

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

BUILDING DEPARTMENT

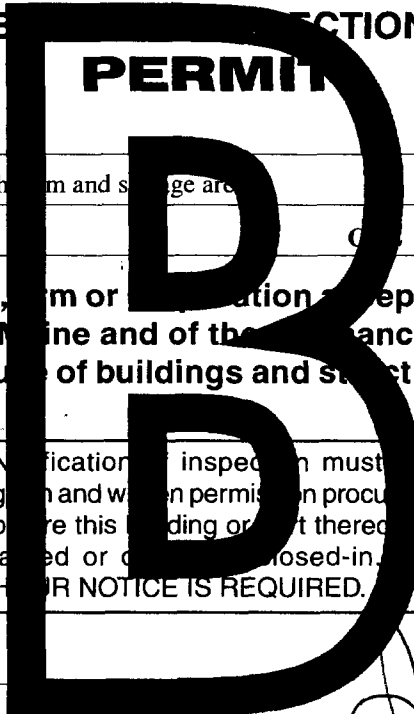
PERMIT

Permit Number

PERMIT ISSUED

SEP - 6 2005

CITY OF PORTLAND



Please Read Application And Notes, If Any, Attached

This is to certify that Puglisi Marion /M Brewer

has permission to Renovations to 3rd floor bathroom and storage area

AT 295 Allen Ave

344 B009001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is altered or closed-in. HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____
Department Name

Janie Boule 9/6/05
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1158	Issue Date: PERMIT ISSUED SEP - 6 2005	CDL: 344 B009001
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Location of Construction: 295 Allen Ave	Owner Name: Puglisi Marion	Owner Address: 295 Allen Ave	Phone:
Business Name:	Contractor Name: M Brewer	Contractor Address: 91 Bell St Portland	Phone: 2077977534
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R-5

Past Use: two family Multi-Residential	Proposed Use: two family Multi-Residential renovations to 3rd floor bathroom and storage area	Permit Fee: \$273.00	Cost of Work: \$27,400.00	CEO District: 4
Proposed Project Description: Renovations to 3rd floor bathroom and storage area		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRC-2003 Signature: JMB 9/6/05	
Legal use: (2) two residential AL D.U.		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
		Signature: _____ Date: _____		

Permit Taken By: dmartin	Date Applied For: 08/02/2005	Zoning Approval	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <i>using 14-436 (80% provision expansion)</i> <input type="checkbox"/> Wetland <i>using 256</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>9/26/05</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1158	Date Applied For: 08/02/2005	CBL: 344 B009001
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Location of Construction: 295 Allen Ave	Owner Name: Puglisi Marion	Owner Address: 295 Allen Ave	Phone:
Business Name:	Contractor Name: M Brewer	Contractor Address: 91 Bell St Portland	Phone (207) 797-7534
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Two family renovations to 3rd floor bathroom and storage area	Proposed Project Description: Renovations to 3rd floor bathroom and storage area
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 08/26/2005**Note:** using the expansion allowance under 14-436 - the 80% allowance (has the lot size but not the setbacks) - only using 25% of the 80% allowance **Ok to Issue:**

- 1) The home office is understood to be used for personal home use and not a business use. Any changes to the office use would need to comply with 14-410 Home Occupations which requires a separate application and approval.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 3) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 4) This property shall remain a two (2) family dwelling. Any change of use shall require a separate permit application for review and approval.

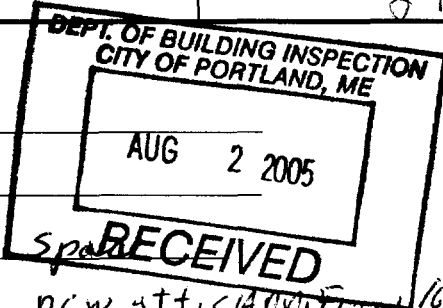
Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 09/06/2005**Note:** 8/31/05 spoke w/Matt B. About headroom space at bath fixtures, floor joists and rafter sizes. He will re-configure the bathroom. Also spoke w/Marion P. About use of space, egress & smokes. It is intended to be an office or work space, she will speak w/elec. Contractor about smokes, as advised. 9/6 received updated floor plan showing change in fixture layout to meet headroom requirements, ok to issue. **Ok to Issue:**

