

1344 Washington

David Leasure

344-C-4

Parking lot

NOTES:

DESIGN STATUS:

PRESENTATION PRINT DATE:

PROGRESS PRINT #.:

CONSTRUCTION/MOUNTING: DATE:

PERMIT/SITE PLAN: DATE:

APPROVED MANUFACTURING:

DATE:

VOLTAGE:

REVISIONS: 10/7/98 ADD PICK-UP WINDOW PANEL

10/8/98 COPY CHANGES



Bailey Sign
 9 Thomas Drive
 Col. Westbrook Executive Park
 Westbrook, ME 04092
 207-774-2843 / 1-800-539-SIGN
 Fax: 774-1193
 E-Mail: newsign@baileysign.com
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COLORS SHOWN HERE ARE FOR DISTRIBUTION ONLY COLOR MATCH NUMBERS WILL BE NEEDED

IF AN ELECTRIC SIGN, THEN INSTALLATION MUST BE ACCOMPLISHED IN TOTAL COMPLIANCE WITH THE NATIONAL ELECTRIC CODE, THE REQUIREMENTS OF UNDERWRITERS LABORATORY, CANADIAN STANDARDS ASSOCIATION, AND APPLICABLE LOCAL CODES.

CUSTOMER:
PORTLAND HOUSE of PIZZA
 LOCATION:
**1359 WASHINGTON AVE.
 PORTLAND, ME**

SALESPERSON: DRAWN BY: **L.W.M.**

ACCEPTANCE SIGNATURE DATE: _____

CLIENT _____

PS. # **D-213** W.O. # _____

SCALE **1/4"=1'** DATE **9/14/98**

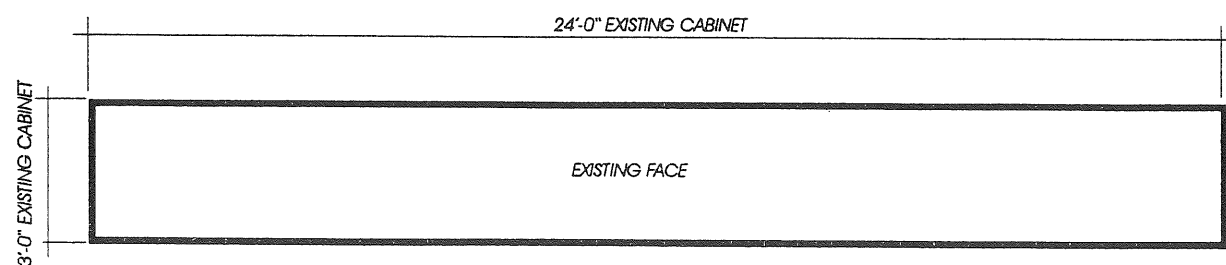
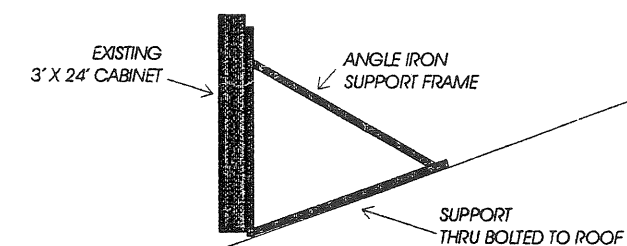
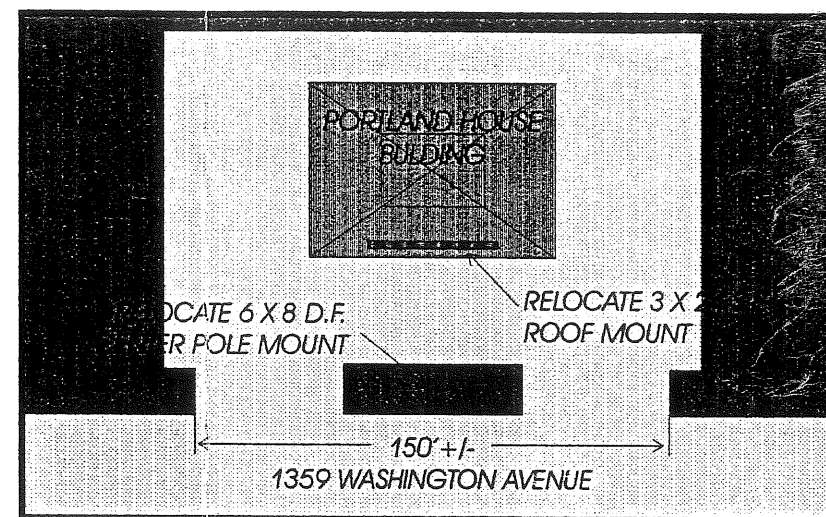
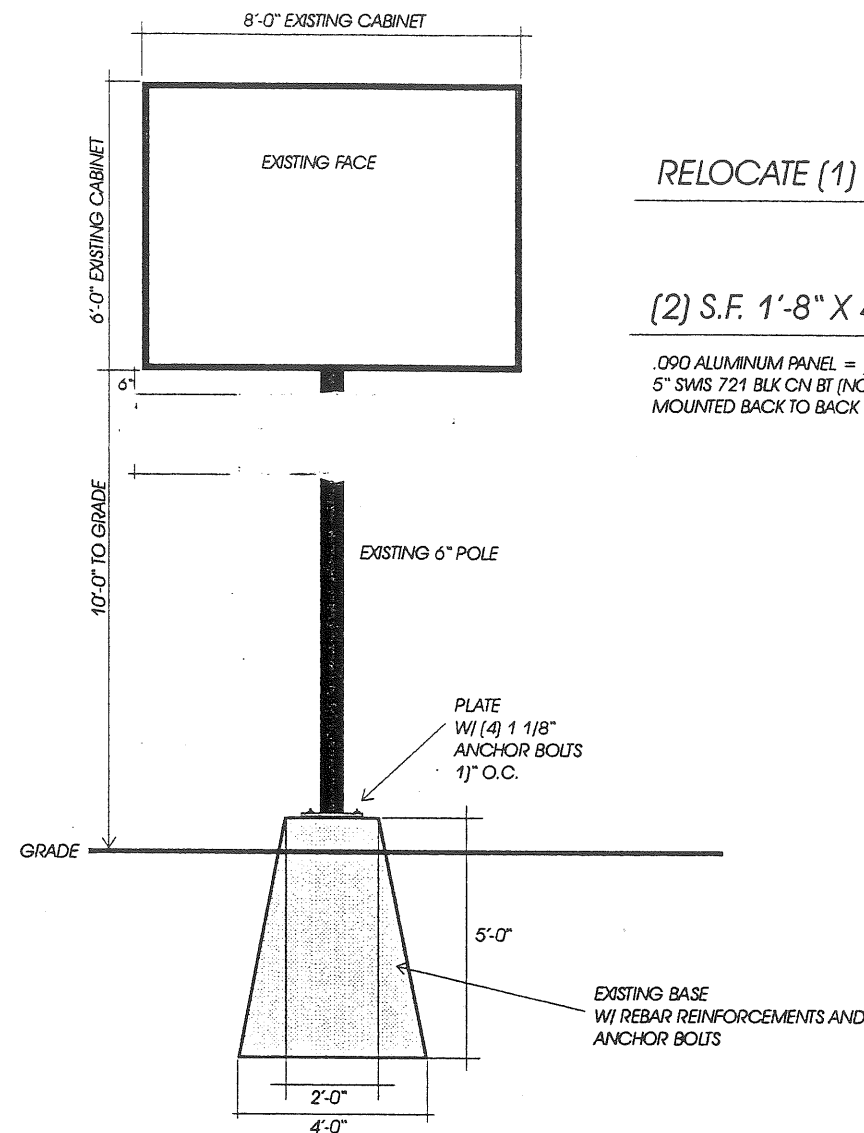
DRAWING NO:
 SHEET **1** **03915 A R2**



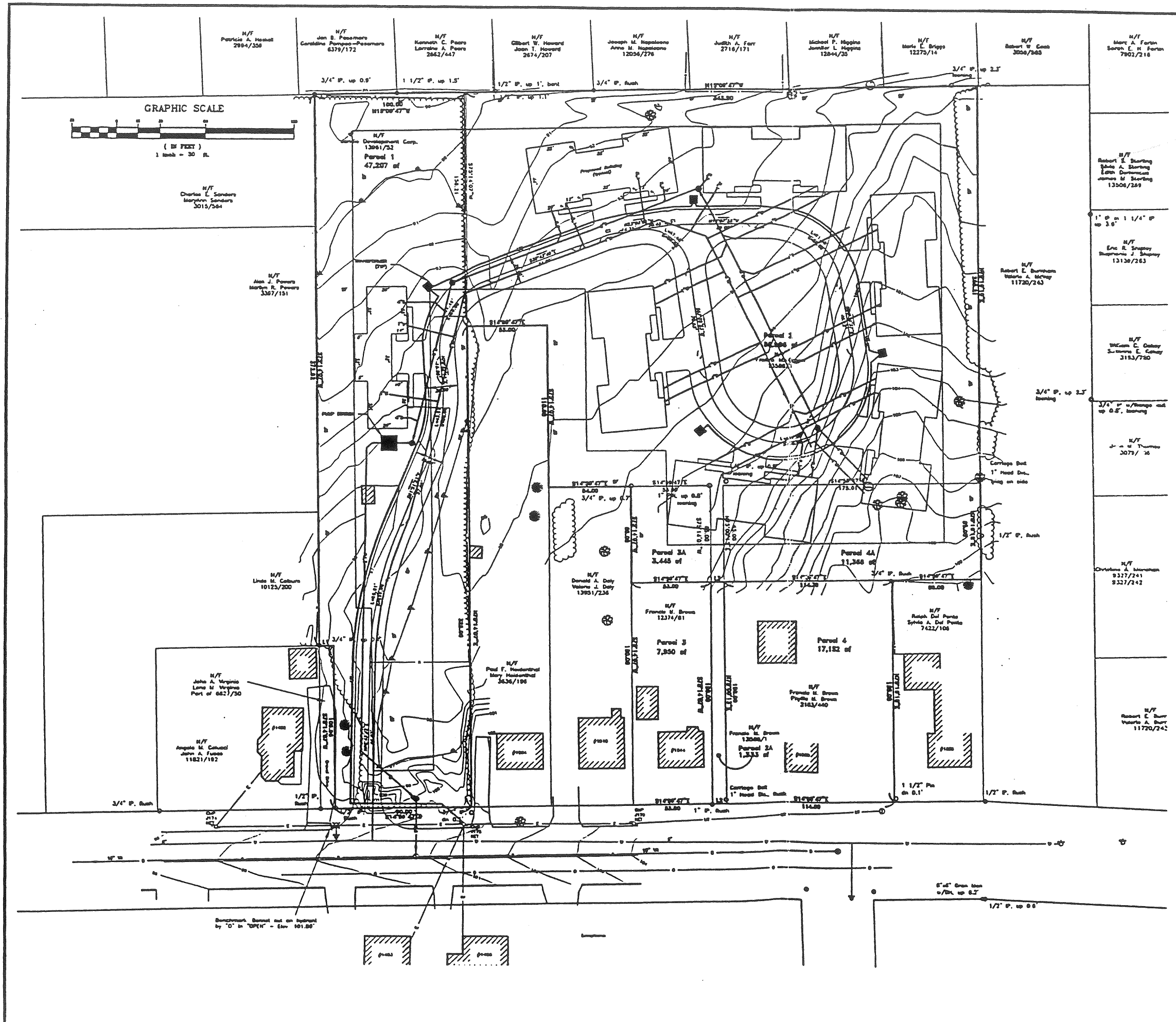
RELOCATE (1) D.F. 6'-0" X 8'-0" X INTERNALLY ILLUMINATED SIGN WITH R.A.B.

(2) S.F. 1'-8" X 4'-0" X .090 ALUMINUM PANEL SIGNS

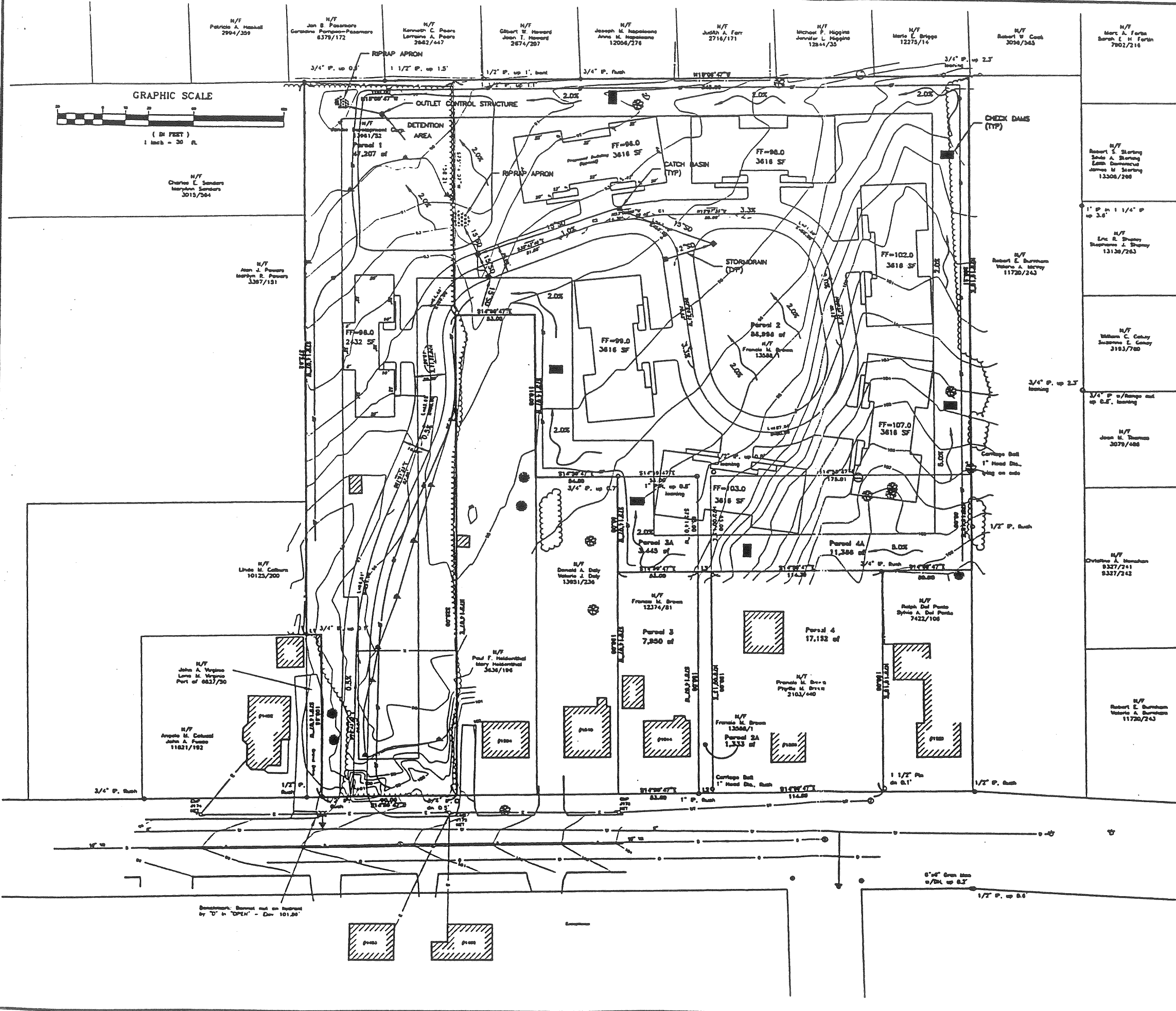
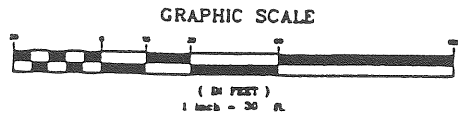
.090 ALUMINUM PANEL = RED
 5" SMS 721 BLK CN BT (NORMAL) = WHITE VINYL
 MOUNTED BACK TO BACK ON EXISTING POLE



RELOCATE (1) S.F. 3'-0" X 24'-0" X INTERNALLY ILLUMINATED SIGN



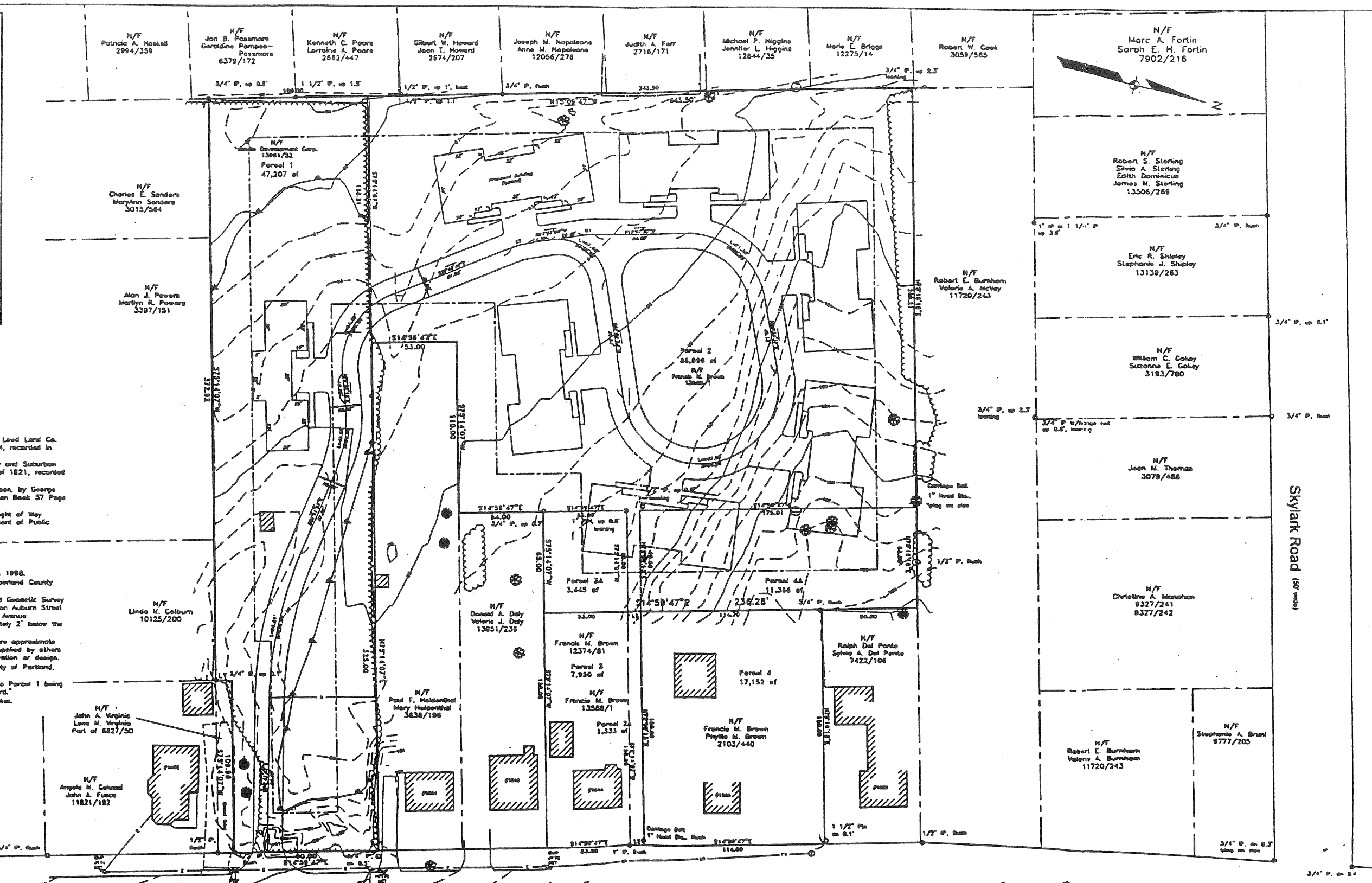
REV.	BY	DATE	STATUS	ISSUED FOR	SCOPING	457 SITE DEV.	
JANDIE DEVELOPMENT CORP. DERICE DEVELOPMENT CONTRACT NO. 99-1							
UTILITIES PLAN							
EER Environmental Engineering & Restoration, Inc. 222 St. John Street, Suite 114, Portland, Maine 04102			DESIGN BY: SJB DRAWN BY: DP CHECKED BY: SJB DATE: 11/22/96 JOB NO: 457 SCALE: 1"=30' C-100 SHEET 2 OF 4				



REV.	BY	DATE	STATUS
	SLD	11/22/99	ISSUED FOR WORKSHOP

JANDIE DEVELOPMENT CORP. DERICE DEVELOPMENT CONTRACT NO. 99-1	
GRADING, DRAINAGE AND EROSION CONTROL	
EER Environmental Engineering & Remediation, Inc. 222 St. John Street, Suite 214 Portland, Maine 04102	DESIGN BY: SLD DRAWN BY: SP CHECKED BY: SLD DATE: 12/22/99 JOB NO: 457 SCALE: 1" = 30' C-100 SHEET 1 OF 4

- LEGEND**
- Iron pipe found
 - Monument found
 - Utility pole
 - Edge of pavement
 - Curb (granite, unless noted)
 - Wood guard rail
 - UT Underground telephone
 - Overhead electric
 - Water line
 - Wire & barbed wire fence
 - Sewer line
 - Chain link fence
 - Stockade fence
 - Existing contour
 - Catch basin
 - Water valve
 - Sewer Manhole
 - Telephone Manhole
 - Fire hydrant
 - Deciduous tree
 - Coniferous tree
 - Shrub
 - GUY wire
 - Wetland flag
 - Sign
 - 11.2 Spot elevation
 - ▨ Existing building

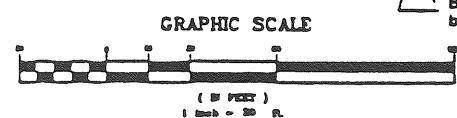


- References**
- Plan of Portland Highlands owned by H.R. Lord Land Co. Inc., by Ernest W. Branch, dated July 22, 1924, recorded in Plan Book 18 Page 10.
 - Plan of the Highlands owned by the City and Suburban Land Trust, by E.C. Jordan, dated September of 1921, recorded in Plan Book 14 Page 70.
 - Plan of Hanson Mower for Charles H. Hanson, by George Whoston, dated March of 1961, recorded in Plan Book 57 Page 88.
 - City of Portland Engineering Department Right of Way Plans, on file at the City of Portland, Department of Public Works.

