

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED		Permit No: 02-0267	Issue Date: APR 12 2002	CBL: 344 C003001
Location of Construction: 11 Maplewood St		Owner Name: Marley Boyd P & Anne L Jts	Owner Address: 11 Maplewood St	Phone: 207-878-3224
Business Name: n/a		Contractor Name: Sterling Mathews	Contractor Address: 174 Weeks Road Gorham	Phone: 2078398980
Lessee/Buyer's Name n/a		Phone: n/a	Permit Type: Alterations - Dwellings	Zone: R-5

Past Use: Single Family	Proposed Use: Single Family / Enclose existing 4' x 7'6" side porch to be a mudroom.	Permit Fee: \$37.00	Cost of Work: \$1,500.00	CEO District: 2
Proposed Project Description: Enclose 4' x 7'6" side porch.		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied N/A Signature:		INSPECTION: Use Group: R3 Type: SB BOCA 1999 Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: N/A Date:				

Permit Taken By: gg	Date Applied For: 03/27/2002	Zoning Approval		
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 4/4/02	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

Left message w/ contractor. 1111

Spoke w/ contractor - porch is existing w/ roof -
all non bearing work to enclose porch. No
structural - will add headers also. TM

4/17/02 - Framing completed - or to close in - no
stairs involved only enclosure. TM

Application ID Number: 2-0267

Department: Zoning

Status: Approved with Conditions

Reviewer: Marge Schmuckal

Comments: 11 Maplewood St

Approval Date: 04/04/2002

Given On Date: 03/29/2002

City Council Review Name: Marge Schmuckal Date: []

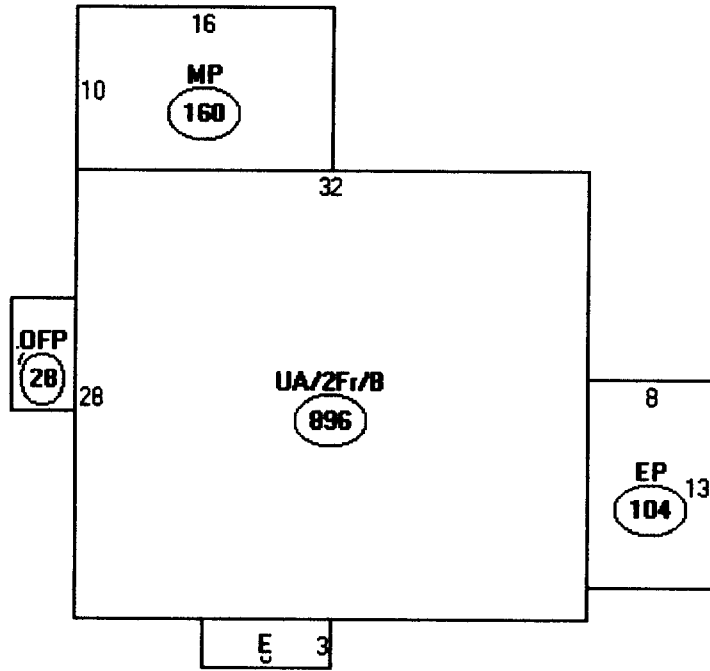
This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.

All setbacks are measured from PROPERTY lines. It is the OWNER'S responsibility to know where these lines are located.

Created Date: 03/28/2002 By: gg Updated Date: 04/04/2002 By: mes



<u>Descriptor/Area</u>	
A: UA/2Fr/B	896 sqft
B: OFF	28 sqft
C: MP	160 sqft
D: EP	104 sqft
E: OFF	24 sqft

Section A, B, and C are areas to be enclosed.