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 2) Separate permits are required for any electrical, plumbing, or heating.
- 3) Any penetrations into the abutting unit or common space shall comply with Sec. R317.3 of the IRC 2003

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>245 Allen Ave. Portland 04103</u>		
Total Square Footage of Proposed Structure <u>320</u>	Square Footage of Lot <u>13,090</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>344</u> Block# <u>B</u> Lot# <u>009</u>	Owner: <u>Marion Puglisi</u>	Telephone: <u>W. 846-7111 ext. 2806</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>M. Puglisi</u> <u>245 Allen Ave. 04103</u> <u>W. 846-7111 ext. 2806</u> <u>cell 615-8373</u>	Cost Of Work: \$ <u>27,400.00</u> Fee: \$ <u>273.00</u>
Current use: <u>multi-unit house</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>bathroom and work/storage space</u>		
Project description: <u>large master bath area new attic addition 16 x 20'</u>		
Contractor's name, address & telephone: <u>M. Brewer 91 Bell Portland, ME 04103</u> <u>797-7534</u>		
Who should we contact when the permit is ready: <u>Marion Puglisi</u> Mailing address: <u>245 Allen Ave</u> <u>Portland, ME 04103</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>846-7111 ext. 2806 (work)</u> <u>cell 615-8373</u>		



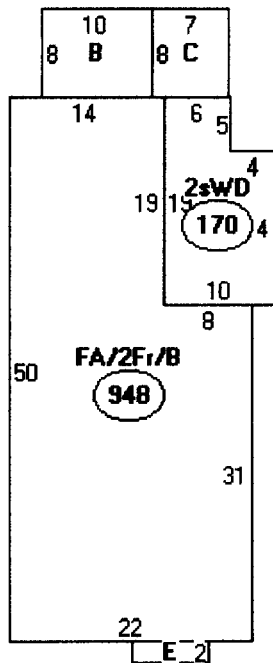
IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:	Date: <u>8/2/2005</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the
Planning Department on the 4th floor of City Hall**

✓ # 220



Descriptor/Area

- A: FA/2Fr/B
948 sqft
- B: 2Fr
80 sqft
- C: EP
56 sqft
- D: 2sWD
170 sqft
- E: 2FBAY
14 sqft

R-5 Zone
3,000[#] per D.U. for
2 D.U.

lot size is
13,890

14,436 - using 80%
Expansion Allowance

21
948
80
56
170
14

1268[#] 1st floor footprint

x 80% = 1014.4[#] Expansion
Allowance

16x20 Addition = 320[#] or using 25%

Expansion
out of 80%

0'0"

0'0"

EXIST. CEILING

7'-0"