- Notes**
- Bearings are referenced to magnetic north 1998.
 - Book and Page references are to the Cumberland County Registry of Deeds unless otherwise noted.
 - Deviations are based on the US Coast and Geodetic Survey 1929 Datum. Benchmark: Granite monument on Auburn Street at second angle point northerly of Washington Avenue (Monument is inside a manhole rim approximately 2' below the sidewalk). Deviation: 85.80'.
 - Locations of utilities shown on this plan are approximate based on field observations and information supplied by others and should be field verified prior to any excavation or design.
 - Tax Map and Lot references are to the City of Portland, Maine.
 - See Book 13961, Page 52 for reference to Parcel 1 being "subject to any and all appurtenances of record."
 - Wetlands mapped by R.A. Sweet & Associates.

Line Table

L1	S14°45'53"E	10.00
L2	S14°59'47"E	9.19
L3	S14°59'47"E	8.58



Benchmark: Bonnet nut on hydrant by "O" in "OPEN" - Elev. 101.89'

This survey conforms to the current standards of the Maine State Board of Registration for Land Surveyors for Category I, Condition B, except as noted:

- Exceptions:**
- No description prepared.
 - No pins set as of plan date.
 - No written report.

Christopher W. Knight PLS 2257

Area: 149,014 square feet
3.42 acres

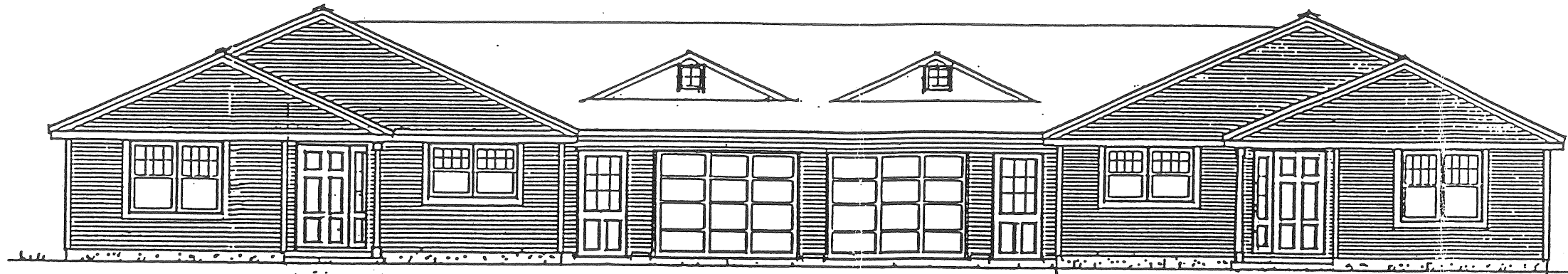
Applicant: Jandie Development Corp.
2 Flintlock Lane
Falmouth, ME 04105

Standard Boundary Survey
Meadow Ridge
1900 Washington Avenue Portland, Maine

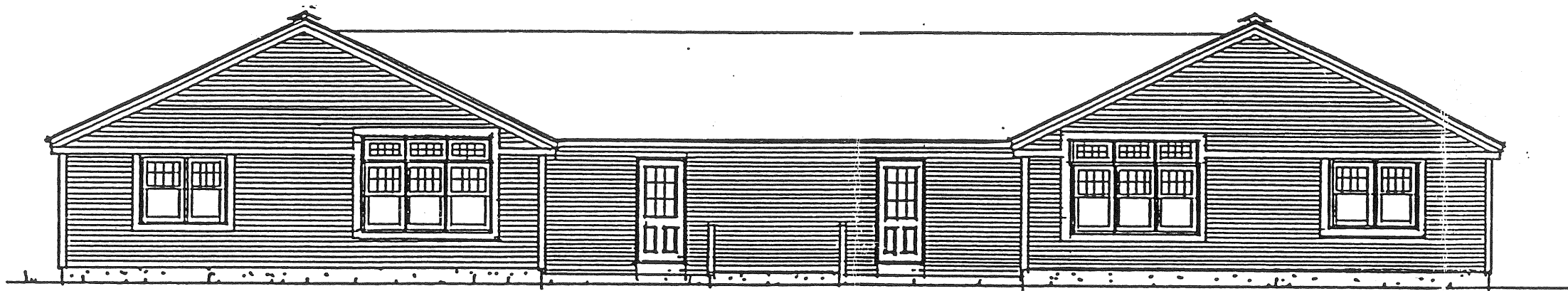
MADE FOR
Jandie Development Corp.
2 Flintlock Lane Falmouth, Maine

JOB# 98030	DATE 10/1/98	SCALE 1"=30'
BOOK# 678	PLS# 7807	
DISC# 702356	ACAD15-	

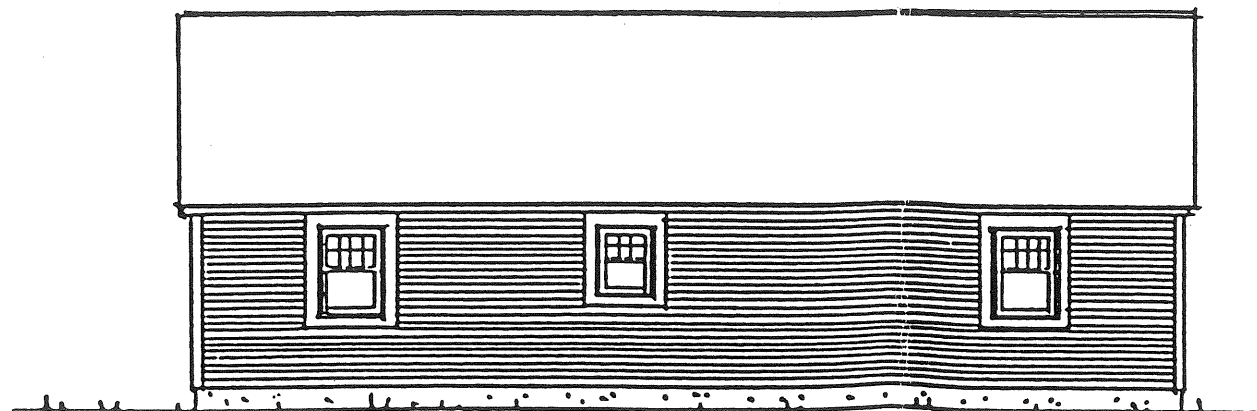
Pitcomb Associates
133 Gray Road
Falmouth, Maine 04105



FRONT ELEVATION

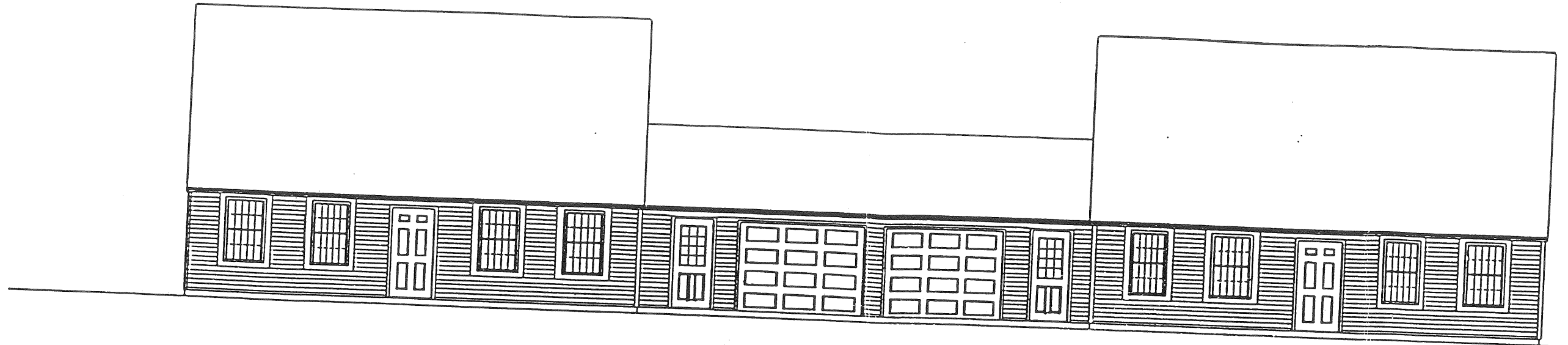


REAR ELEVATION

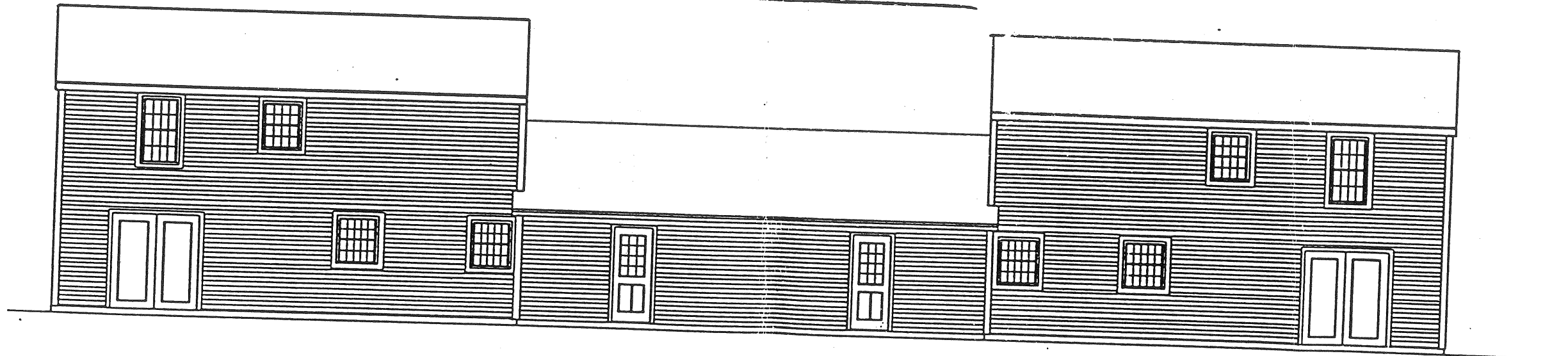


SIDE ELEVATION

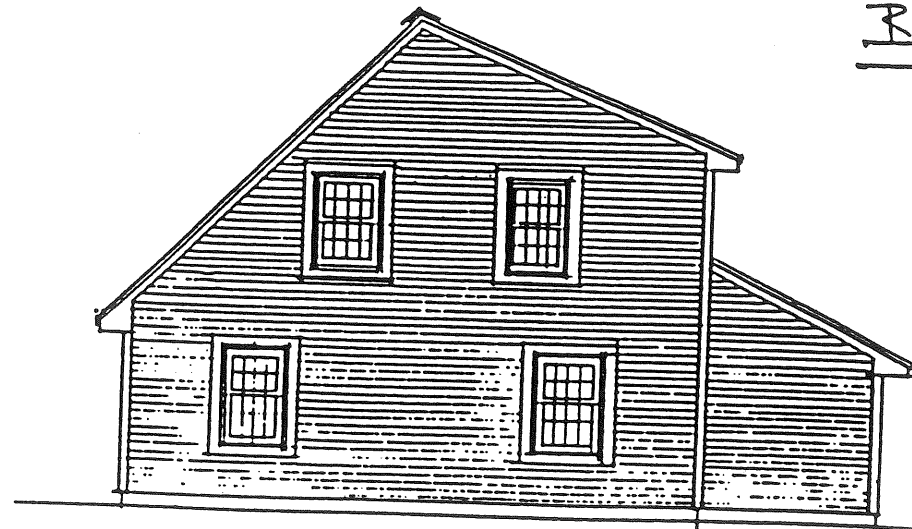
<p>Jandie Development Corp.</p> <p>2 Flintlock Lane</p> <p>Falmouth, Maine 04105</p>	Revision #
	1 / 2
	Dec. 18, 1998



FRONT ELEVATION



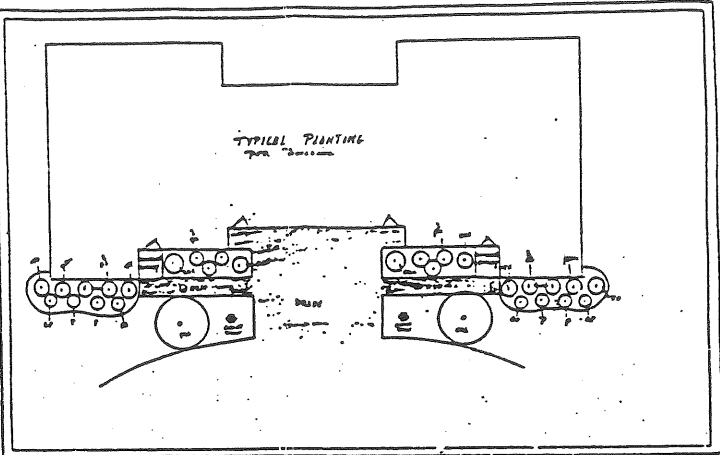
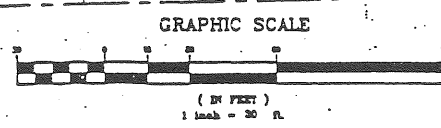
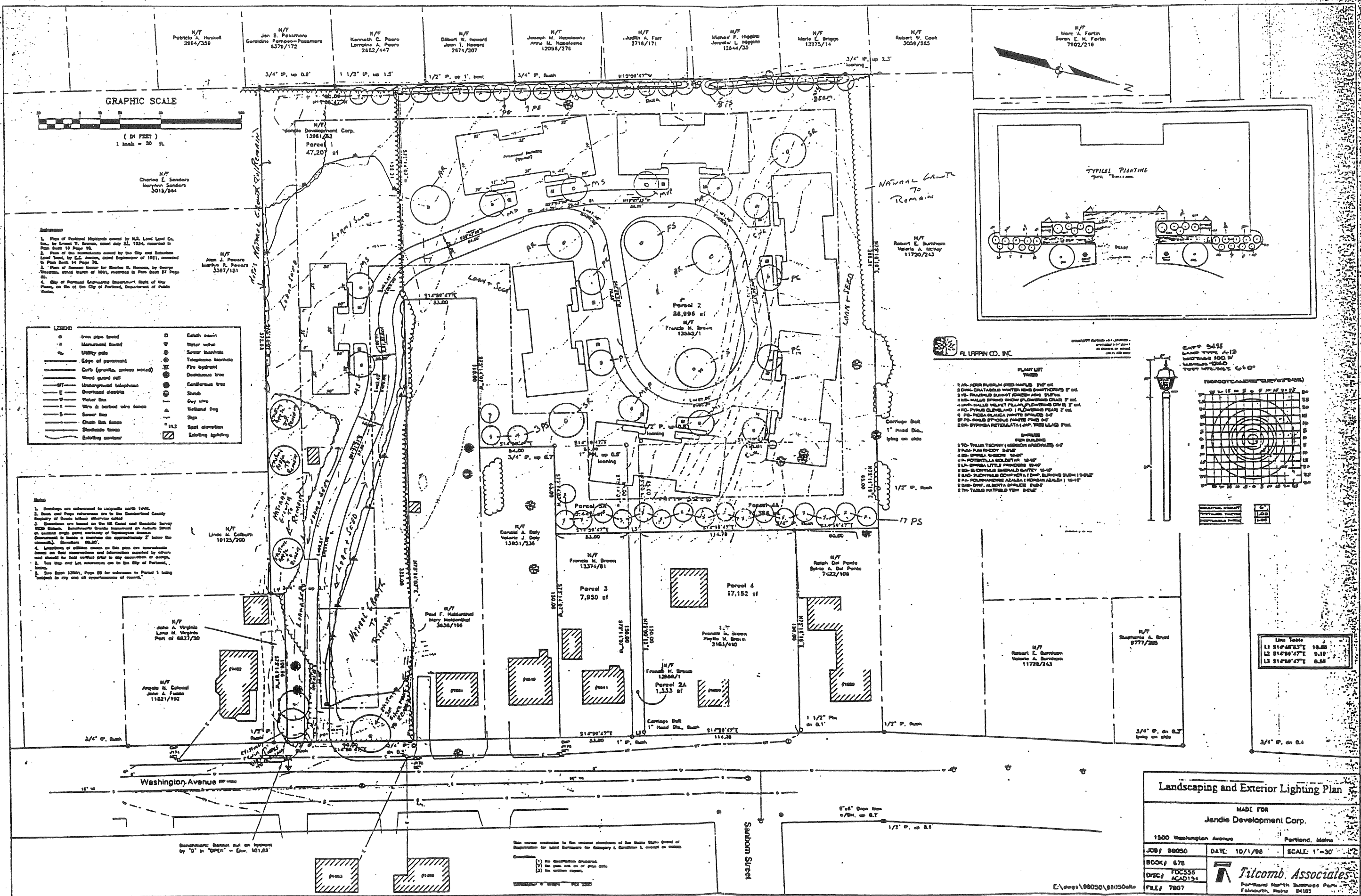
REAR ELEVATION



SIDE ELEVATION

<p>Jandie Development Corp.</p> <p>2 Flintlock Lane Falmouth, Maine 04105</p>	Revision #
	2
	2
Dec. 18, 1998	

S.F.



Notes

- Plan of Portland Islands owned by U.S. Land Land Co. for Grant's Island, dated July 22, 1954, recorded in Plan Book 18 Page 14.
- Plan of the Islands owned by the City and Superior Land Trust, by E.C. Jones, dated September of 1921, recorded in Plan Book 14 Page 20.
- Plan of Island owned by Charles H. Jones, by George W. Jones, dated March of 1924, recorded in Plan Book 17 Page 10.
- City of Portland Engineering Department Right of Way Plans, on file at the City of Portland, Department of Public Works.

LEGEND

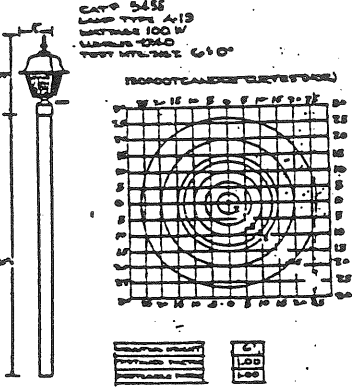
Iron pipe found	Water valve	Water main	Water valve
Monument found	Sewer manhole	Telephone manhole	Telephone manhole
Utility pole	Fire hydrant	Fire hydrant	Fire hydrant
Edge of pavement	Decorative tree	Decorative tree	Decorative tree
Curb (granite, unless noted)	Coniferous tree	Coniferous tree	Coniferous tree
Wood guard rail	Shrub	Shrub	Shrub
Underground telephone	Cruciform tree	Cruciform tree	Cruciform tree
Overhead electric	Shrub	Shrub	Shrub
Water line	Cruciform tree	Cruciform tree	Cruciform tree
Wire & barbed wire fence	Shrub	Shrub	Shrub
Sewer line	Shrub	Shrub	Shrub
Chain link fence	Spot elevation	Spot elevation	Spot elevation
Shedlike fence	Existing lighting	Existing lighting	Existing lighting
Existing curb			

Notes

- Spot elevations are referenced to datum 1988.
- Spot and pipe elevations are to the horizontal datum of the City of Portland.
- Spot elevations are based on the 88 Coast and Superior Survey 1928 datum. Spot elevations are based on the datum of the City of Portland.
- Spot elevations are based on the datum of the City of Portland.
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R. LUPPIN CO., INC.