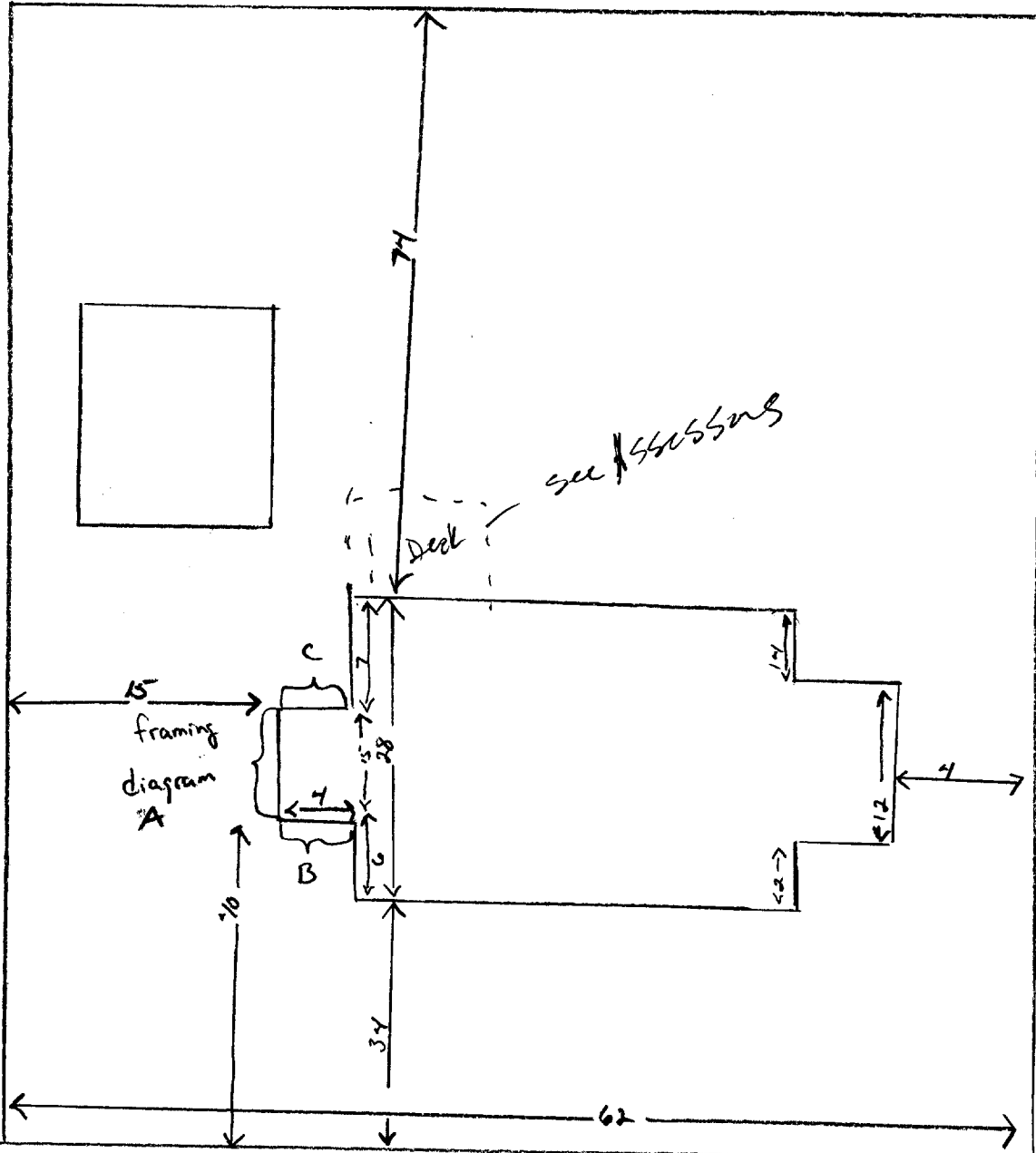
$7731 \# \times 40\% = (3092.4 \#) \text{ MAX.}$

160
896
104
24
28

1212

REAR - 20' req - 74' sh.
FRONT - 20' req - 40' sh.
SIDE - 1 story - 8' req - 15' sh.

R-5



marley Plot plan

maplewood st.