EXIST. THIRD FLOOR

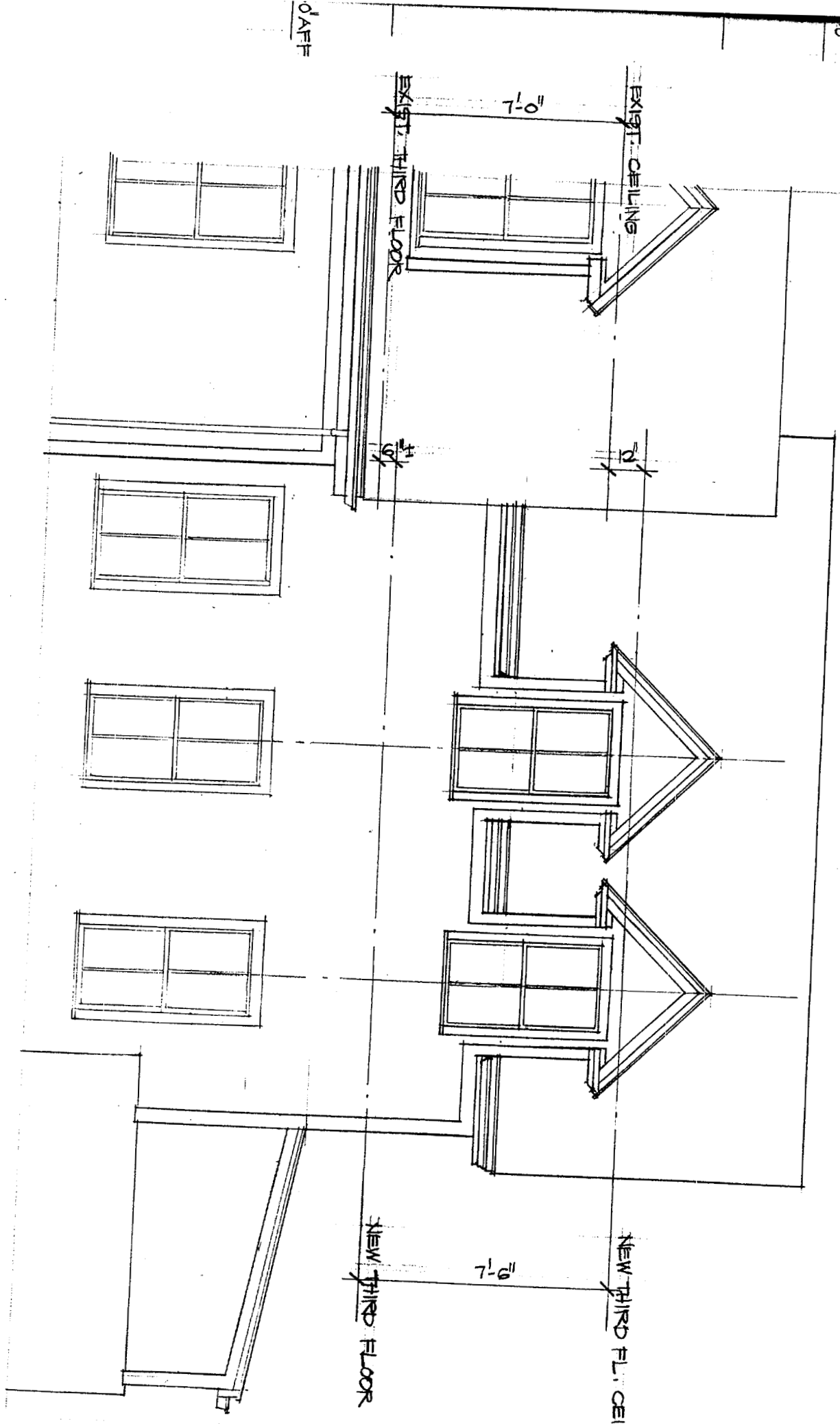
3/4" S/L

3/4" S/L

NEW THIRD FL. CEIL

7'-6"