- PLANT LIST**
- 1. 1" - 1/2" ALBERTA SPRUCE (10' - 12' H)
 - 2. 1" - 1/2" ALBERTA SPRUCE (10' - 12' H)
 - 3. 1" - 1/2" ALBERTA SPRUCE (10' - 12' H)
 - 4. 1" - 1/2" ALBERTA SPRUCE (10' - 12' H)
 - 5. 1" - 1/2" ALBERTA SPRUCE (10' - 12' H)
 - 6. 1" - 1/2" ALBERTA SPRUCE (10' - 12' H)
 - 7. 1" - 1/2" ALBERTA SPRUCE (10' - 12' H)
 - 8. 1" - 1/2" ALBERTA SPRUCE (10' - 12' H)
 - 9. 1" - 1/2" ALBERTA SPRUCE (10' - 12' H)
 - 10. 1" - 1/2" ALBERTA SPRUCE (10' - 12' H)
 - 11. 1" - 1/2" ALBERTA SPRUCE (10' - 12' H)
 - 12. 1" - 1/2" ALBERTA SPRUCE (10' - 12' H)
 - 13. 1" - 1/2" ALBERTA SPRUCE (10' - 12' H)
 - 14. 1" - 1/2" ALBERTA SPRUCE (10' - 12' H)
 - 15. 1" - 1/2" ALBERTA SPRUCE (10' - 12' H)
 - 16. 1" - 1/2" ALBERTA SPRUCE (10' - 12' H)
 - 17. 1" - 1/2" ALBERTA SPRUCE (10' - 12' H)
 - 18. 1" - 1/2" ALBERTA SPRUCE (10' - 12' H)
 - 19. 1" - 1/2" ALBERTA SPRUCE (10' - 12' H)
 - 20. 1" - 1/2" ALBERTA SPRUCE (10' - 12' H)



Line Yields

L1	51°45'53" E	10.00
L2	51°30'47" E	9.19
L3	51°30'47" E	8.88

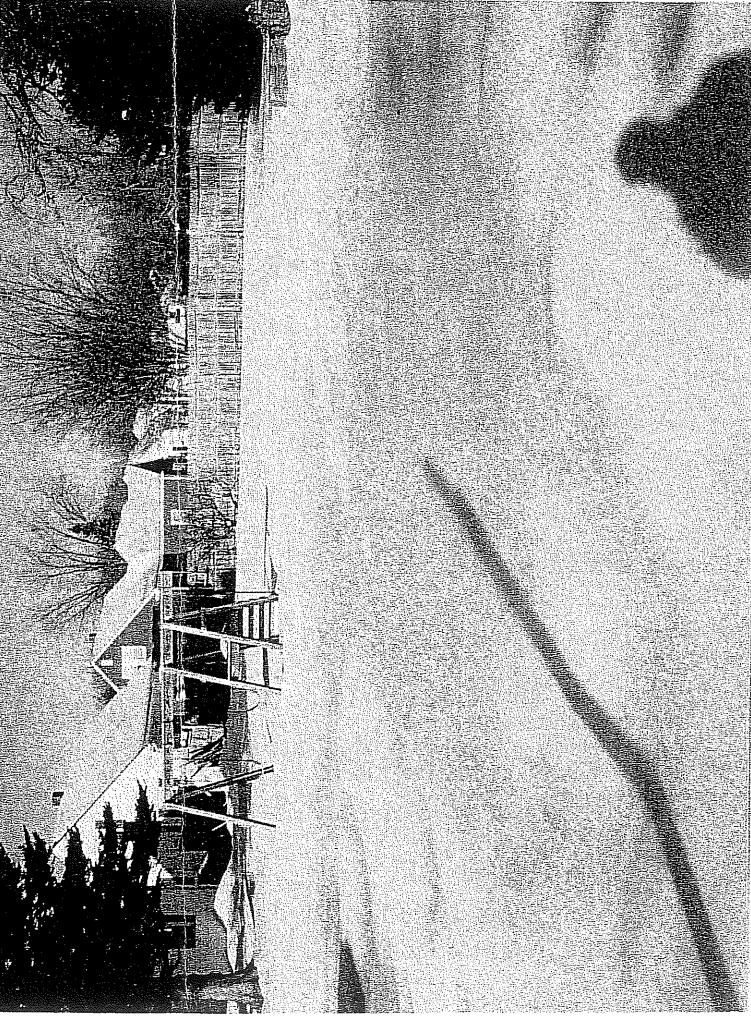
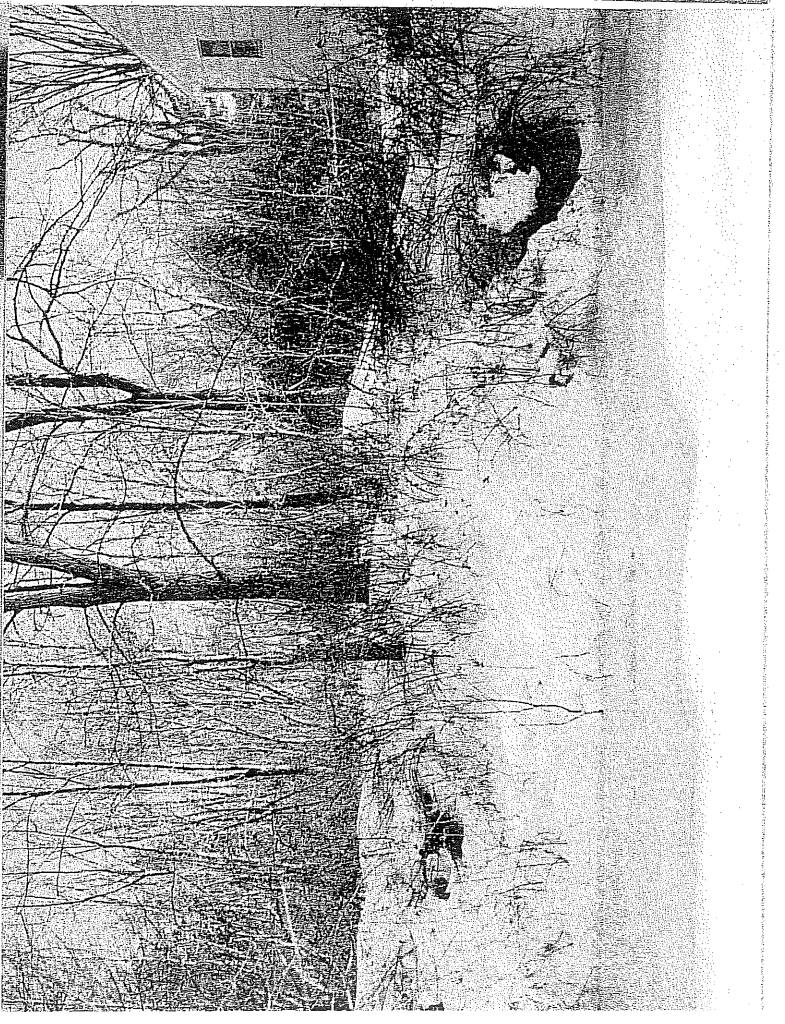
Landscaping and Exterior Lighting Plan

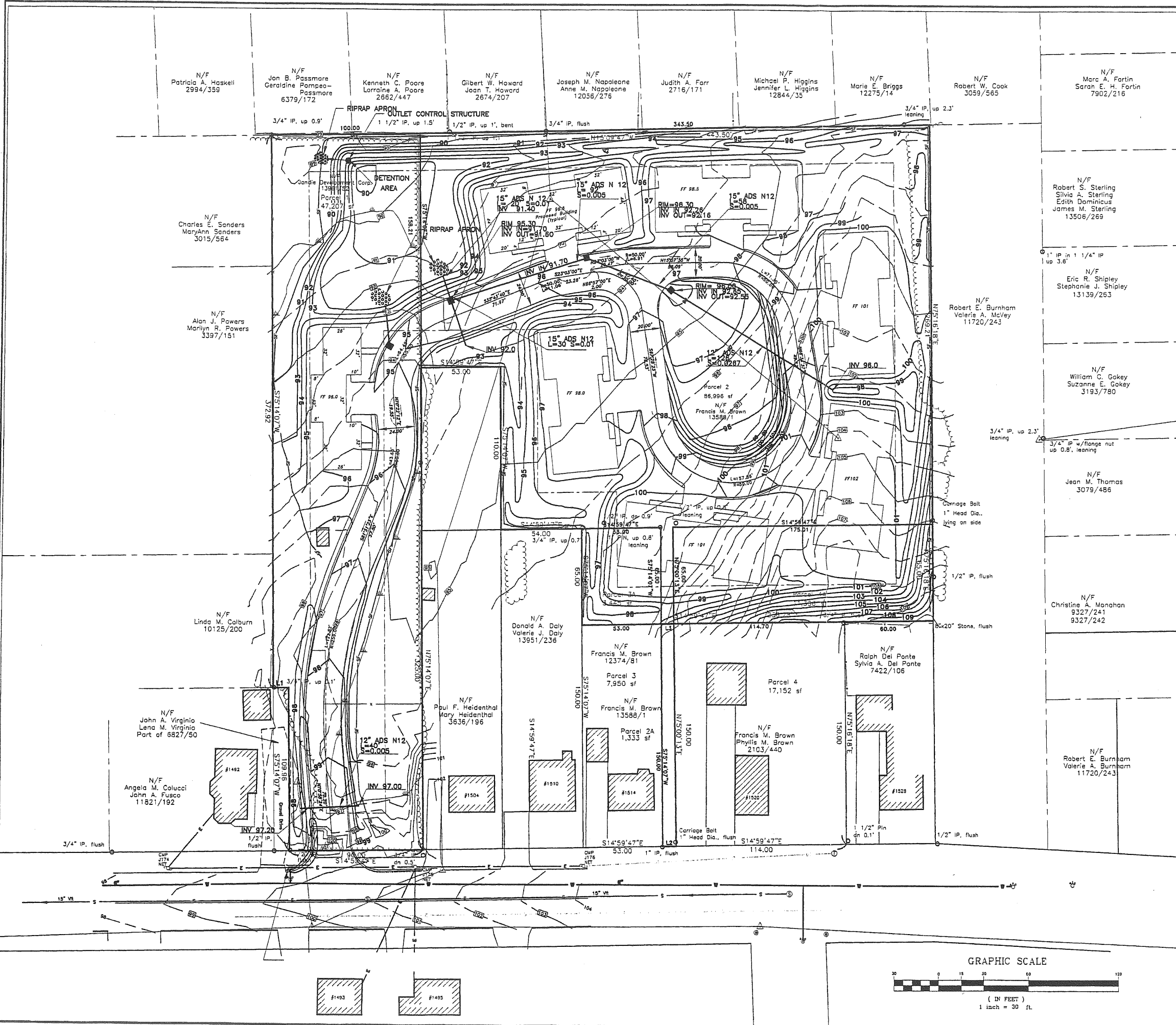
MADE FOR
Jandie Development Corp.
1500 Washington Avenue
Portland, Maine

JOB / 98050 DATE: 10/1/98 SCALE: 1"=30'

BOOK / 678 DISC / FDC338 ACAD124 FILE / 7807

Tilcomb Associates
Portland North Business Park
Falmouth, Maine 04103

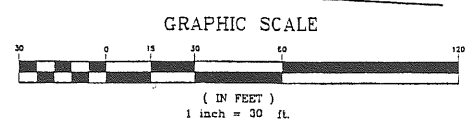




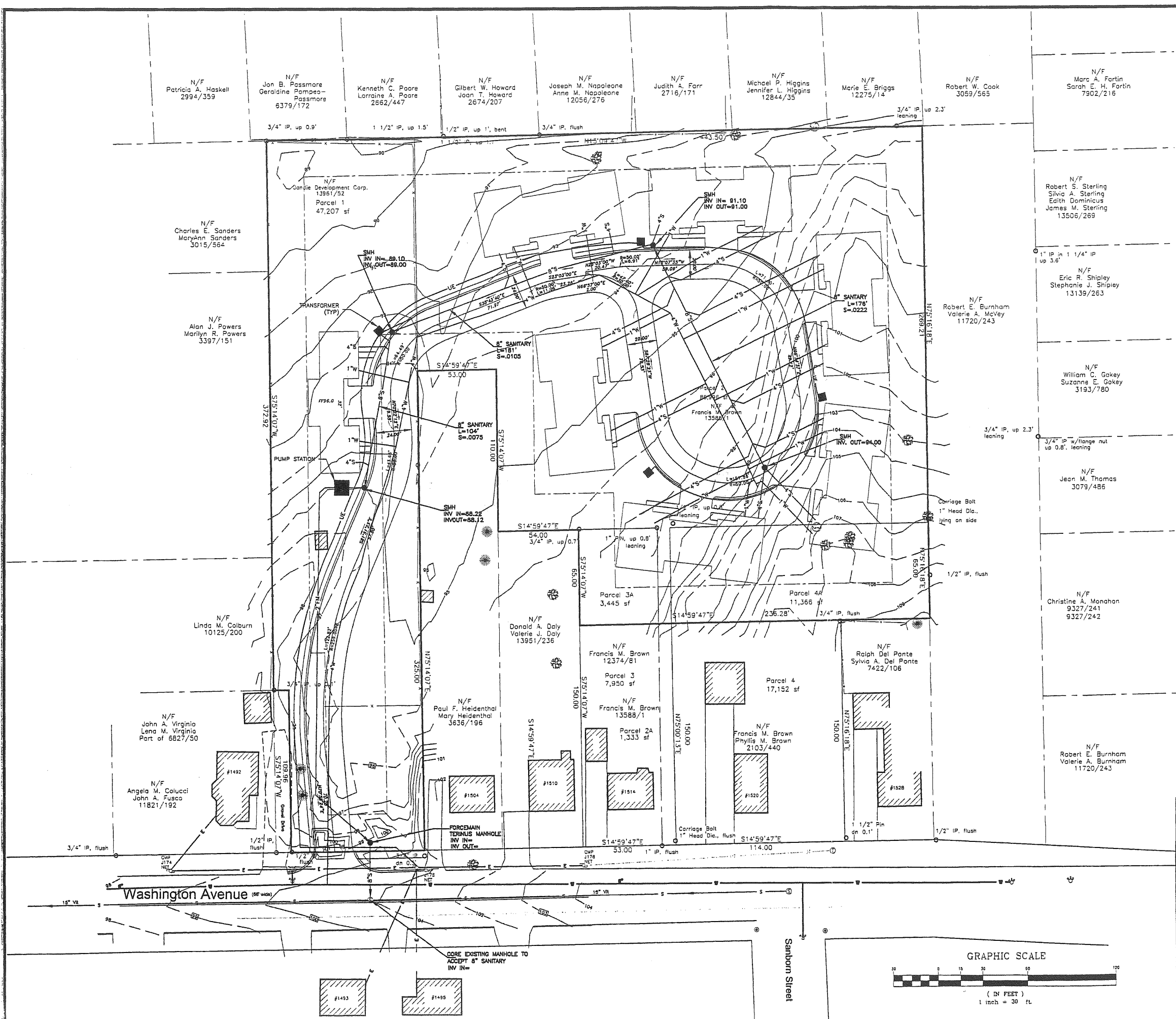
REV.	BY	DATE	STATUS
	SJB	2/23/99	ISSUED FOR: WORKSHOP
	SJB	12/22/98	ISSUED FOR: WORKSHOP

JANDIE DEVELOPMENT CORP.
 DERICE DEVELOPMENT
 CONTRACT NO. 99-1
 GRADING, DRAINAGE
 AND EROSION CONTROL

DESIGN BY:	SJB
DRAWN BY:	DP
CHECKED BY:	SJB
DATE:	12/22/98
JOB NO.:	457
SCALE:	1"=30'
C-100	
SHEET 1 OF 4	



1:457-457-0100.dwg

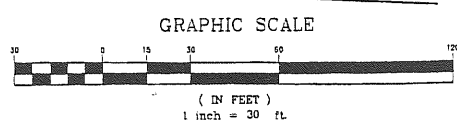


REV.	BY	DATE	STATUS	
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	SJB	12/22/98	ISSUED FOR: WORKSHOP	UTLINES.DWG

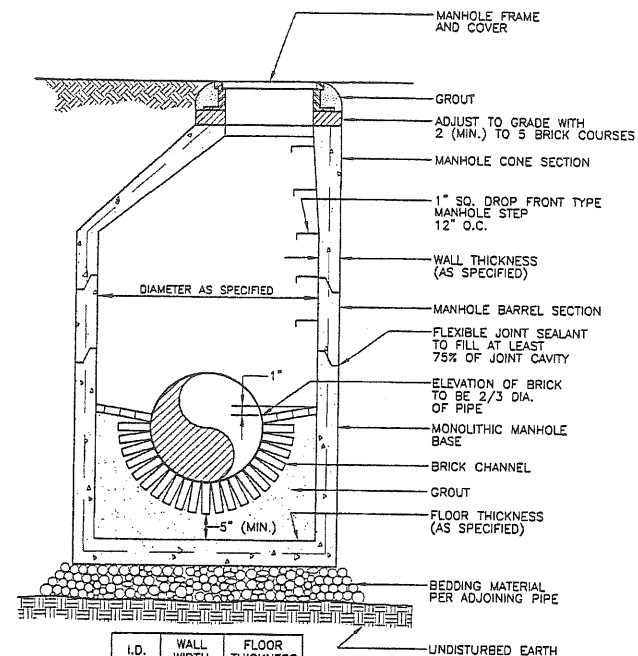
**JANDIE DEVELOPMENT CORP.
DERICE DEVELOPMENT
CONTRACT NO. 99-1
UTILITIES PLAN**

EER ENVIRONMENTAL
ENGINEERING &
REMEDIATION, INC.
222 St. John Street, Suite 314 Portland, Maine 04102

DESIGN BY:	SJB
DRAWN BY:	SJB
CHECKED BY:	SJB
DATE:	12/22/98
JOB NO:	457
SCALE:	1"=30'
C-101	
SHEET	2 OF 4

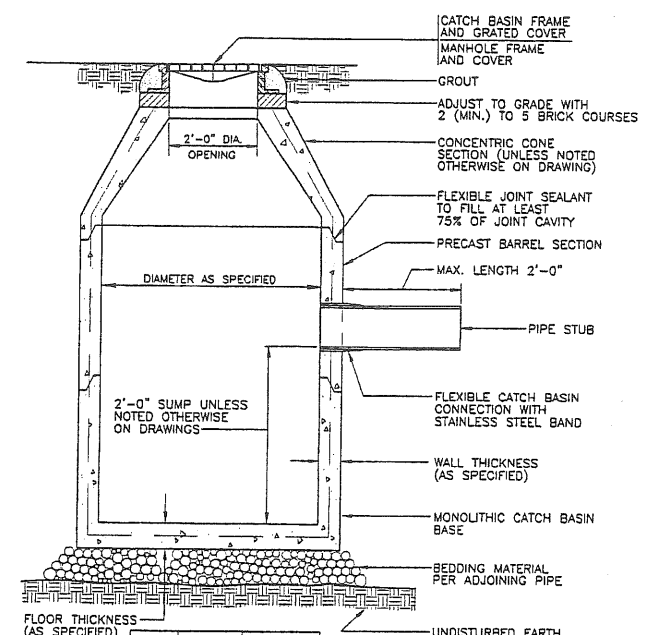


E:\V&A\97-C101.dwg



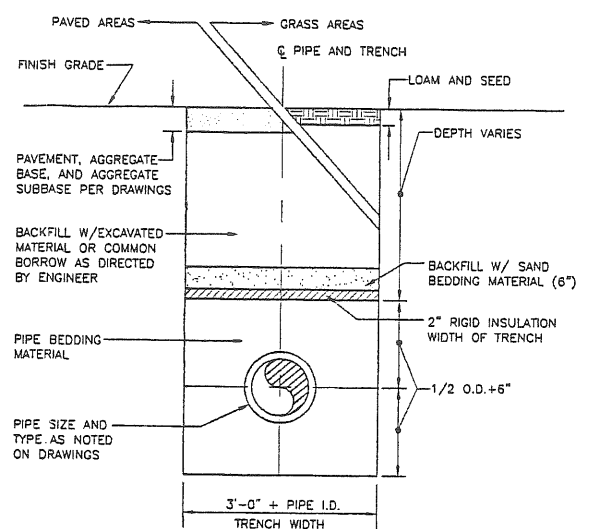
I.D.	WALL WIDTH	FLOOR THICKNESS
4'-0"	5"	6"
5'-0"	6"	6"
6'-0"	7"	6"
8'-0"	8"	8"
10'-0"	10"	9"

PRECAST CONCRETE MANHOLE
N.T.S.



