERITAGE BANK

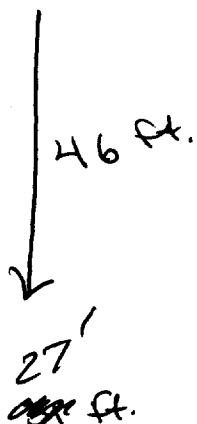
Scale: 1 inch = 30 feet Date: APRIL 21, 1998

Atlantic Title Company
76 Atlantic Place
South Portland, Maine 04106
Telephone (207) 774-4400

William G. Austin
WILLIAM G. AUSTIN
STATE OF MAINE
PROFESSIONAL LAND SURVEYOR # 2174

Woods 50 ft.

7x9 shed



8 ft.

Proposed Structure

Removed for 8' setback
6 ft. 2 in

14'

24 ft.

House

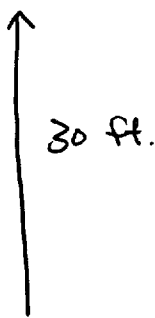
24 ft.

160 ft.

100 ft.

47x14 Driveway

30 ft.



50 ft.

Street

Remove
3' 50 meeting
9' side setback

30x50 egress
30x50

2x10 Headers -
built up
Typical

existing
House

NO new
doors on
addition -
NO new stairs

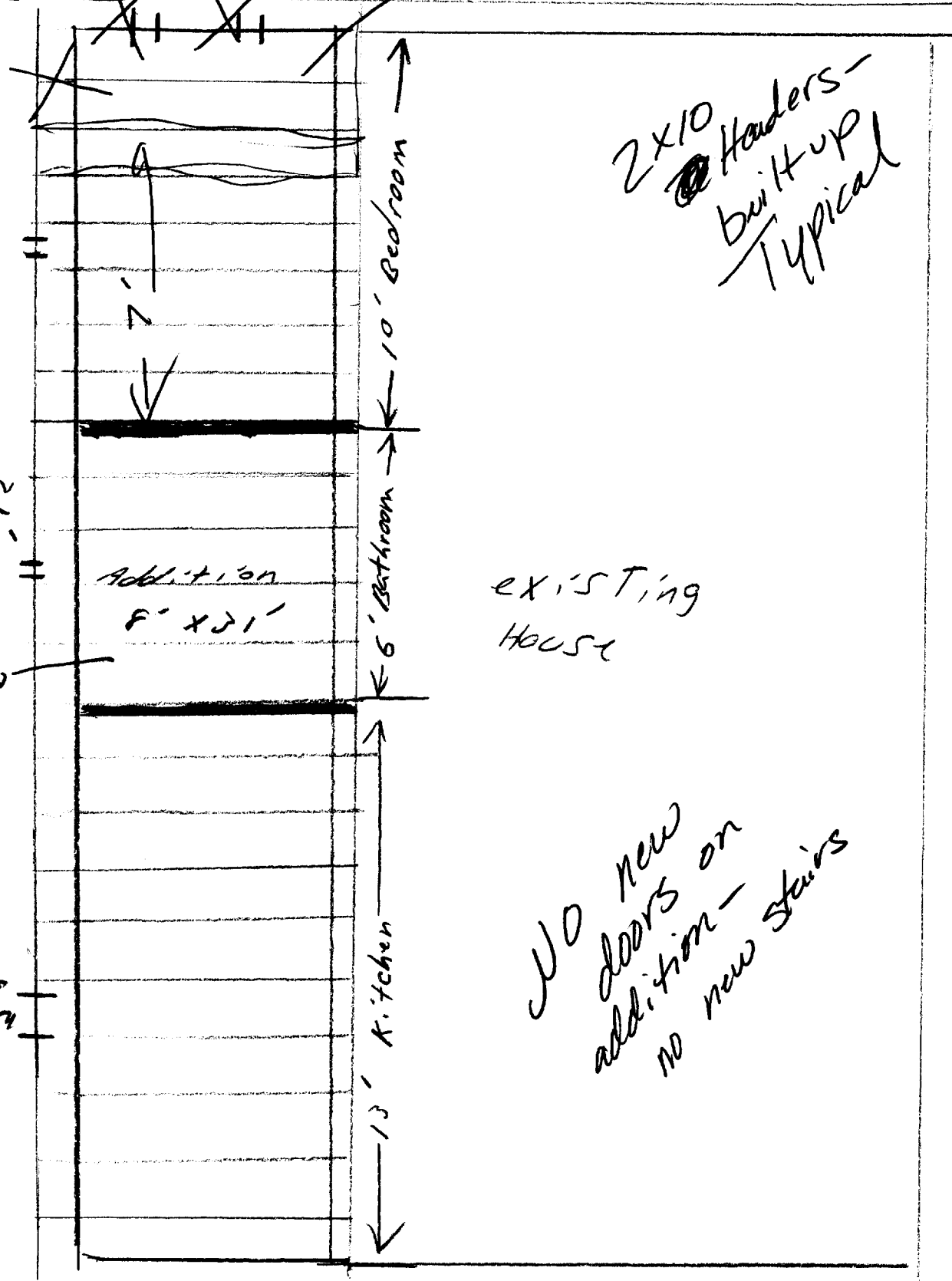
29x35

10' Bedroom
6' Bathroom
13' Kitchen

Addition
8' x 21'