NEW THIRD FLOOR



SOUTH ELEVATION

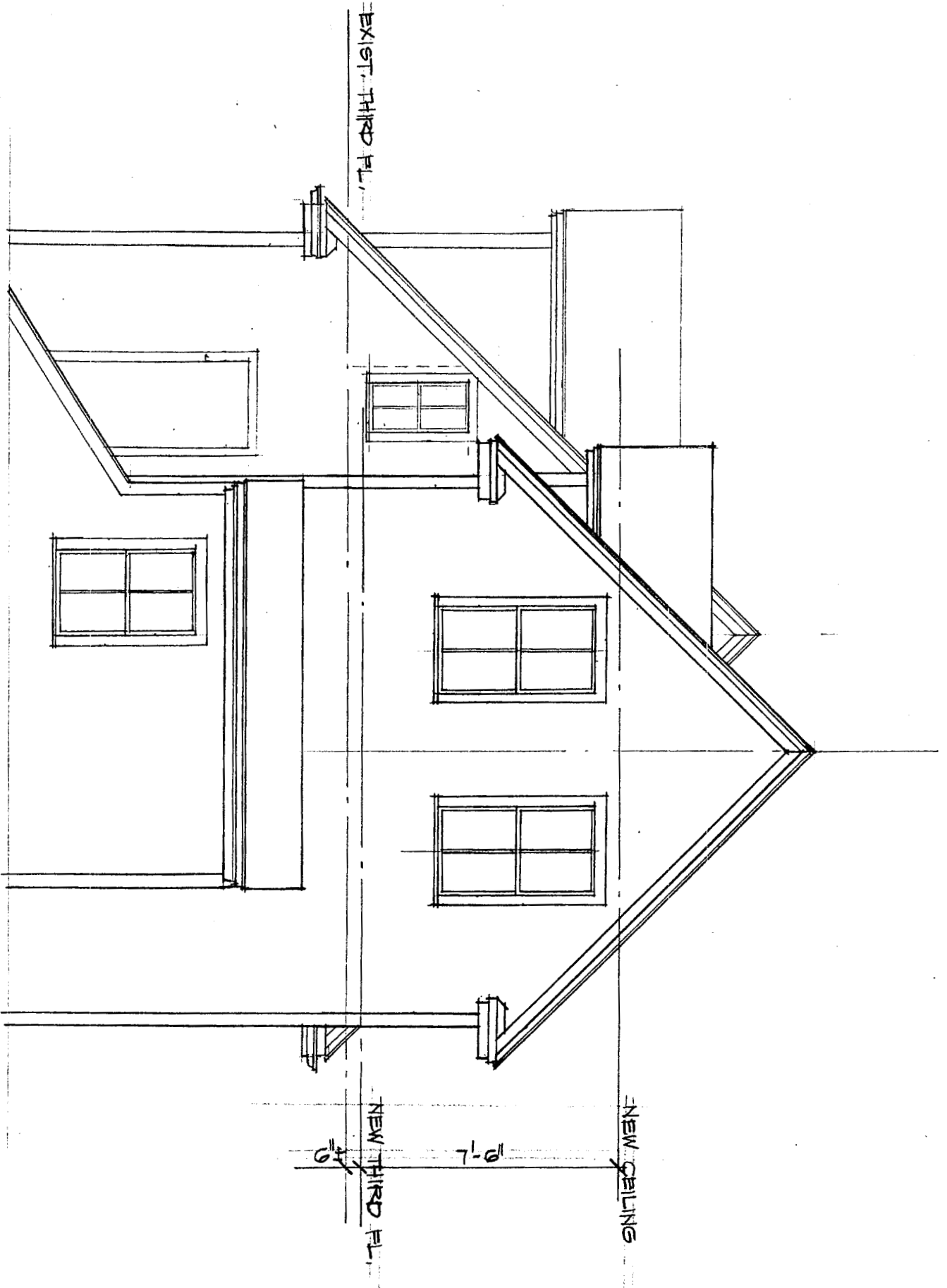
SCALE: 1/4" = 1'-0"





EAST ELEVATION

SCALE: 1/4" = 1'-0"



EXIST. THIRD FL.

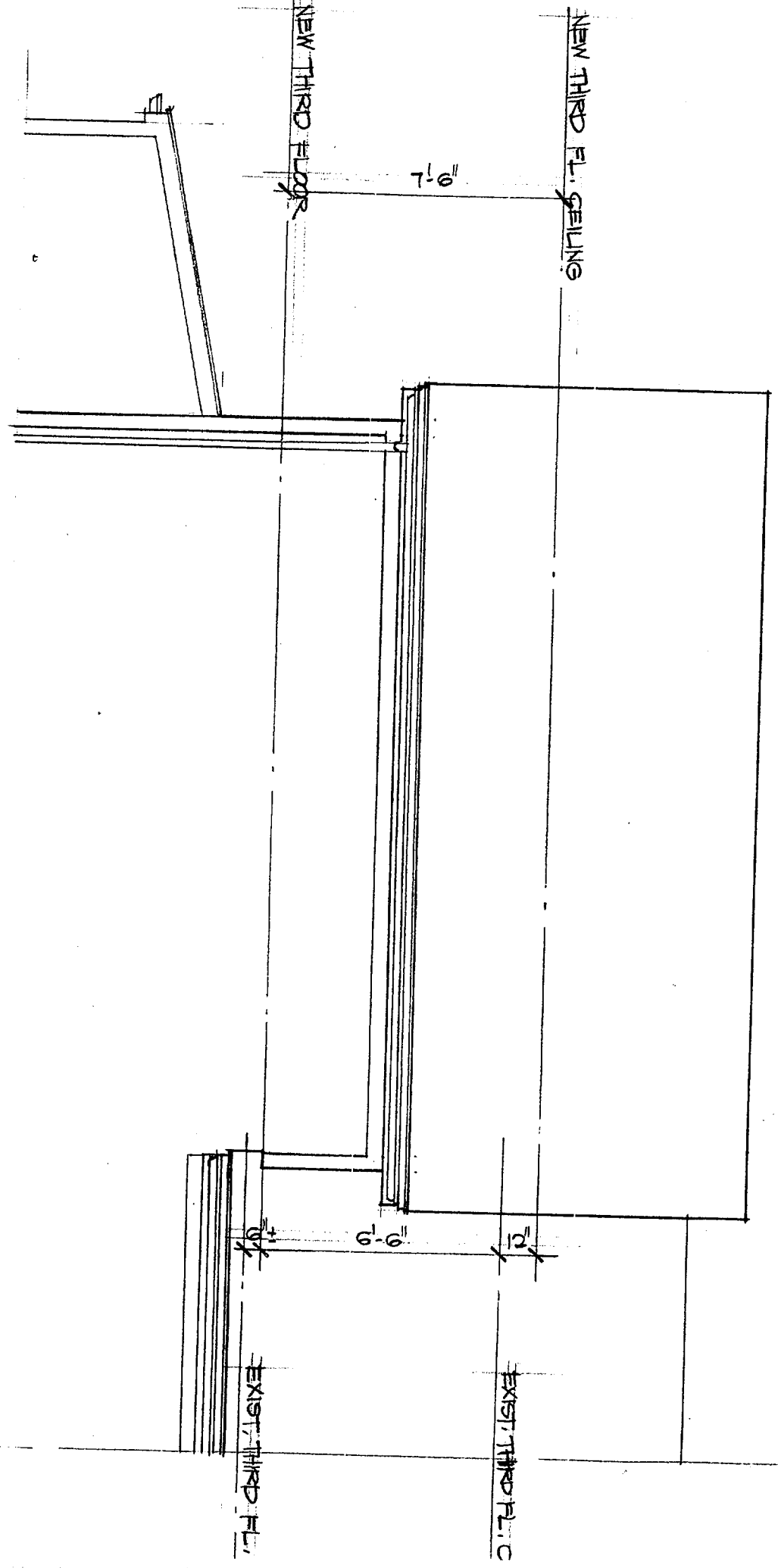
NEW THIRD FL.