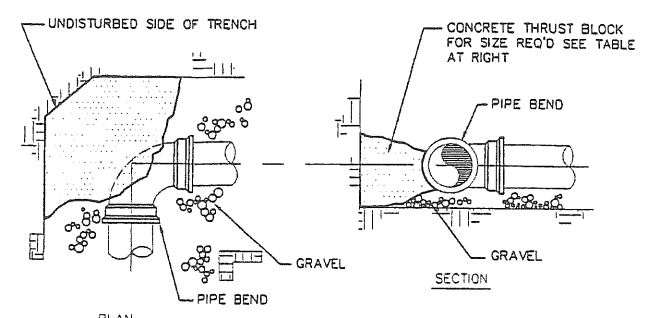
I.D.	WALL WIDTH	FLOOR THICKNESS
4'-0"	5"	6"
5'-0"	6"	6"
6'-0"	7"	6"
8'-0"	8"	8"
10'-0"	10"	9"

PRECAST CONCRETE CATCH BASIN/DRAIN MANHOLE
N.T.S.

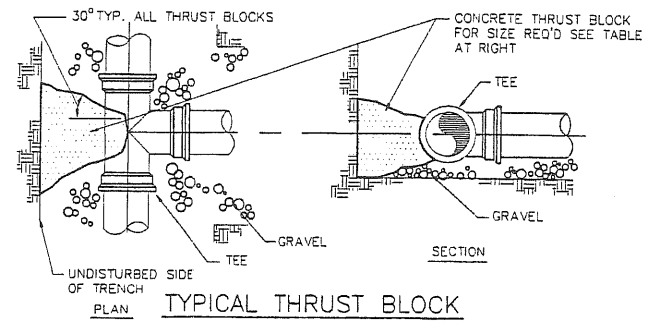


TYPICAL TRENCH DETAIL
N.T.S.

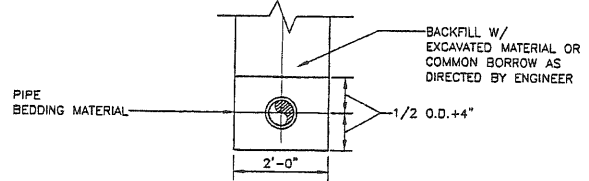
1. SAND BACKFILL AND RIGID INSULATION AS REQUIRED.



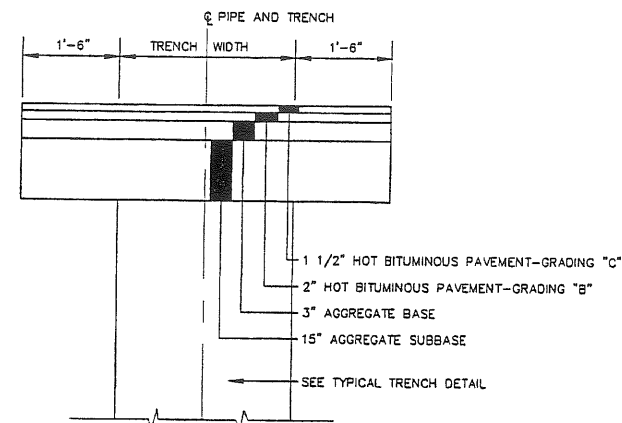
TYPICAL THRUST BLOCK
PLACEMENT ON BENDS
N.T.S.



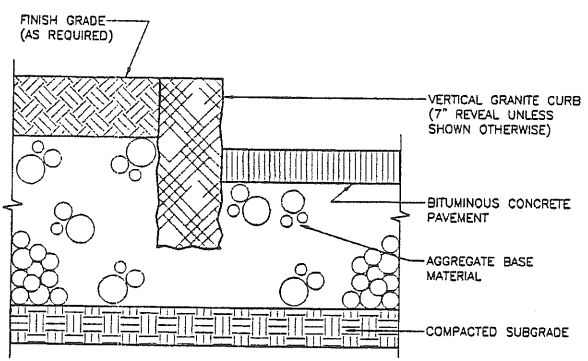
TYPICAL THRUST BLOCK
PLACEMENT ON TEES
N.T.S.



TYPICAL TRENCH SECTION

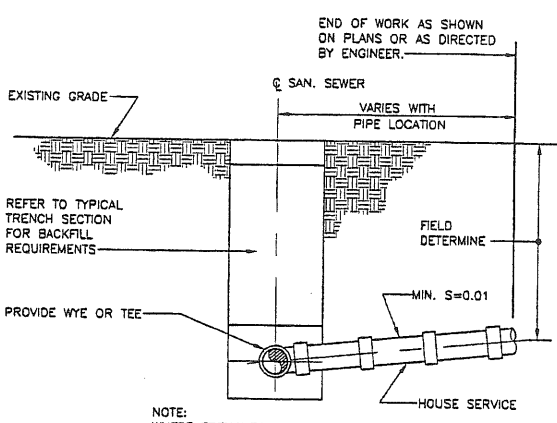


TYPICAL TRENCH PAVING
N.T.S.

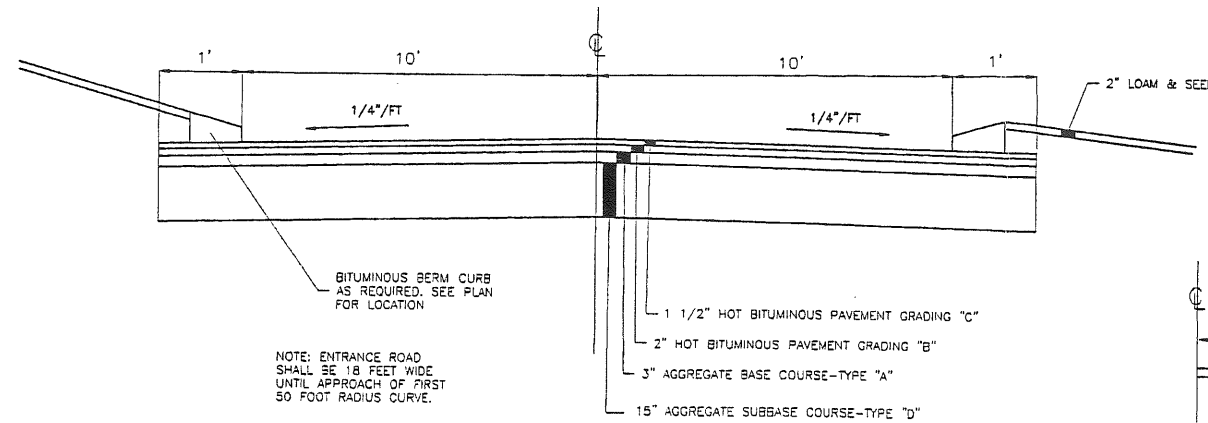


VERTICAL GRANITE CURBING
N.T.S.

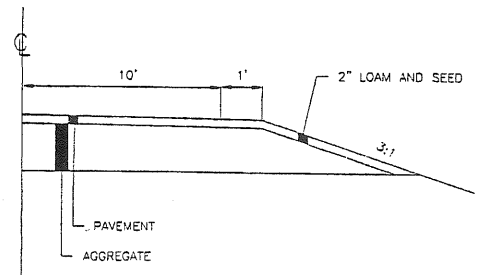
SIZE REQUIREMENTS FOR CONCRETE THRUST BLOCKS						
BEARING ON UNDISTURBED SOIL (SQUARE FT.)						
FITTINGS	90° BENDS	45° BENDS	TEES & PLUGS	HYDRANTS		
PIPE SIZE	3"	2.0	1.0	1.0	N/A	
	6"	3.0	2.0	2.0	6.0	
	8"	5.0	3.0	4.0	N/A	
	10"	7.0	4.0	5.0	N/A	
	12"	10.0	6.0	7.0	N/A	
	14"	13.0	7.0	10.0	N/A	
16"	17.0	9.0	12.0	N/A		



TYPICAL TRENCH SECTION
BUILDING CONNECTION
N.T.S.



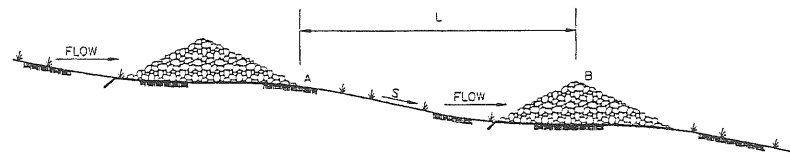
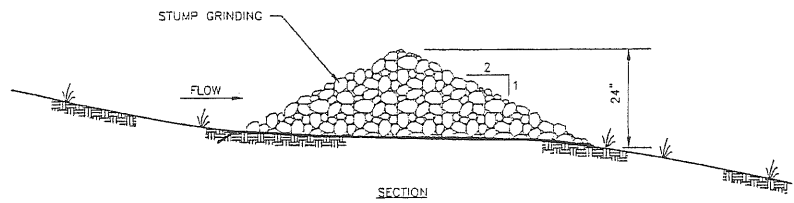
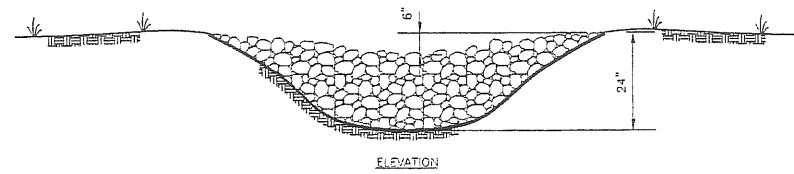
TYPICAL ROADWAY SECTION (CURBED AREAS)
N.T.S.



REV.	BY	DATE	STATUS
	SJB	2/23/99	ISSUED FOR: WORKSHOP
	SJB	12/22/98	ISSUED FOR: WORKSHOP

JANDIE DEVELOPMENT CORP. DERICE DEVELOPMENT CONTRACT NO. 99-1	
GENERAL CONSTRUCTION DETAILS	
EER ENVIRONMENTAL ENGINEERING & REMEDIATION, INC. 222 ST. JOHN STREET, SUITE 314 PORTLAND, MAINE 04102	DESIGN BY: SJB DRAWN BY: DP CHECKED BY: SJB DATE: 12/22/98 JOB NO: 457 SCALE: C-102 SHEET 3 OF 4

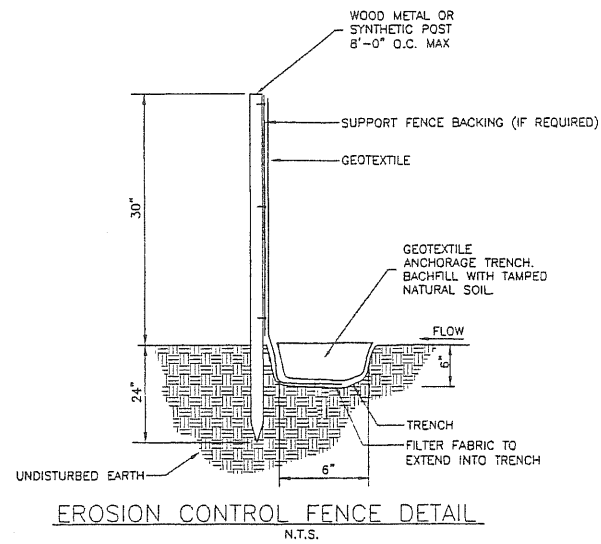
45702TLS.DWG



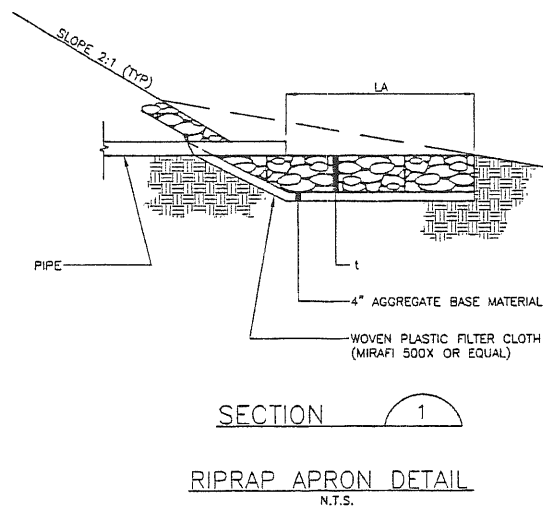
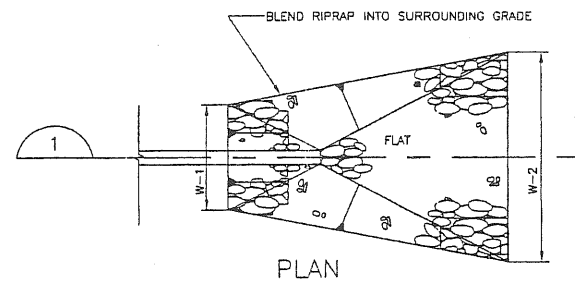
L = DISTANCE SUCH THAT POINTS A & B ARE OF THE SAME ELEVATION
S = SLOPE

S (FT/FT)	L (FT)
0.020	100
0.030	66
0.040	50
0.050	40
0.080	25
0.100	20
0.120	17
0.150	13

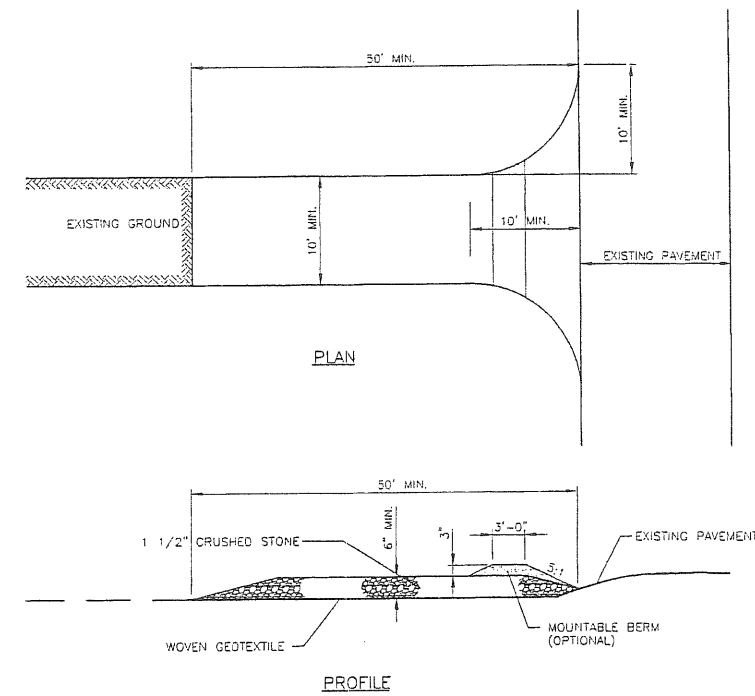
STONE CHECK DAM



EROSION CONTROL FENCE DETAIL
N.T.S.



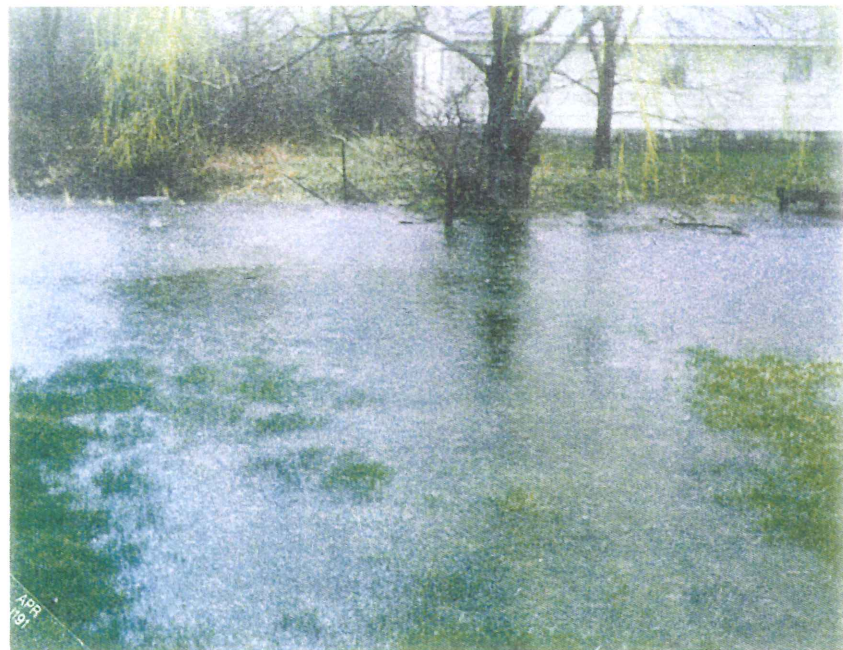
SECTION 1
RIPRAP APRON DETAIL
N.T.S.



STABILIZED CONSTRUCTION ENTRANCE
N.T.S.

CULVERT	RIPRAP		RIPRAP	
	d50 SIZE (FT)	THICKNESS t (INCH)	LENGTH LA (FT) (MIN)	WIDTH W1 (FT) W1 (FT)
12" OR LESS	0.5'	15"	10'	3.0' 12'
15"	0.5'	15"	10'	3.75' 12'
18"	0.5'	15"	10'	4.5' 12'
24"	0.5'	15"	14'	6.0' 12'
30"	0.5'	15"	16'	7.5' 12'
36"	0.5'	18"	24'	9.0' 27'
42"	1.0'	24"	32'	10.5' 36'
48"	1.0'	24"	34'	12' 38'

REV.	BY	DATE	STATUS	
	SJB	2/23/99	ISSUED FOR: WORKSHOP	4570ETLS.DWG
	SJB	12/22/98	ISSUED FOR: WORKSHOP	4570ETLS.DWG
JANDIE DEVELOPMENT CORP. DERICE DEVELOPMENT CONTRACT NO. 99-1 EROSION AND SEDIMENTATION CONTROL DETAILS				
EER ENVIRONMENTAL ENGINEERING & REMEDIATION, INC. 222 St. John Street, Suite 314 Portland, Maine 04102				DESIGN BY: SJB DRAWN BY: DP CHECKED BY: SJB DATE: 12/22/98 JOB NO: 457 SCALE: C-103 SHEET 4 OF 4