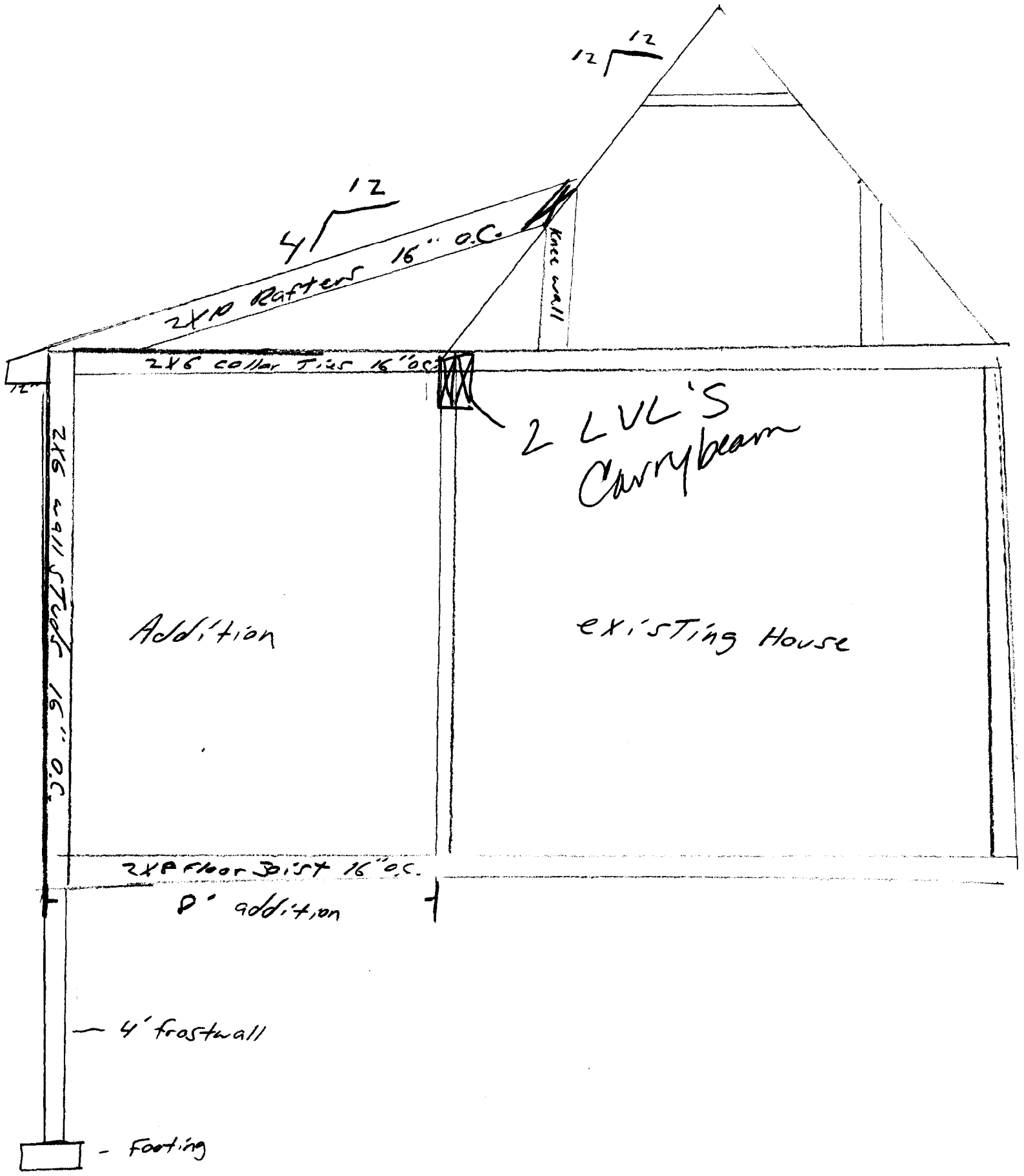
Tub/shower
is NOT
within
3'
of window

SE of
window



8'

29'



12 / 12

4 / 12

2x10 Rafters 16" o.c.

Knee wall

2x6 collar Ties 16" o.c.

2 LVL'S Carry beam

Addition

existing House

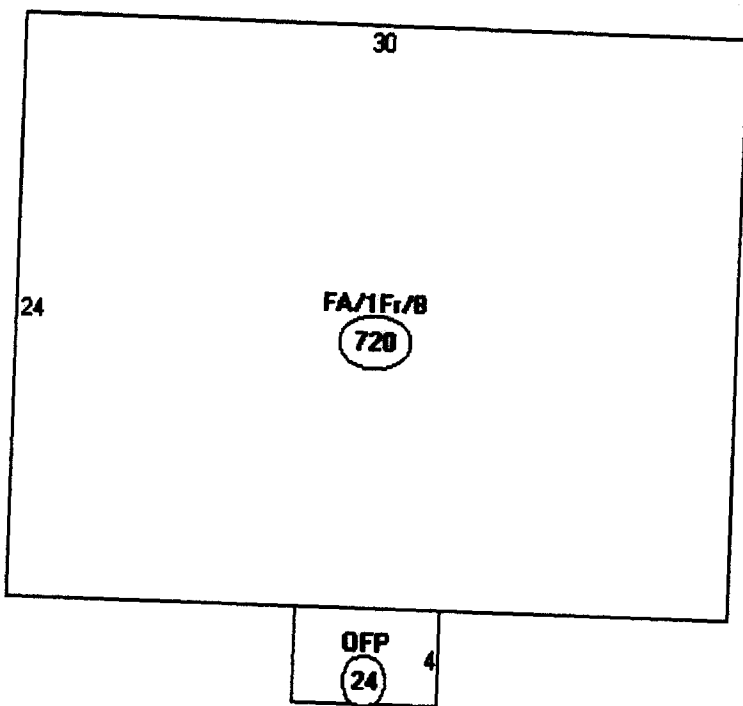
2x6 wall studs 16" o.c.

2x8 floor joist 16" o.c.

8' addition

4' frost wall

Footing



Descriptor/Area

A: FA/1F1/B
720 sqft

B: OFF
24 sqft

744 23
5000 SF
1250 SF Allowed
Lot cov. -
506 Left

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	344 D021001
Location	88 PENNELL AVE
Land Use	SINGLE FAMILY
Owner Address	HUNTER KAREN M 88 PENNELL AVE PORTLAND ME 04103
Book/Page	13815/237
Legal	344-D-21 PENNELL AVE 88-90 5000 SF

Valuation Information

Land	Building	Total
\$30,770	\$42,730	\$73,500

Property Information

Year Built 1942	Style Cape	Story Height 1	Sq. Ft. 900	Total Acres 0.115		
Bedrooms 3	Full Baths 1	Half Baths	Total Rooms 6	Attic Part Finsh	Basement Full	

Outbuildings

Type SHED-FRAME	Quantity 1	Year Built 1970	Size 8X8	Grade D	Condition F
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Sales Information

Date 05/13/1998	Type LAND + BLDING	Price \$81,500	Book/Page 13815-237
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Picture and Sketch

[Picture](#) [Sketch](#)

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