NEW CEILING

6'-0"

7'-0"

SECTION ELEVATION SCALE: 1/4" = 1'-0"



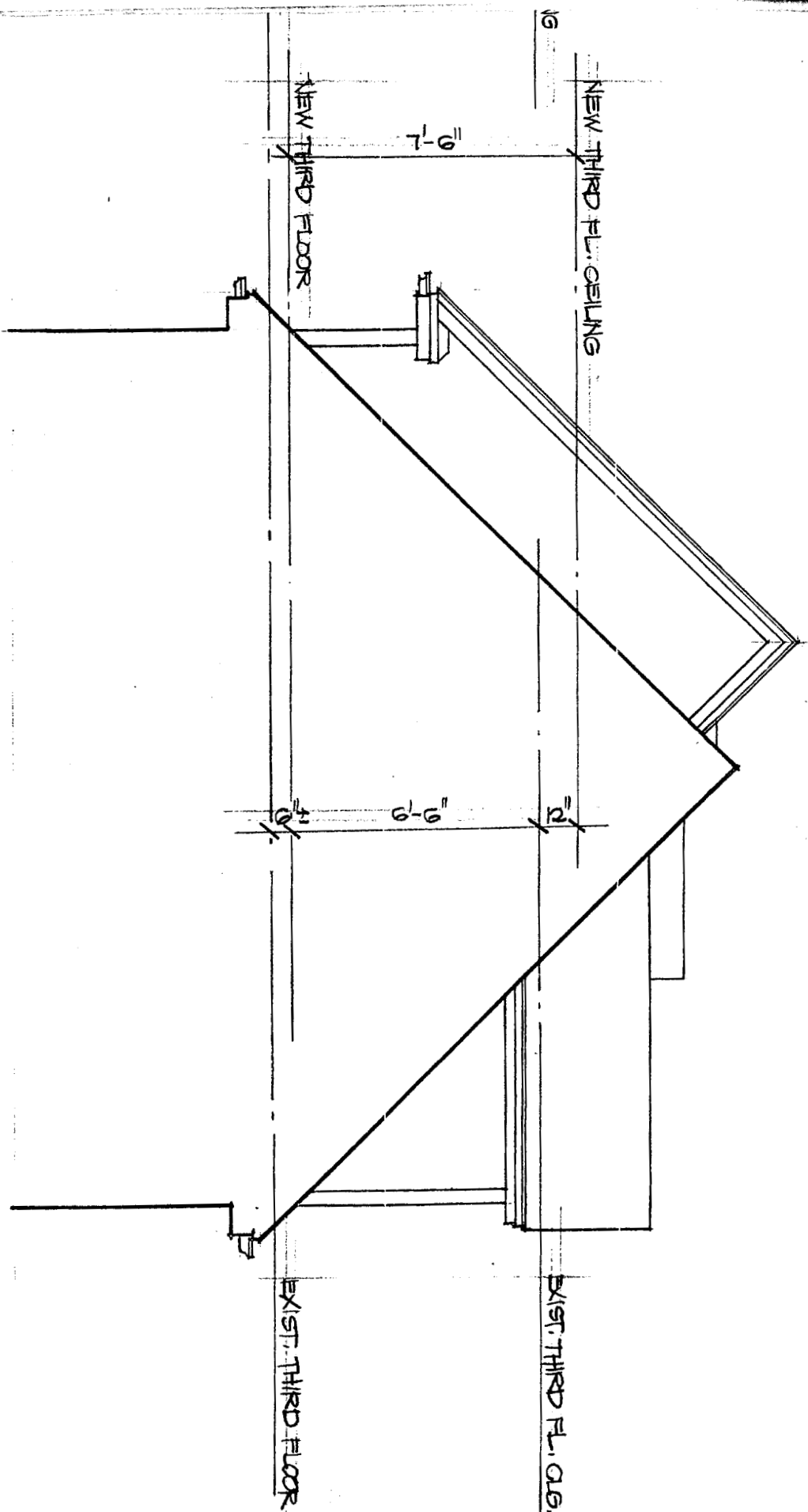
NORTH ELEVATION SCALE: 1/4" = 1'-0"