*These pictures were taken in '91 but they
are as true today. h.p.*



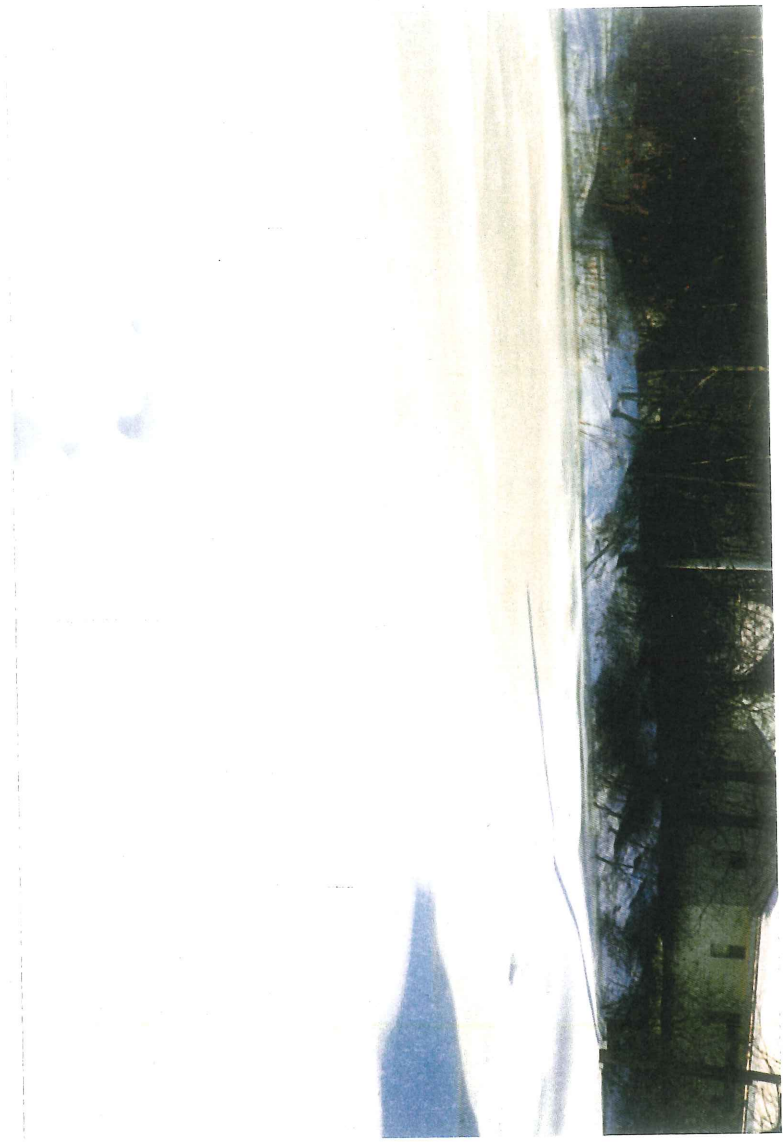




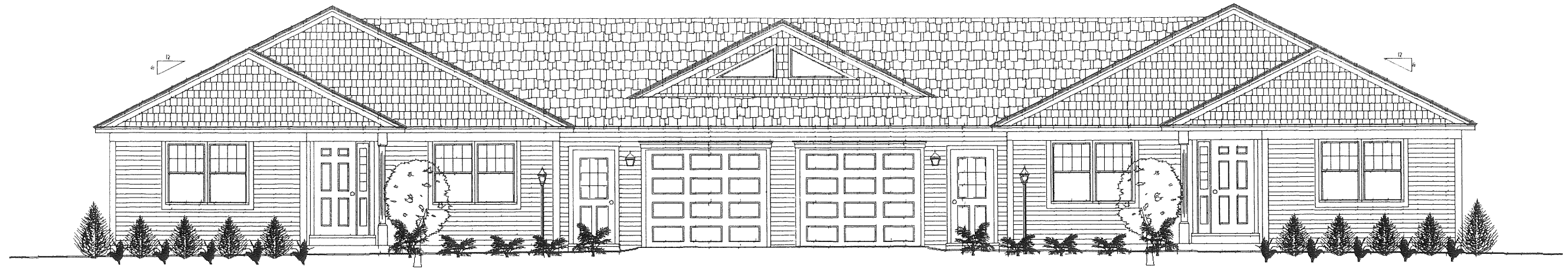




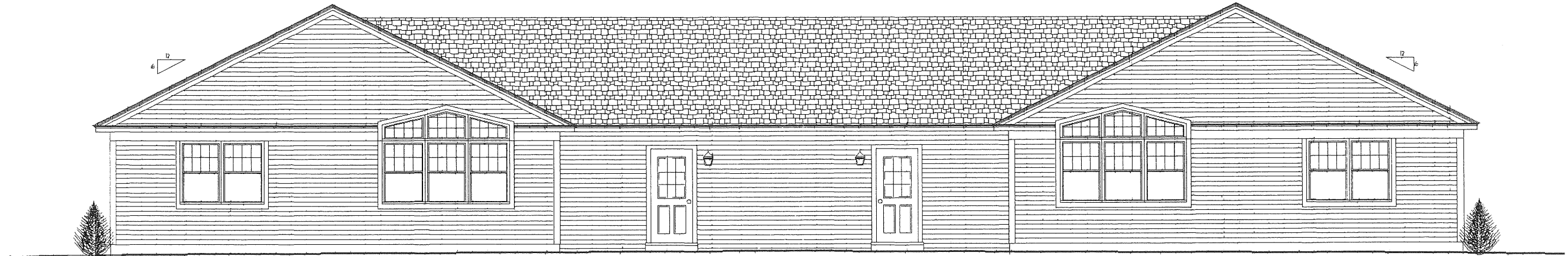




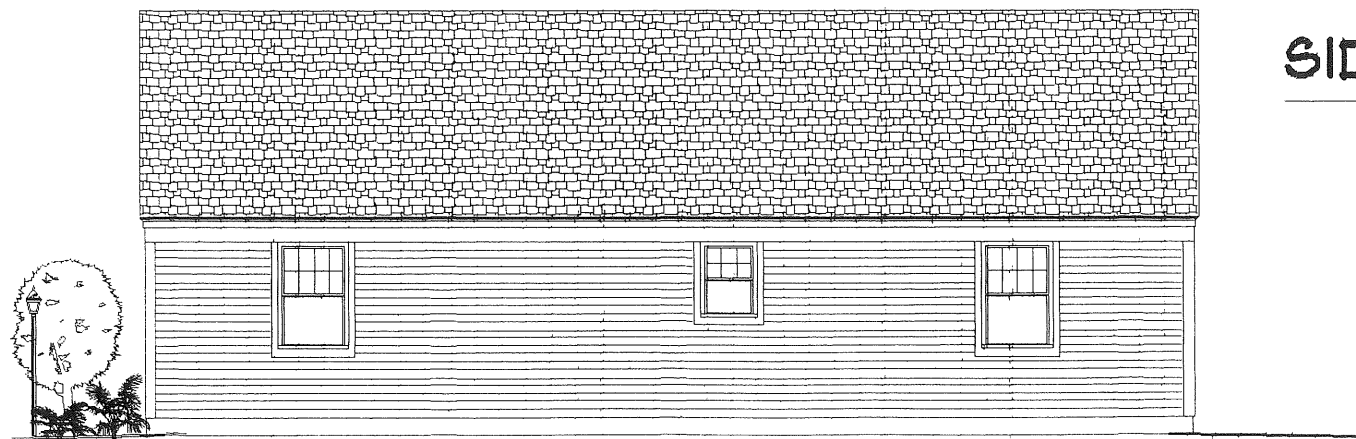




MAIN ELEVATION



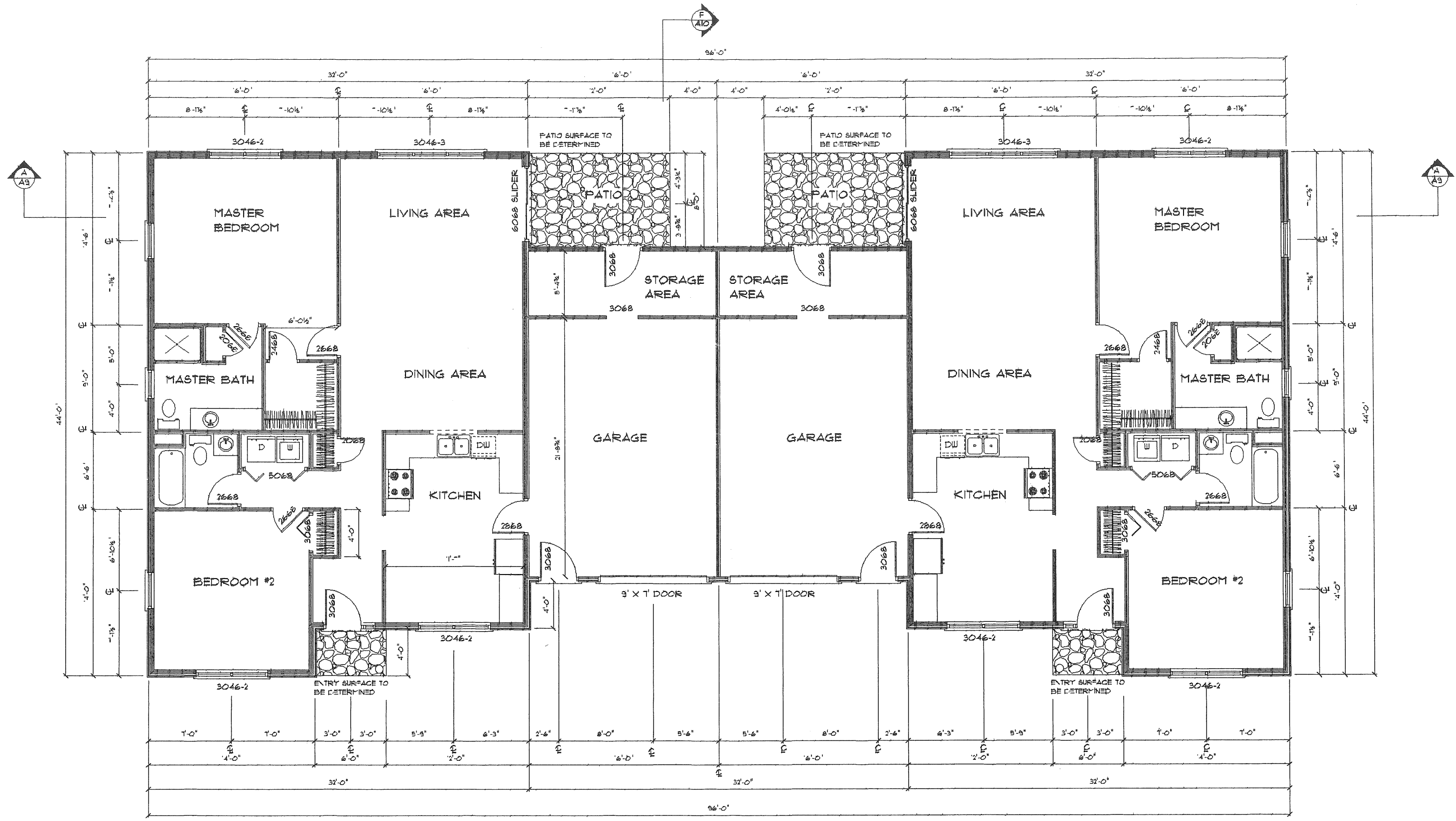
REAR ELEVATION



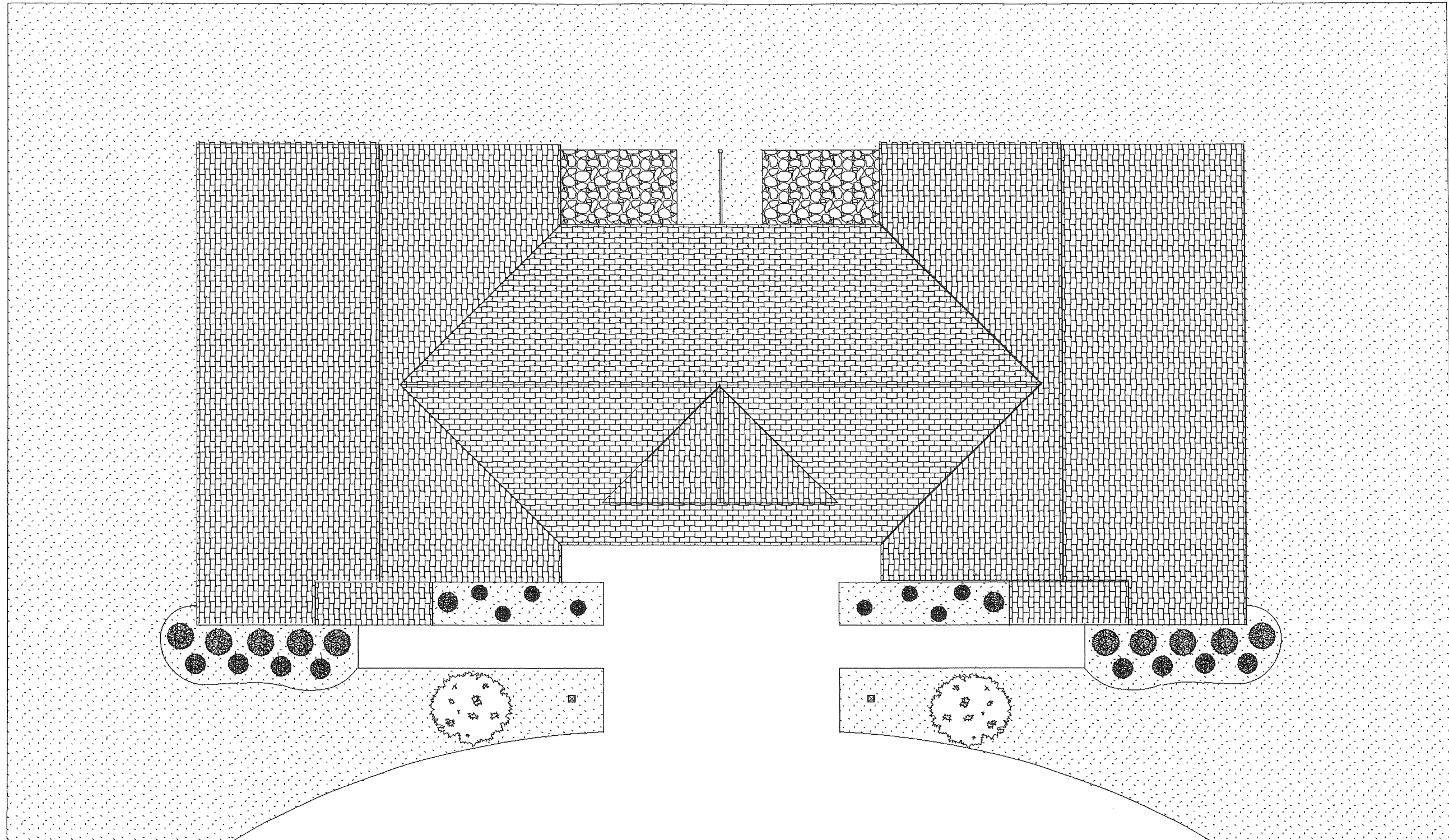
SIDE ELEVATION

JANDIE DEVELOPMENT CORPORAION

2 FLINTLOCK LANE
FALMOUTH MAINE 04105

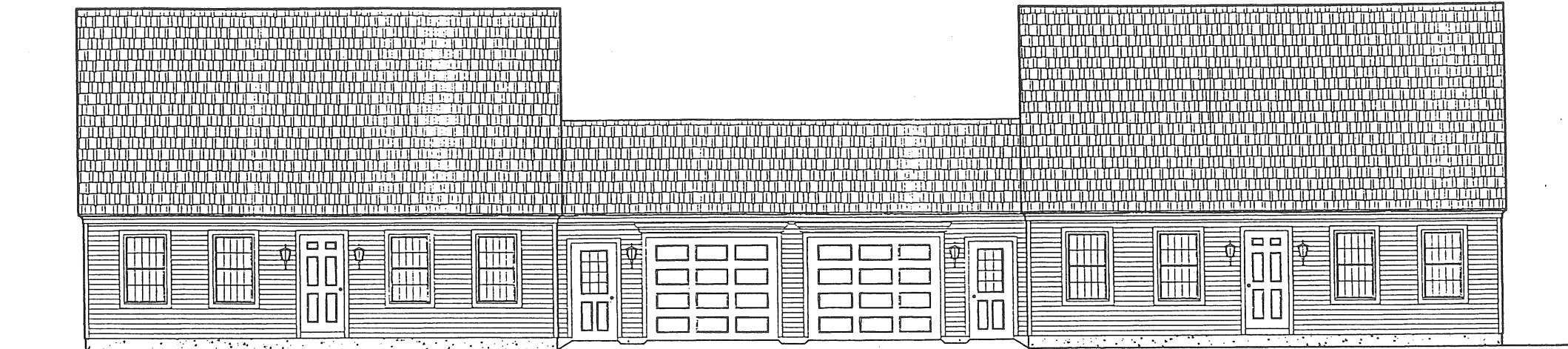


JANDIE DEVELOPMENT CORPORAION
 2 FLINTLOCK LANE
 FALMOUTH MAINE 04105



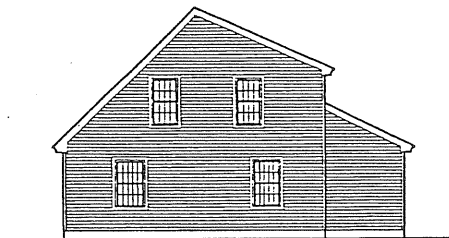
JANDIE DEVELOPMENT CORPORAION

2 FLINTLOCK LANE
FALMOUTH MAINE 04105



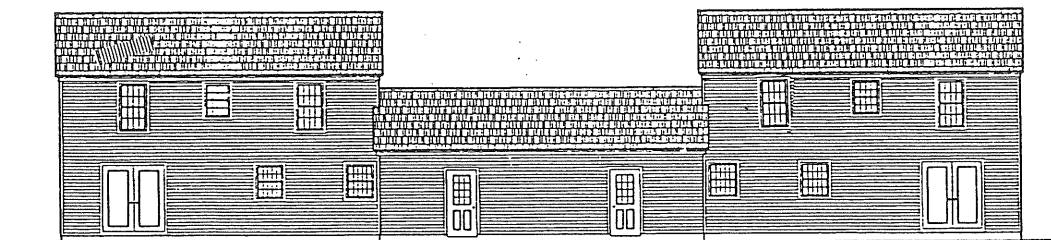
Front Elevation

SCALE: 1/4" = 1'-0"



Side Elevation

SCALE: 1/8" = 1'-0"

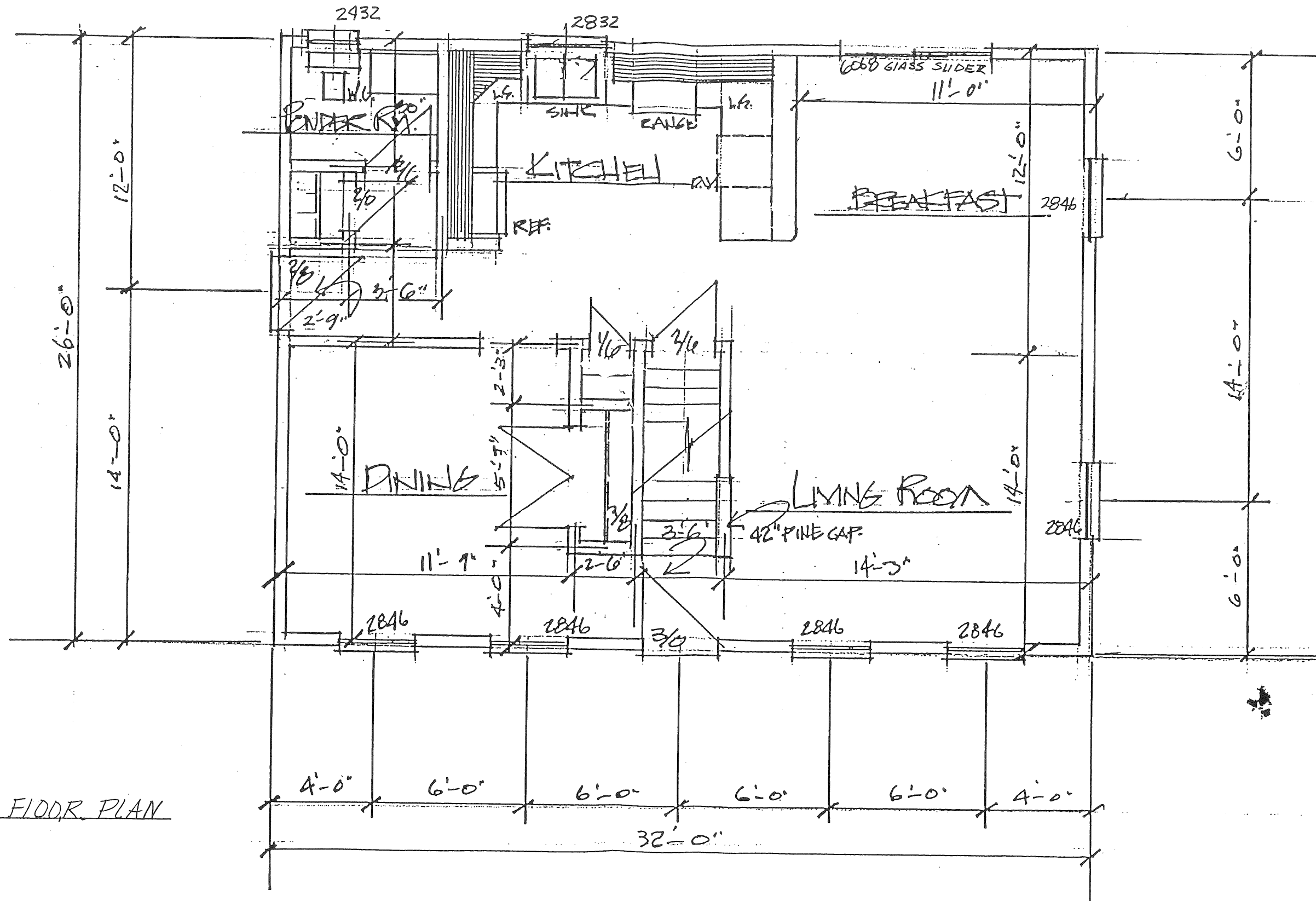


Rear Elevation

SCALE: 1/8" = 1'-0"