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

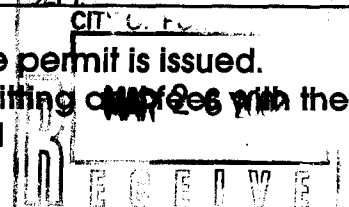
Location/Address of Construction: <u>11 Maplewood St.</u>		
Total Square Footage of Proposed Structure		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>344</u> Block# <u>C</u> Lot# <u>003</u>	Owner: <u>Boyd & Anne Marley</u>	Telephone: <u>878-3224</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone:	Cost Of Work: \$ <u>1500.00</u> Fee: \$ <u>37.00</u>
Current use: <u>Residence</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>Mud room 4' x 7 1/2'</u>		
Project description: <u>Enclose existing side porch with walls & doors.</u>		
Contractor's name, address & telephone: <u>Stirling Matthews 174 Weeks Rd</u>		
Who should we contact when the permit is ready: <u>Anne Marley & J</u> <u>Statham 04038</u>		
Mailing address: <u>11 Maplewood St</u> <u>839 8980</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>878-3224</u> <u>J</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

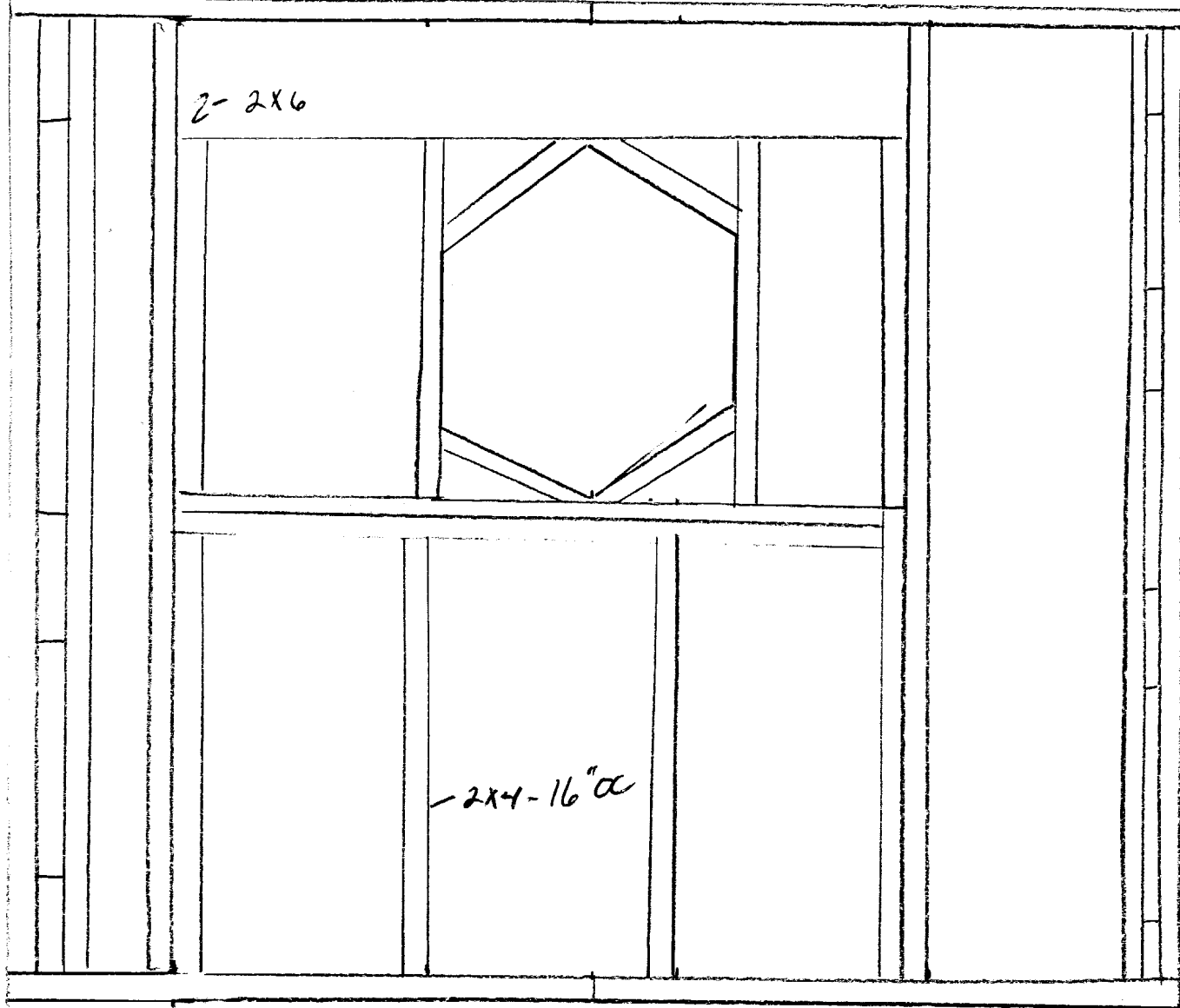
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Signature of applicant: <u>Anne J Marley</u>	Date: <u>3/24/02</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting ~~charges~~ with the Planning Department on the 4th floor of City Hall