WEST ELEVATION

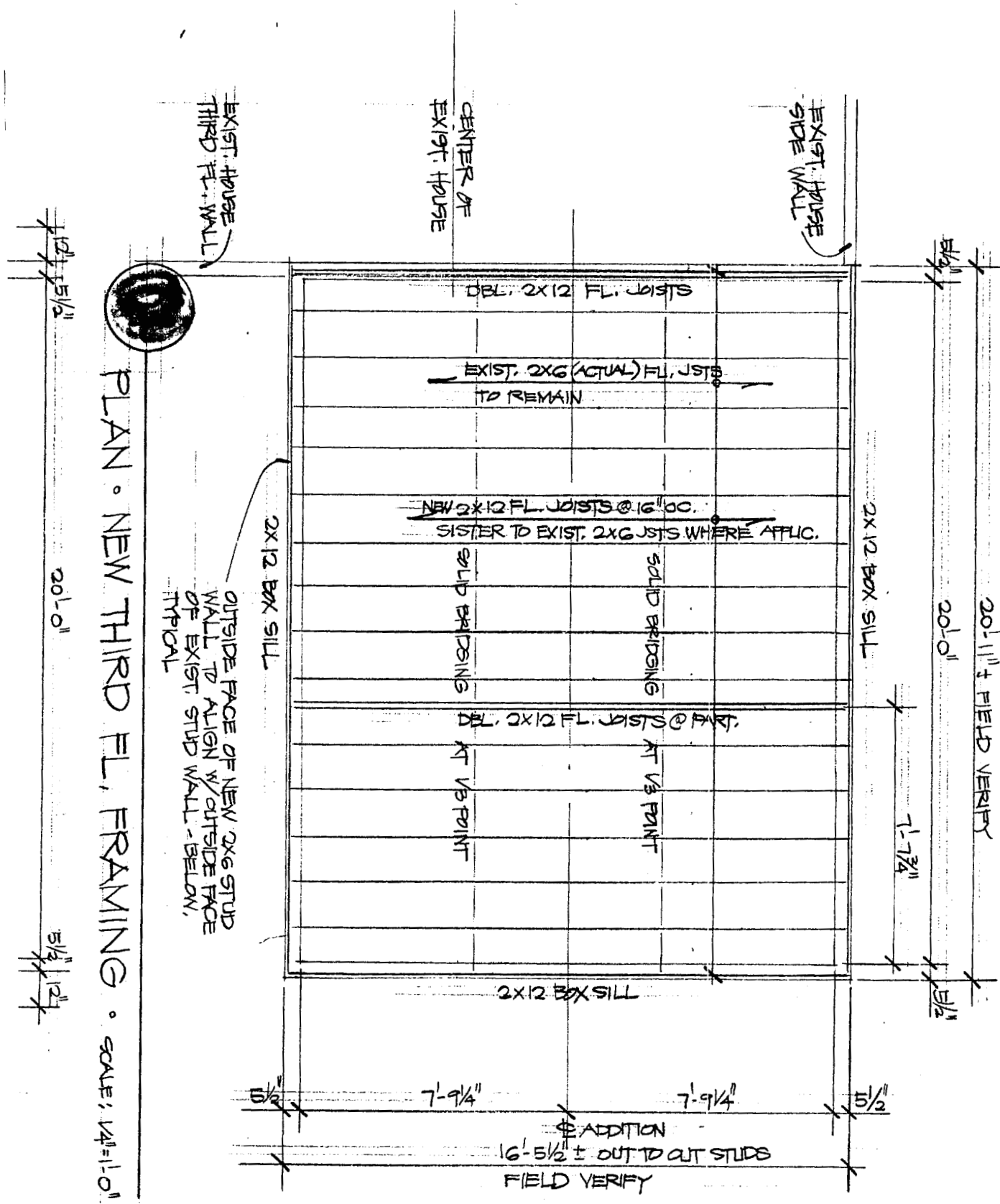
SCALE: 1/4" = 1'-0"