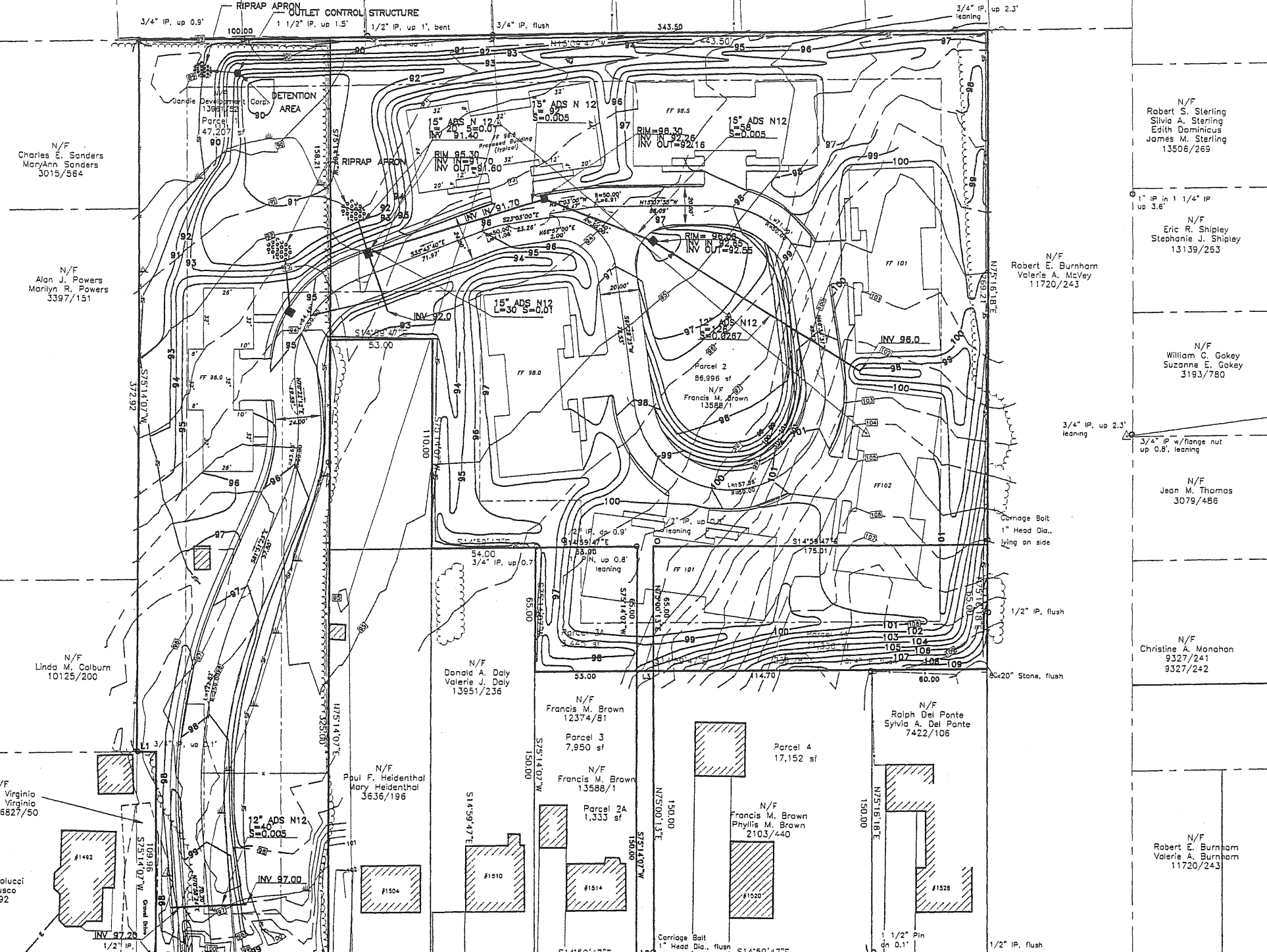
		<p>PROJECT Jandie Development Corporation 2 Flintlock Lane Falmouth, Maine 04105</p>		<p>REV. DRAWING TITLE ELEVATIONS</p> <p>SCALE: AS NOTED DATE: 4/13/99 DRAWN BY: SERA</p>	<p>COTTAGE LAYOUT 1 CODE</p>
--	--	--	--	---	---

FIRST FLOOR PLAN





N/F Patricia A. Haskell 2994/359
 N/F Jon B. Passmore Geraldine Passmore 6379/172
 N/F Kenneth C. Poore Lorraine A. Poore 2662/447
 N/F Gilbert W. Howard Joan T. Howard 2674/207
 N/F Joseph M. Napoleone Anne M. Napoleone 12056/276
 N/F Judith A. Farr 2716/171
 N/F Michael P. Higgins Jennifer L. Higgins 12844/35
 N/F Marie E. Briggs 12275/14
 N/F Robert W. Cook 3059/565
 N/F Marc A. Fortin Sarah E. H. Fortin 7902/216



N/F Robert S. Sterling Silvia A. Sterling Edith Dominicus James M. Sterling 13506/265

N/F Eric R. Shipley Stephanie J. Shipley 13139/263

N/F William C. Gokey Suzanne E. Gokey 3193/780

N/F Jean M. Thomas 3079/486

N/F Christine A. Manahan 9327/241 9327/242

N/F Robert E. Burnham Valerie A. Burnham 11720/243

N/F Linda M. Colburn 10125/200

N/F Donald A. Daly Valerie J. Daly 13951/236

N/F Francis M. Brown 12374/81
Parcel 3 7,950 sf

N/F Francis M. Brown 13588/1
Parcel 2A 1,333 sf

N/F Francis M. Brown Phyllis M. Brown 2103/440

N/F Ralph Del Ponte Sylvia A. Del Ponte 7422/106

N/F John A. Virginia Lena M. Virginia Part of 8827/50

N/F Angela M. Colucci John A. Fusco 11821/192

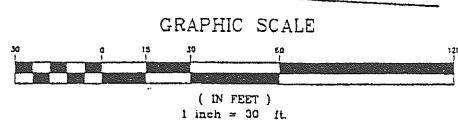
N/F Paul F. Heidenthal Mary Heidenthal 3636/196

REV.	BY	DATE	STATUS	
	SJB	2/23/99	ISSUED FOR: WORKSHOP	457-C100
	SJB	12/22/98	ISSUED FOR: WORKSHOP	457_SITE.DWG

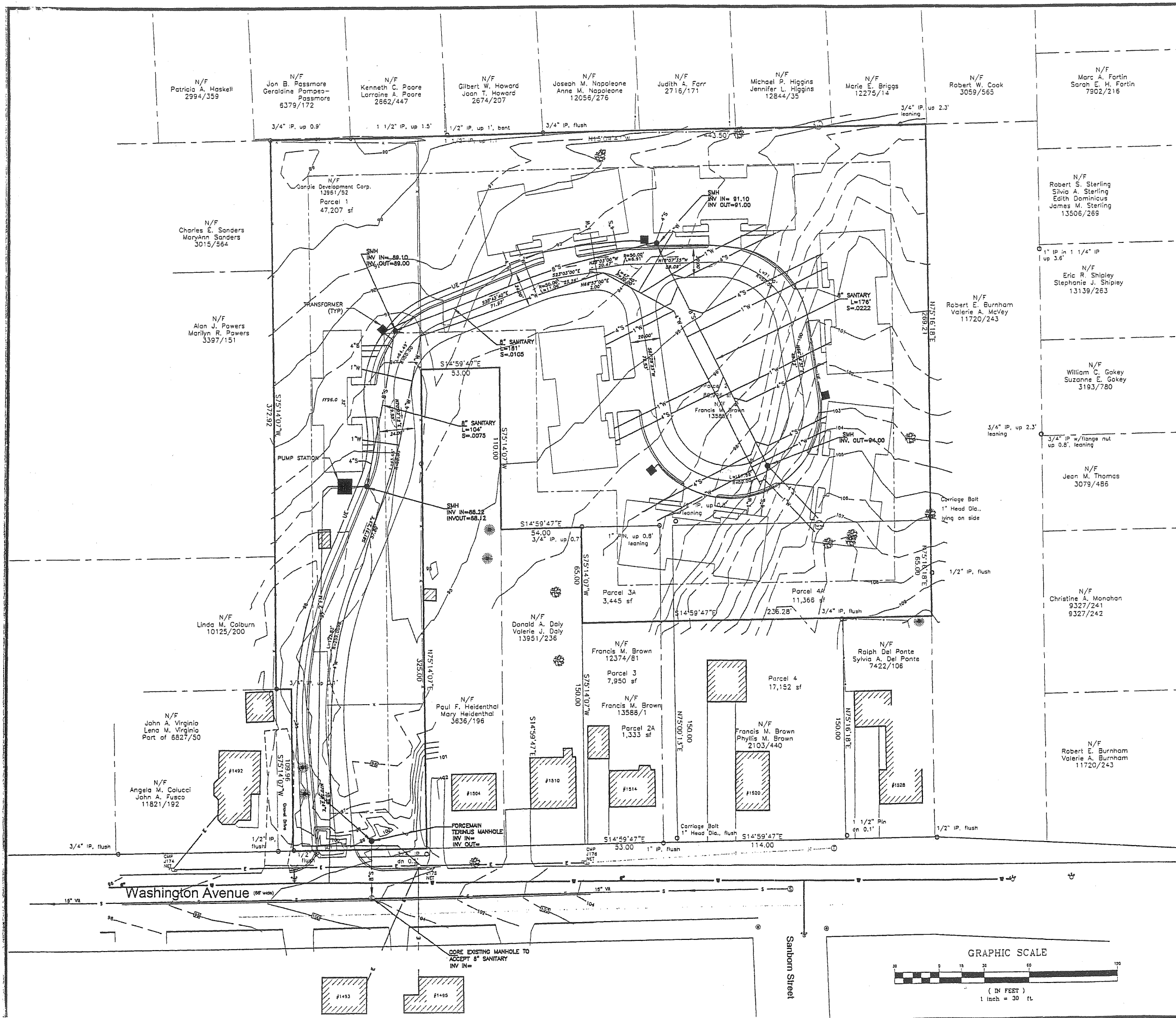
JANDIE DEVELOPMENT CORP.
 DERICE DEVELOPMENT
 CONTRACT NO. 99-1
 GRADING, DRAINAGE
 AND EROSION CONTROL

EER ENVIRONMENTAL
 ENGINEERING &
 REMEDIATION, INC.
 222 ST. JOHN STREET, SUITE 314 PORTLAND, MAINE 04102

DESIGN BY:	SJB
DRAWN BY:	DP
CHECKED BY:	SJB
DATE:	12/22/98
JOB NO.:	457
SCALE:	1"=30'
C-100	
SHEET	1 OF 4



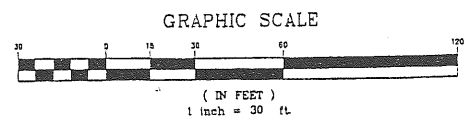
457-C100.DWG



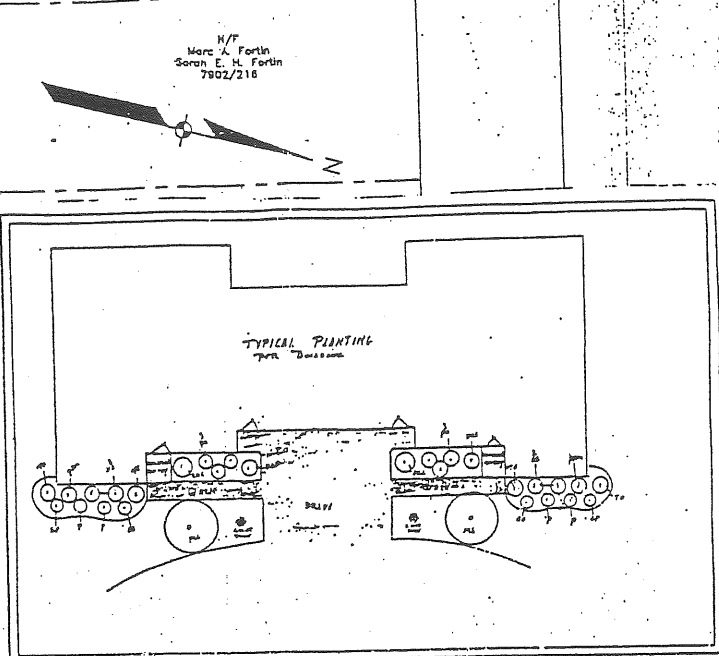
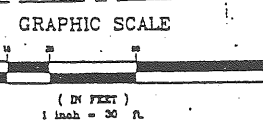
REV.	BY	DATE	STATUS	
	SJB	2/23/99	ISSUED FOR: WORKSHOP	457-C101
	SJB	12/22/98	ISSUED FOR: WORKSHOP	UTILMES.DWG

**JANDIE DEVELOPMENT CORP.
DERICE DEVELOPMENT
CONTRACT NO. 99-1
UTILITIES PLAN**

	DESIGN BY:	SJB
	DRAWN BY:	SJB
	CHECKED BY:	SJB
	DATE:	12/22/98
	JOB NO:	457
SCALE:	1"=30'	
C-101		
SHEET 2 OF 4		



E:\MS7\457-C101.dwg



- References**
- Plan of Portland Highlands owned by U.S. Land Land Co., Inc., by Ernest W. Brown, dated July 22, 1914, recorded in Plan Book 18 Page 15.
 - Plan of the Highlands owned by the City and Suburban Land Trust, by E.C. Jordan, dated September of 1921, recorded in Plan Book 11 Page 72.
 - Plan of Mount Vernon for Charles M. Hanson, by George Braden, dated March of 1911, recorded in Plan Book 37 Page 10.
 - City of Portland Engineering Department, Right of Way Plans, on file at the City of Portland, Department of Public Works.

LEGEND

○	Iron pipe found	□	Catch basin
●	Manurem found	○	Water valve
⊕	Utility pole	⊙	Sewer Manhole
—	Edge of pavement	⊗	Telephone Manhole
—	Curb (granite, unless noted)	⊕	Fire hydrant
—	Wood guard rail	⊗	Deciduous tree
—	Underground telephone	⊗	Coniferous tree
—	Overhead electric	⊗	Shrub
—	Water line	⊗	Guy wire
—	Wire & barbed wire fence	⊗	Wetland flag
—	Sewer line	⊗	Sign
—	Chain link fence	⊗	Spot elevation
—	Stockade fence	⊗	Existing building
—	Existing contour		

- Notes**
- Boundaries are referenced to magnetic north 1994.
 - Book and Page references are to the Cumberland County Registry of Deeds unless otherwise noted.
 - Distances are based on the US Coast and Geodetic Survey 1923 Datum. Benchmark Dredge monument on Auburn Street of second angle point northwesterly of Washington Avenue (Dredge) is inside a concrete fire approximately 2' below the sidewalk. Distance 85.80'.
 - Locations of utilities shown on this plan are approximate, based on field observations and information supplied by others and should be field verified prior to any excavation or design.
 - Tree tags and lot references are to the City of Portland, Maine.
 - See Book 13961, Page 82 for reference to Parcel 1 being subject to any and all encumbrances of record.

PLANT LIST TREES

- 2 SA-ACER RUBRA (RED MAPLE) 10'-12'
- 2 DWG-GRATIASIA WINTER JUNE (SHRUB) 10'-12'
- 2 FR-FRAXINUS BUREYI (GREEN ASH) 10'-12'
- 4 SA-MALUS SPRING SNOW (FLOWERING CRAB) 8'-10'
- 4 SA-MALUS VELUTI (RED BLOSSOMED CRAB) 8'-10'
- 2 PO-PIRUS OBLONGA (FLOWERING PEAR) 8'-10'
- 2 PO-PIRUS OBLONGA (WHITE SPRUCE) 8'-10'
- 2 PO-PIRUS STROBUS (WHITE PINE) 8'-10'
- 2 SA-SPYRGA KETULATA (L.P. TREE) 8'-10'

SHRUBS FOR BUILDING

- 2 TO-TILIA THORNY (VEGETA ARBOREATA) 4'-6'
- 2 PA-PA-RIBESY 8'-10'
- 4 SA-SPREA BRIDGES 1'-2'
- 4 PA-POTENTILLA OBLONGA 15'-18'
- 4 PA-POTENTILLA PRINCEPS 15'-18'
- 2 BO-BUDYRUS EMERALD GATEWAY 15'-18'
- 2 SAC-BUDYRUS COMPACTA (LOW SPREADING BURN) 15'-18'
- 2 PA-POURANANSE AZALEA (KORAN, JALEA) 15'-18'
- 2 DAD-DWR ALBERTA SPICE 15'-18'
- 2 TH-TILIA HATFIELD VEY 8'-10'

PL LAPPIN CO. INC.

CAP # 5455
 LAMP TYPE A-13
 WATTAGE 100 W
 LAMP BALLS 2540
 TEST INTENSIVE C-10°

SCOOTLANDER (EYES) 100'

CONTAINING WEIGHT
 DISTANCE FROM
 SUPPORTABLE POINT

Line Table

L1	S1°45'53"E	10.00
L2	S1°39'47"E	9.19
L3	S1°38'47"E	8.58

Landscaping and Exterior Lighting Plan

MADE FOR
Jandie Development Corp.

1500 Washington Avenue
 Portland, Maine

JOB # 98050
 DATE: 10/1/98
 SCALE: 1"=30'

BOOK # 678
 DISC # F06556
 ACAD 154

Filcomb Associates
 Portland North Business Park
 Falmouth, Maine 04105

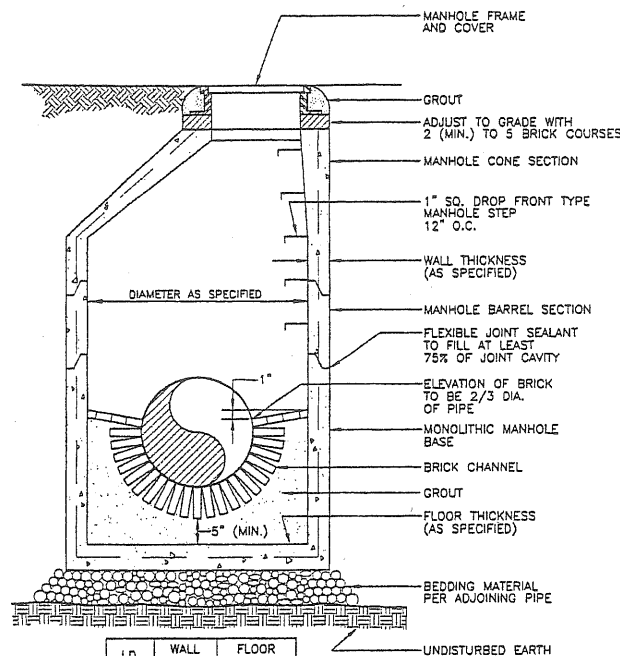
FILE # 7807

This survey conforms to the current standards of the Maine State Board of Registration for Land Surveyors for Category I, Condition 1, except as noted.

Completed:

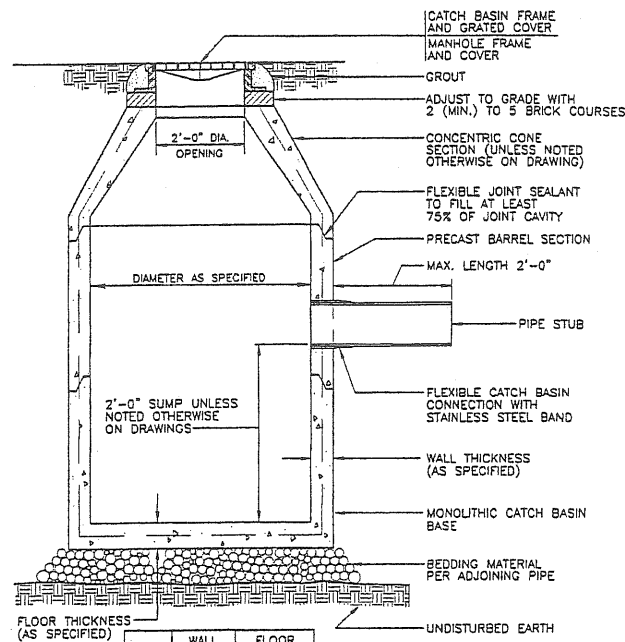
- () by description provided.
- () by spot and use of plan notes.
- () by witness report.

Developer: J. Jandie PLS 2327



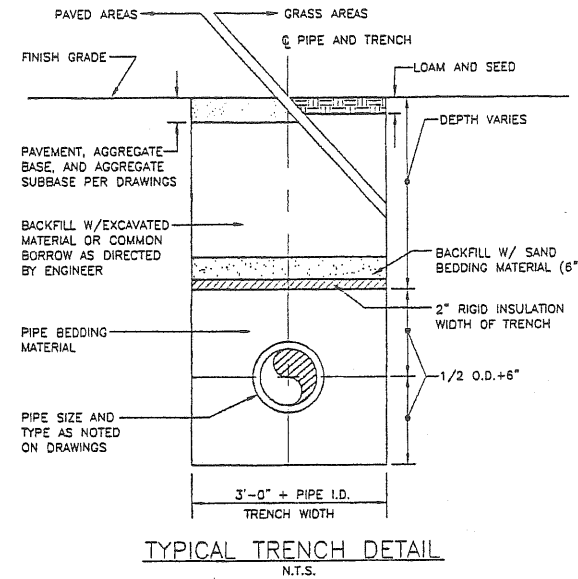
I.D.	WALL WIDTH	FLOOR THICKNESS
4'-0"	5"	5"
5'-0"	6"	6"
6'-0"	7"	6"
8'-0"	8"	8"
10'-0"	10"	9"

PRECAST CONCRETE MANHOLE
N.T.S.