existing roof



2- 2x6

- 2x4-16"OC

Proposed
new
framing

existing deck

Marley 11 maplewood st

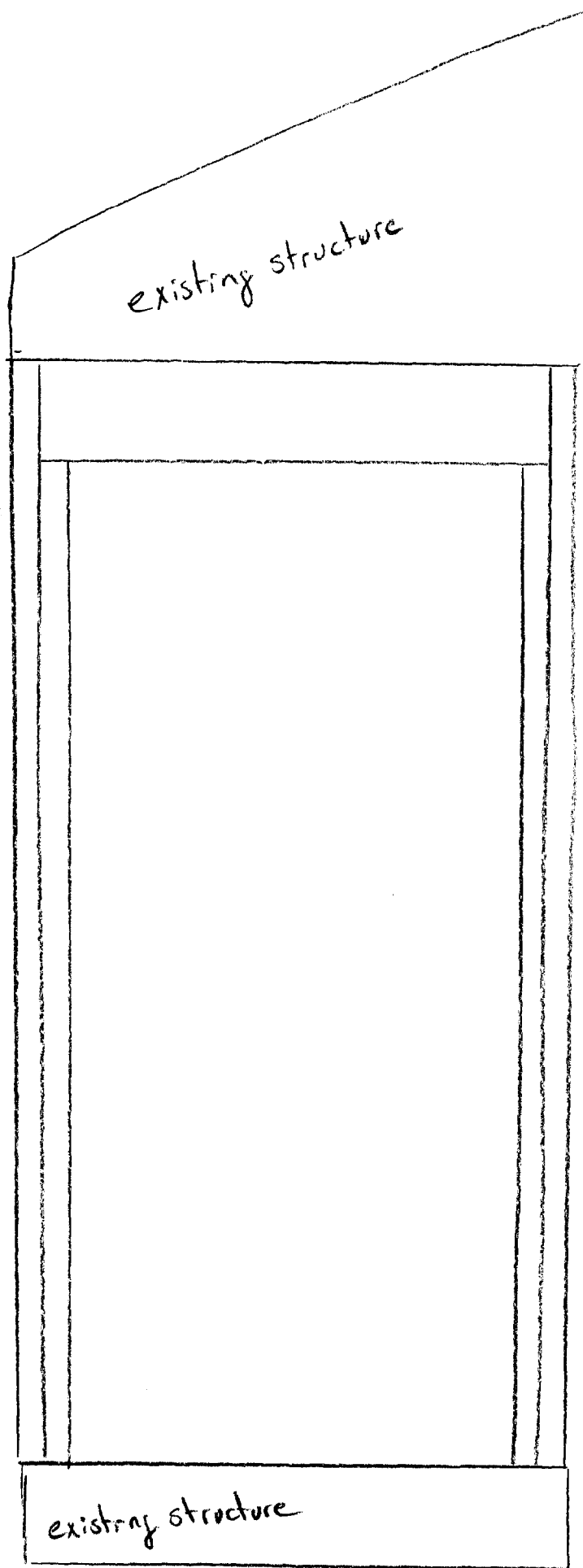


diagram B & C = same framing

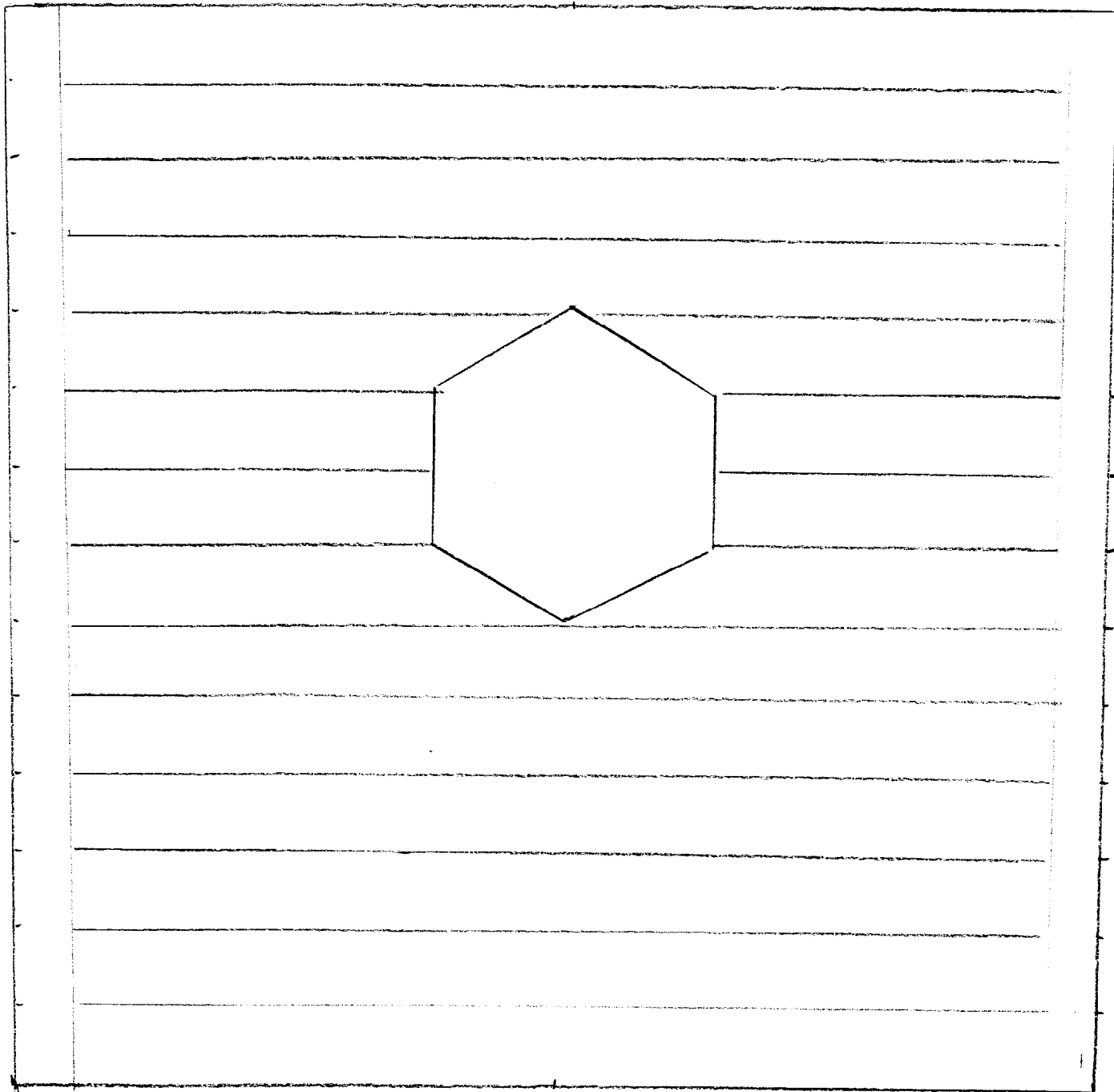
Marley 11 maplewood st

Window and door schedule

- 1 Vinyl clad octagon window
- 2 full view 32" stormdoors

Marley 11 maplewood st.

existing structure



new elevation
white vinyl
siding.

existing structure

marley 11 maplewoodst.

finish view
diagram Band C

New
door
and white
vinyl
siding

existing structure.

existing structure