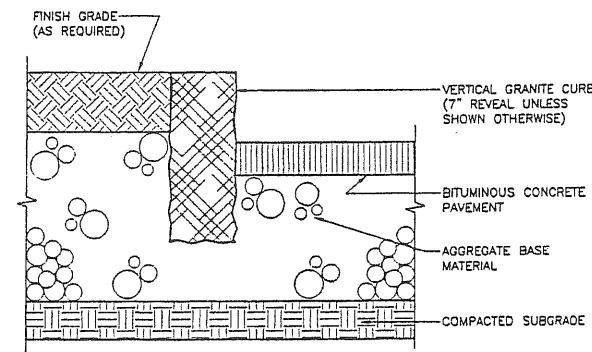


I.D.	WALL WIDTH	FLOOR THICKNESS
4'-0"	5"	6"
5'-0"	6"	6"
6'-0"	7"	6"
8'-0"	8"	8"
10'-0"	10"	9"

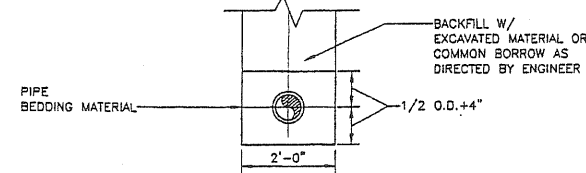
PRECAST CONCRETE CATCH BASIN/DRAIN MANHOLE
N.T.S.



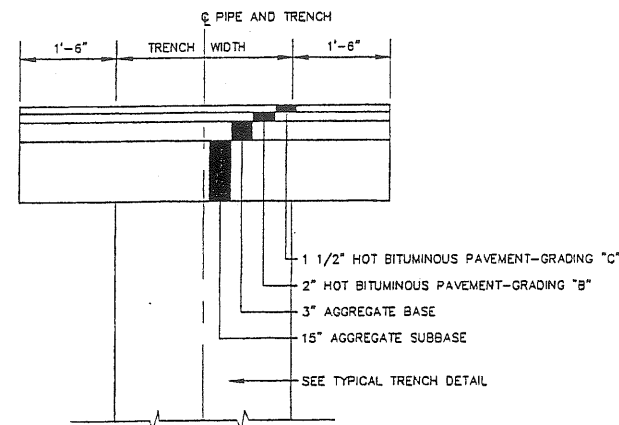
1. SAND BACKFILL AND RIGID INSULATION AS REQUIRED.



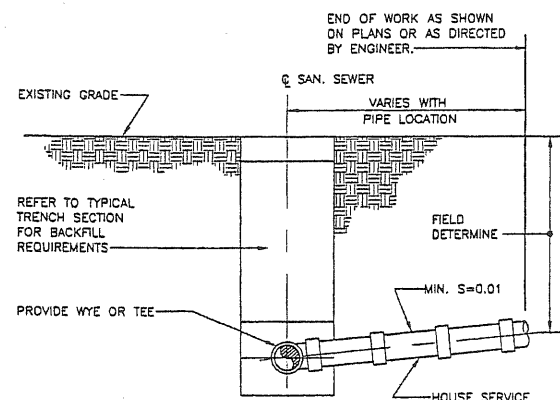
VERTICAL GRANITE CURBING
N.T.S.



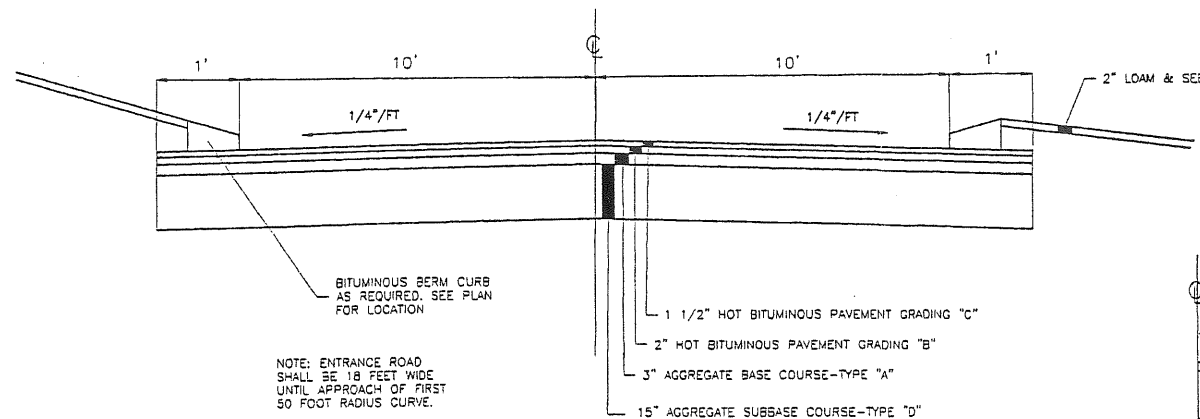
TYPICAL TRENCH SECTION



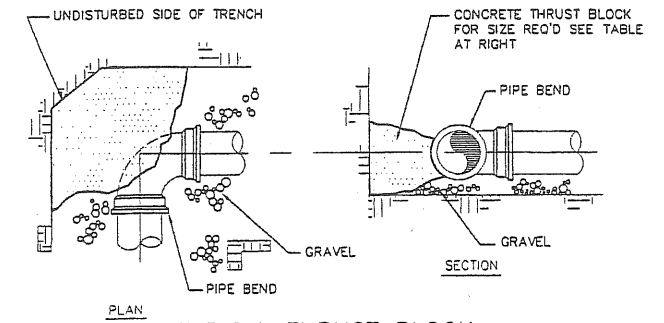
TYPICAL TRENCH PAVING
N.T.S.



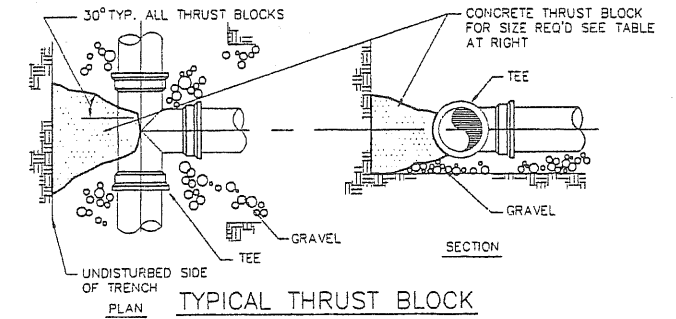
TYPICAL TRENCH SECTION BUILDING CONNECTION
N.T.S.



TYPICAL ROADWAY SECTION (CURBED AREAS)
N.T.S.



TYPICAL THRUST BLOCK PLACEMENT ON BENDS
N.T.S.



TYPICAL THRUST BLOCK PLACEMENT ON TEES
N.T.S.

SIZE REQUIREMENTS FOR CONCRETE THRUST BLOCKS					
BEARING ON UNDISTURBED SOIL (SQUARE FT.)					
FITTINGS	90° BENDS	45° BENDS	TEES & PLUGS	HYDRANTS	
PIPE SIZE	3"	2.0	1.0	1.0	N/A
	6"	3.0	2.0	2.0	6.0
	8"	5.0	3.0	4.0	N/A
	10"	7.0	4.0	5.0	N/A
	12"	10.0	6.0	7.0	N/A
	14"	13.0	7.0	10.0	N/A
16"	17.0	9.0	12.0	N/A	

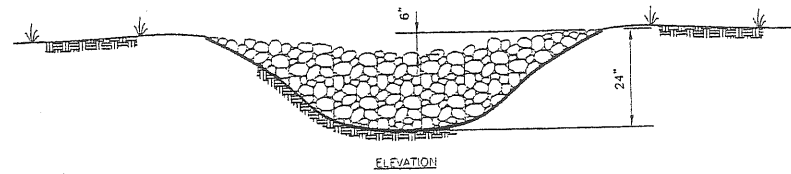
REV.	BY	DATE	STATUS	
	SJB	2/23/99	ISSUED FOR: WORKSHOP	457DTELS.DWG
	SJB	12/22/98	ISSUED FOR: WORKSHOP	457DTELS.DWG

JANDIE DEVELOPMENT CORP.
DERICE DEVELOPMENT
CONTRACT NO. 99-1

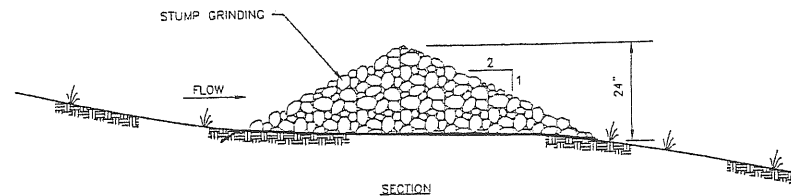
GENERAL CONSTRUCTION DETAILS

EER Environmental Engineering & Remediation, Inc.
222 St. John Street, Suite 314 Portland, Maine 04102

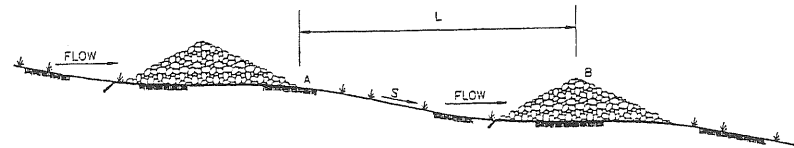
DESIGN BY: SJB
DRAWN BY: OP
CHECKED BY: SJB
DATE: 12/22/98
JOB NO: 457
SCALE:
C-102
SHEET 3 OF 4



ELEVATION



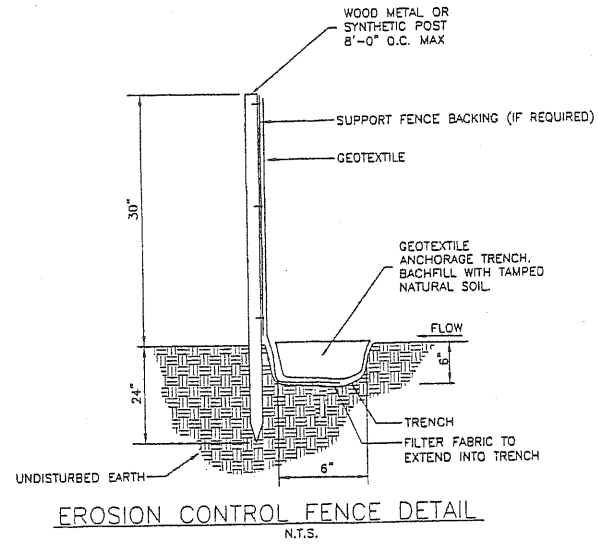
SECTION



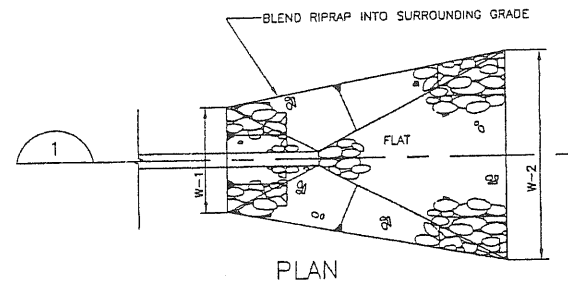
L = DISTANCE SUCH THAT POINTS A & B ARE OF THE SAME ELEVATION
S = SLOPE

S (FT/FT)	L (FT)
0.020	100
0.030	66
0.040	50
0.050	40
0.080	25
0.100	20
0.120	17
0.150	13

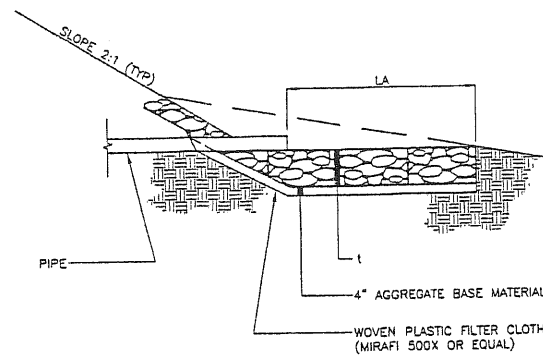
STONE CHECK DAM



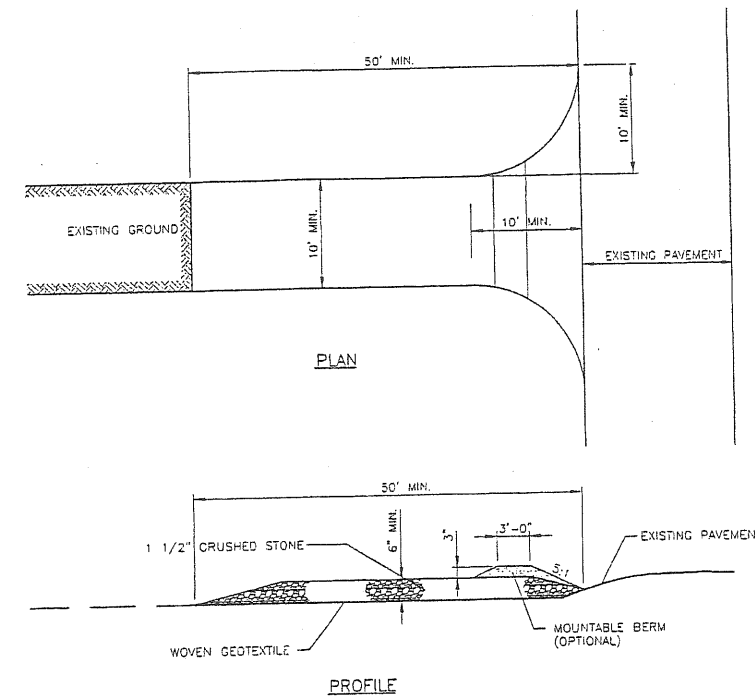
EROSION CONTROL FENCE DETAIL
N.T.S.



PLAN



SECTION 1
RIPRAP APRON DETAIL
N.T.S.



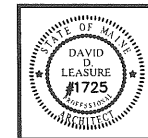
STABILIZED CONSTRUCTION ENTRANCE
N.T.S.

CULVERT SIZE (FT)	RIPRAP		RIPRAP	
	THICKNESS t (INCH)	LENGTH LA (FT) (MIN)	WIDTH W1 (FT)	WIDTH W2 (FT)
12" OR LESS	0.5'	15"	10'	3.0'
15"	0.5'	15"	10'	3.75'
18"	0.5'	15"	10'	4.5'
24"	0.5'	15"	14'	6.0'
30"	0.5'	15"	18'	7.5'
36"	0.5'	18"	24'	9.0'
42"	1.0'	24"	32'	10.5'
48"	1.0'	24"	34'	12'

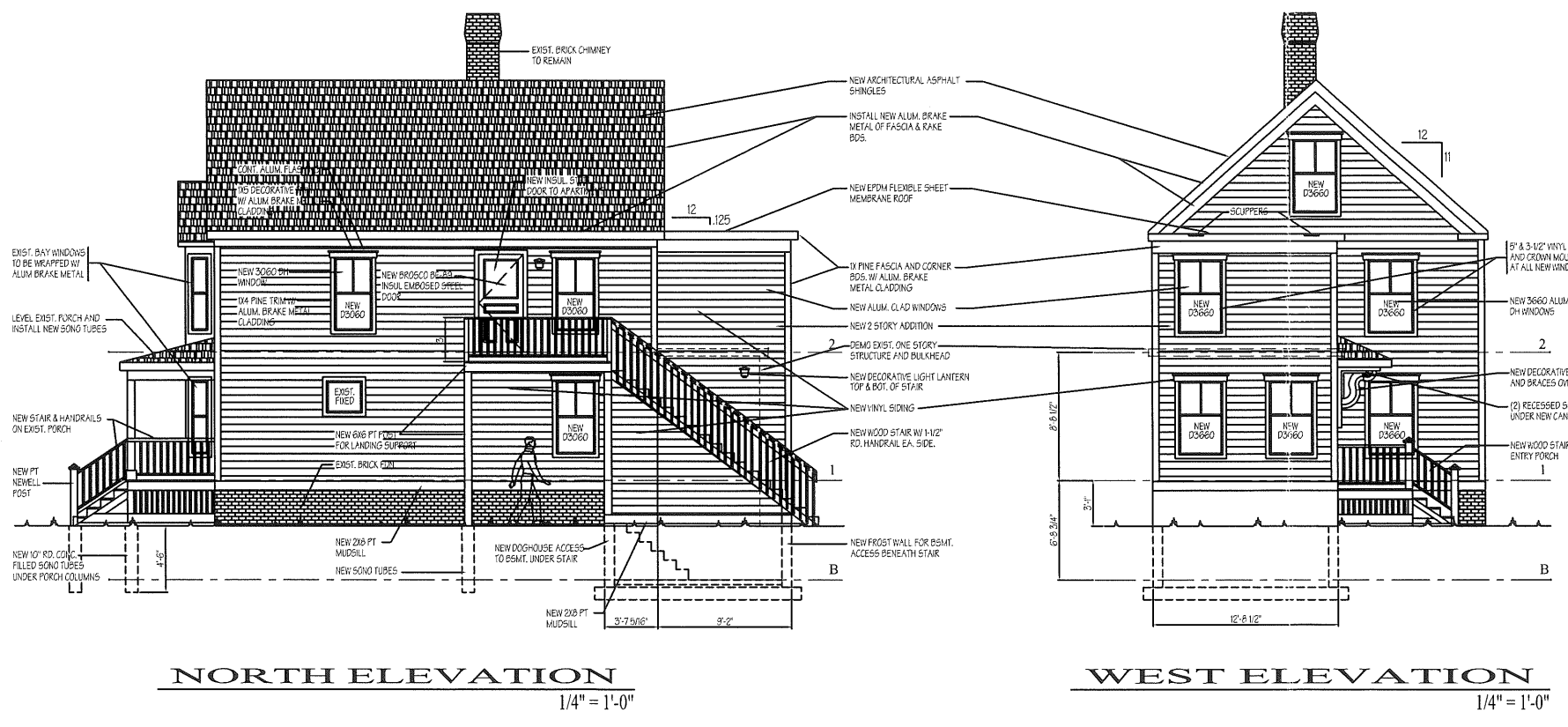
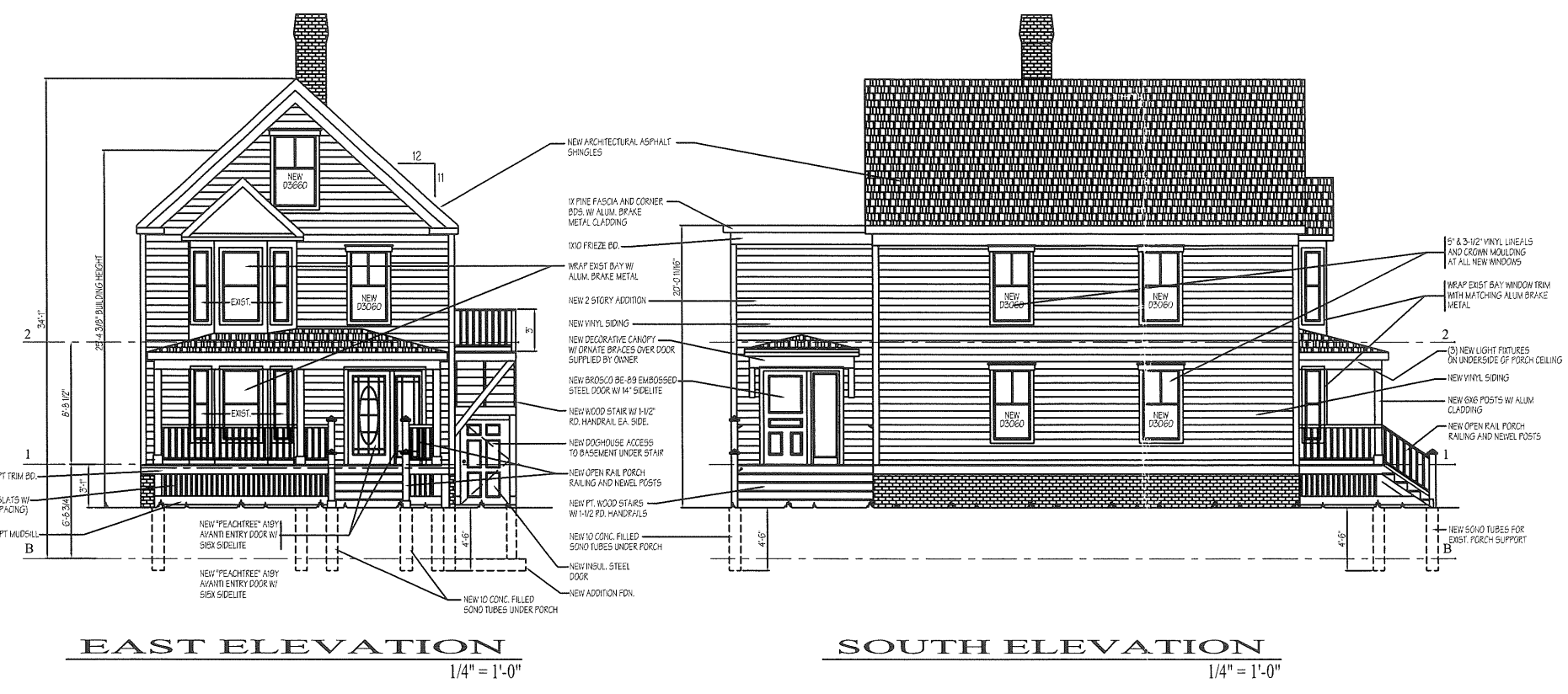
APRON SCHEDULE

REV.	BY	DATE	STATUS
	SJB	2/23/99	ISSUED FOR: WORKSHOP
	SJB	12/22/98	ISSUED FOR: WORKSHOP

JANDIE DEVELOPMENT CORP. DERICE DEVELOPMENT CONTRACT NO. 99-1	
EROSION AND SEDIMENTATION CONTROL DETAILS	
EER ENVIRONMENTAL ENGINEERING & REMEDIATION, INC. 222 St. John Street, Suite 314 Portland, Maine 04102	DESIGN BY: SJB DRAWN BY: DP CHECKED BY: SJB DATE: 12/22/98 JOB NO: 457 SCALE: C-103 SHEET 4 OF 4



DATE	DESCRIPTION
MARCH 27, 2000	PERMITTING
MARCH 27, 2000	REVISION



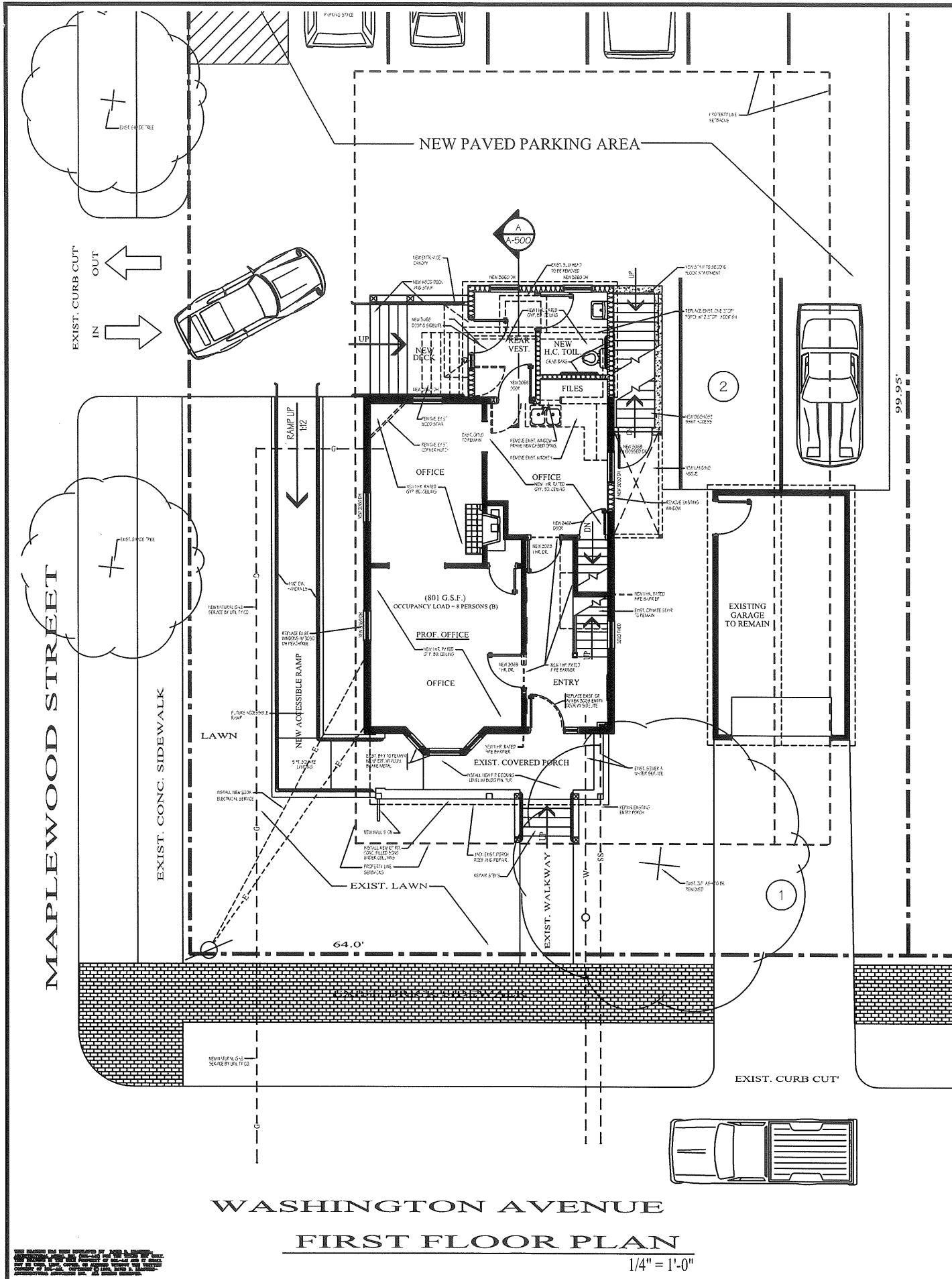
DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
 14 SUNSET ROAD FALMOUTH, MAINE PH. (207) 797-8661
 PROJECT NO. 991204 PROJECT TITLE: 1344 WASHINGTON AVENUE
 SCALE: 1/4" = 1'-0" SHEET TITLE: EXTERIOR ELEVATIONS

REL. FOR PERMITTING - MARCH 27, 2000
 NOT FOR CONSTRUCTION

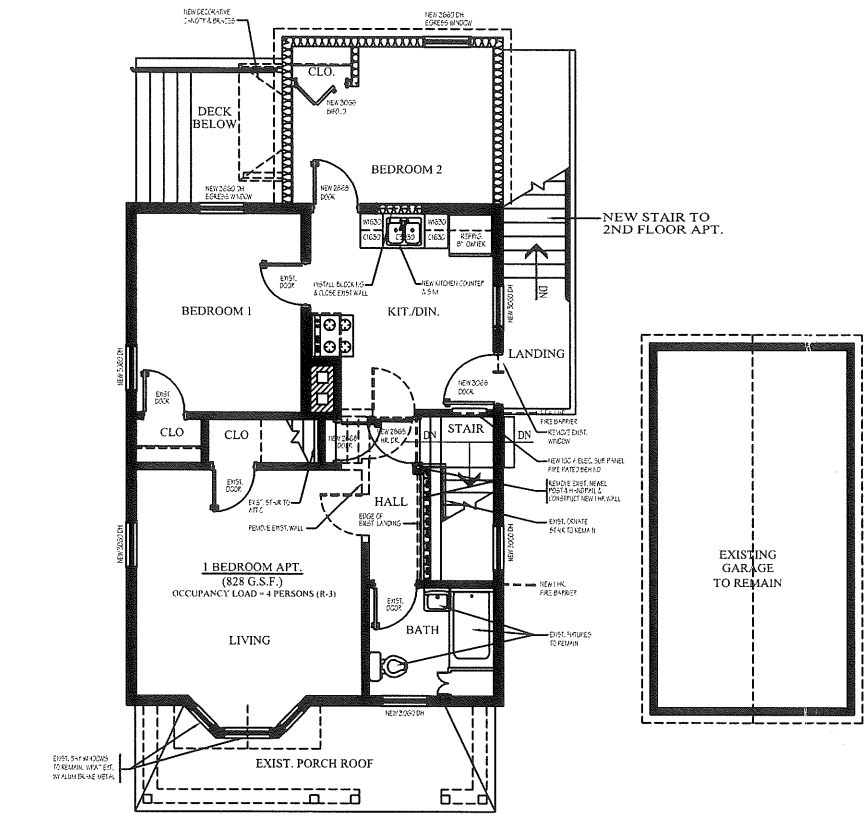
PROF. OFFICE/RENTAL UNIT RENOVATION
 1344 WASHINGTON AVENUE
 PORTLAND, MAINE

A-400

NOT FOR CONSTRUCTION
 THIS DRAWING IS THE PROPERTY OF DAVID D. LEASURE ARCHITECTURAL ASSOCIATES INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DAVID D. LEASURE ARCHITECTURAL ASSOCIATES INC.



WASHINGTON AVENUE
FIRST FLOOR PLAN
 1/4" = 1'-0"



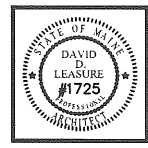
SECOND FLOOR PLAN
 1/4" = 1'-0"
 WASHINGTON AVENUE

- PLAN LEGEND
- EXISTING WALL TO REMAIN
 - - - - NEW WALL
 - - - - EXISTING WALL TO BE REMOVED

REL. FOR CONSTRUCTION - MARCH 20, 2000
 NOT FOR CONSTRUCTION

PROF. OFFICE/RENTAL UNIT RENOVATION
 1344 WASHINGTON AVENUE
 PORTLAND, MAINE

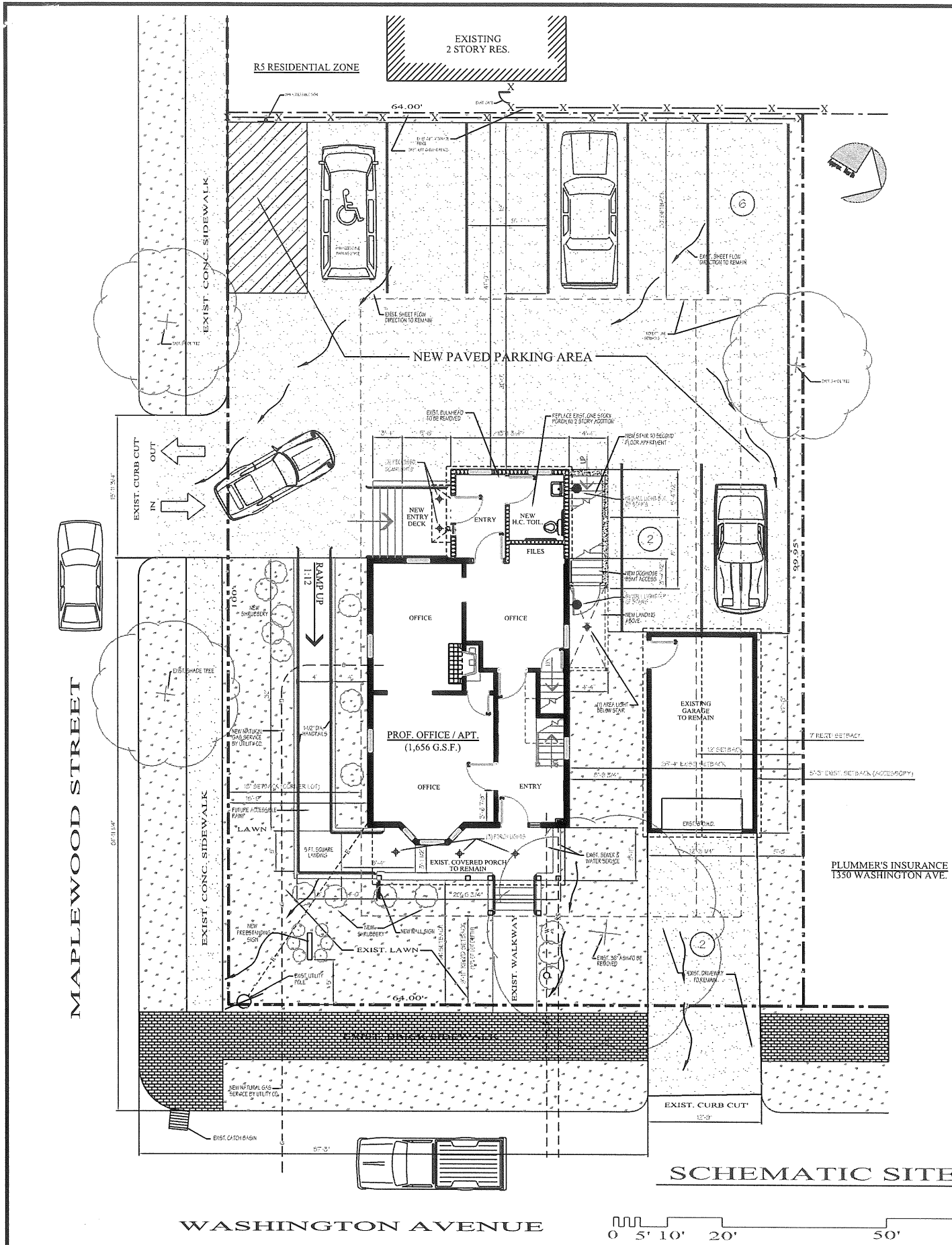
A-200



DATE FOR PERMITTING	MARCH 20, 2000
DATE FOR CONSTRUCTION	MARCH 20, 2000

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
 14 SUNSET ROAD FALMOUTH, MAINE
 PROJECT NO. 991204 PROJECT TITLE:
 SCALE: 1/4" = 1'-0" SHEET TITLE: FLOOR PLANS

PH. (207) 797-8661



SCHEMATIC SITE PLAN

1" = 5'-0"



SITE DATA

- RECORD OWNER OF PROPERTY: "TEKI LEASURE" 14 SUNSET ROAD, FALMOUTH, MAINE 04105
- PARCEL ZONING: R-P ZONE (RESIDENCE-PROFESSIONAL)
- AREA OF PARCEL = 6,060 S.F. = 0.15 ACRES
- PERIMETER BOUNDARY INFORMATION TAKEN FROM QUICK CLAIM DEED AND FIELD SURVEY PERFORMED BY ARCHITECTURAL ASSOCIATES INC. (NOVEMBER 1999)
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND REPORT ANY CONFLICTS TO OWNER'S REPRESENTATIVE
- PROPOSED BUILDING USE: CHANGE OF USE SINGLE-FAMILY RESIDENTIAL TO MIXED BUSINESS & RESIDENTIAL
FIRST FLOOR: PROFESSIONAL OFFICE (B) = 828 G.S.F.
SECOND FLOOR: APARTMENT (R-3) = 828 G.S.F.

SPACE & BULK REQUIREMENTS: R-P (RESIDENTIAL-PROFESSIONAL ZONE)

REQUIREMENT	EXISTING	PROPOSED	COMPLIANCE
MIN. LOT SIZE = 6,000 S.F.	EXISTING LOT SIZE = 6,060 S.F. (0.15 ACRES)		(CONFORMING)
MIN. STREET FRONTAGE = 60 FT.	STREET FRONTAGE (CORNER LOT) WASHINGTON AVENUE = 64.67 FT. MAPLEWOOD STREET = 99.25 FT.		(CONFORMING)
MIN. FRONT YARD - 10% LOT DEPTH = 9.25' (PRINCIPAL BUILDING)	MIN. FRONT YARD PROVIDED = 14 FT. (PRINCIPAL BUILDING)		(CONFORMING)
MIN. SIDE YARD (EAST) = 12 FT. (PRINCIPAL BUILDING)	MIN. SIDE YARD PROVIDED (EAST) = 26'-4" (PRINCIPAL BUILDING)		(CONFORMING)
MIN. SIDE YARD (EAST) = 7 FT. (ACCESSORY BUILDING)	MIN. SIDE YARD PROVIDED (EAST) = 9'-2" (ACCESSORY BUILDING)		(NON-CONFORMING-EXISTING)
MIN. SIDE YARD (WEST) = 15 FT. (PRINCIPAL BUILDING)	MIN. SIDE YARD PROVIDED (WEST) = 15' (PRINCIPAL BUILDING)		(CONFORMING)
MIN. REAR YARD = 20 FT. (PRINCIPAL BUILDING)	MIN. REAR YARD PROVIDED = 41'-2" FT. (PRINCIPAL BUILDING)		(CONFORMING)
MAX. BUILDING HEIGHT = 45 FT.	EXIST. BUILDING HEIGHT = 25'-4" FT. (MEDIAN HEIGHT)		(CONFORMING)
MAX. SITE IMPERVIOUS RATIO = 0.80	PROPOSED SITE = 1,501 S.F. IMPERVIOUS / 6,416 S.F. TOTAL = 0.23 (CONFORMING)		
FLOOR AREA RATIO = 0.65	PROPOSED FLOOR = 1,602 S.F. FLOOR AREA / 6,416 S.F. LAND AREA = 0.25 (CONFORMING)		

- FACILITY UTILITIES:**
THE BUILDING IS NOT SPRINKLERED.
THE BUILDING IS CURRENTLY SERVED BY MUNICIPAL WATER AND SEWER.
NEW OVERHEAD ELECTRICAL AND NATURAL GAS SERVICES WILL BE INSTALLED BY RESPECTIVE UTILITIES IN ACCORDANCE WITH GOVERNING CODES AND REGULATIONS.
- OTHER REQUIREMENTS:**
ALL DISTURBED AREAS SHALL BE LOGGED AND SEEDED.
ALL SITE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF PORTLAND'S STANDARDS.
- OFF STREET LOADING:**
1,656 S.F. FLOOR AREA. NO LOADING BAY REQUIRED
- OFF STREET PARKING:**
828 S.F. PROF. OFFICES @ 1 VEHICLE PER 400 S.F. = 2.07 VEHICLES REQUIRED
828 S.F. RESIDENTIAL @ 2 VEHICLES PER DWELLING UNIT = 2 VEHICLES REQUIRED
TOTAL PARKING SPACES REQUIRED = 4 VEHICLES = 4.07 VEHICLES TOTAL REQ'D
TOTAL PARKING SPACES PROVIDED = 4 VEHICLES PROVIDED = 2 VEHICLES PROVIDED

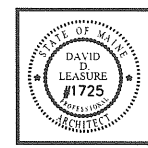
DESIGN AND BUILDING DATA

- CONSTRUCTION TYPE:** BOCA 5B NFPA (0,0,0) COMBUSTIBLE UNPROTECTED
- FIRE PROTECTION:**
• NOT SPRINKLERED
- OCCUPANCY CLASSIFICATION:**
• PROF. OFFICE (FIRST FLOOR) (B) BUSINESS
• 2 BEDROOM APT. (SECOND FLOOR) (R-3) RESIDENTIAL
- OCCUPANCY LOAD:**
• PROF. OFFICE (FIRST FLOOR) 828 G.S.F. @ 1/100 G.S.F. = 8.28 PERSONS
• 2 BEDROOM APT. (SECOND FLOOR) 828 G.S.F. @ 1/200 G.S.F. = 4.14 PERSONS
- FIRE BARRIER SEPARATION WALLS:** NOT SPRINKLERED (NOT SPRINKLERED)
• STAIR ENCLOSURES = 1 HR. (LESS THAN 3 STORIES)
• SEPARATION OF MIXED USES = 1 HR.
• ROUTINE OFFICE STORAGE = NO RATING
• BASEMENT FROM FIRST FLOOR = NO RATING (BSMT. EXITS DIRECTLY TO GRADE.)
- TRAVEL DISTANCE:**
• TRAVEL DISTANCE LIMIT (ONE EXIT) = 75 FT.
- BUILDING EXITS:**
• BUSINESS USE: 1 EXIT PERMITTED WITH LESS THAN 10 OCCUPANTS AND 75 FT. OF TRAVEL.
• RESIDENTIAL USE: 1 EXIT PERMITTED WITH LESS THAN 10 OCCUPANTS AND MAX. 75 FT. OF TRAVEL.

REL. FOR PLAN. BD. - MARCH 27, 2000
NOT FOR CONSTRUCTION

PROF. OFFICE/RENTAL UNIT RENOVATION
1344 WASHINGTON AVENUE
PORTLAND, MAINE

C-200



REL. FOR PLAN. BD. REVIEW	MARCH 27, 2000
DATE OF REVIEW	MARCH 27, 2000
DATE OF PLAN	MARCH 27, 2000

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
14 SUNSET ROAD FALMOUTH, MAINE
PH. (207) 797-8661
PROJECT NO. 991204 PROJECT TITLE: SCHEMATIC SITE PLAN
SCALE: 1" = 5'-0"

Zoning Division
Marge Schmuckal
Zoning Administrator



Department of Urban Development
Joseph E. Gray, Jr.
Director

CITY OF PORTLAND

David Leasure
14 Sunset Road
Falmouth, ME 04105

March 22, 2000

RE: 1344 Washington Avenue - R-P zone - 344-C-004

Dear Mr. Leasure,

I am in receipt of your building permit to change the use, add a new parking area, construct a small new addition, and to make interior changes. I can not complete my review until all the proper permits have been applied for. I have attached a copy of the site plan review requirements. It is required that you first apply for a minor site plan review as outlined under section 14-522. Both your new parking and your new construction would require you to make such an application.

I have also included a copy of a site plan review pre-application for your convenience. You should return your completed application with all the required attachments to our office at Room 315. In the mean time, your building permit application will be on hold pending site plan approvals and any revisions.

Very truly yours,


Marge Schmuckal
Zoning Administrator

CC: ✓ Alex Jaegerman, Chief Planner
Code Enforcement Front Staff
Mark Adelson
File