✓ RENOVATION

REVISION	DATE	BY

PLAN • THIRD FLOOR RENOVATION • SCALE: 1/4" = 1'-0"



PLAN • NEW THIRD FL. FRAMING • SCALE: 1/4" = 1'-0"

EXIST. HOUSE
THIRD FL. WALL

CENTER OF
EXIST. HOUSE

EXIST. HOUSE
SIDE WALL

2X12 BOX SILL
OUTSIDE FACE OF NEW 2X6 STUD
WALL TO ALIGN W/ OUTSIDE FACE
OF EXIST. STUD WALL - BELOW,
TYPICAL

ADDITION
16'-5 1/2" ± OUT TO OUT STUDS
FIELD VERIFY

5 1/2"

20'-0"

5 1/2"

5 1/2"

20'-0"

5 1/2"

FIELD VERIFY

7'-7 3/4"

2X12 BOX SILL

DBL. 2X12 FL. JOISTS

EXIST. 2X6 (ACTUAL) FL. JOIST
TO REMAIN

NEW 2X12 FL. JOISTS @ 16" OC.
SISTER TO EXIST. 2X6 JOISTS WHERE APPLIC.

SOLID BRIDGING

SOLID BRIDGING

DBL. 2X12 FL. JOISTS @ PART.

AT 1/3 POINT

AT 1/3 POINT

2X12 BOX SILL

7'-9 1/4"

7'-9 1/4"

5 1/2"

5 1/2"

EXIST. HOUSE
THIRD FL. WALL

2.1

PLAN - NEW THIRD FL. FRAMING - SCALE: 1/4" = 1'-0"

2X12 BOX SILL

OUTSIDE FACE OF NEW 2X6 STUD
WALL TO ALIGN W/ OUTSIDE FACE
OF EXIST. STUD WALL - BELOW,
TYPICAL

5 1/2"

12' 5 1/2"

20'-0"

5 1/2' 12"

2X8 RAKE RAFTER

2X8 LOOKOUTS @ 16" OC.

2X8 ROOF RAFTERS
@ 24" OC.

2X12 RIDGIE

2X8 LOOKOUTS @ 16" OC.

2X8 RAKE RAFTER

EXIST. HOUSE
RIDGE

VALLEY W/ CRICKET

2-2X8 RAFTERS

2-2X8 HEADERS

2-2X8 RAFTERS

2-2X8 RAFTERS

2-2X8 HEADERS

2-2X8 RAFTERS

2X8 RAKE RAFTER

12' 5 1/2" 7'-9 1/4" 7'-9 1/4" 5 1/2' 12"

16'-5 1/2" ± OUT TO OUT STUDS

FIELD VERIFY

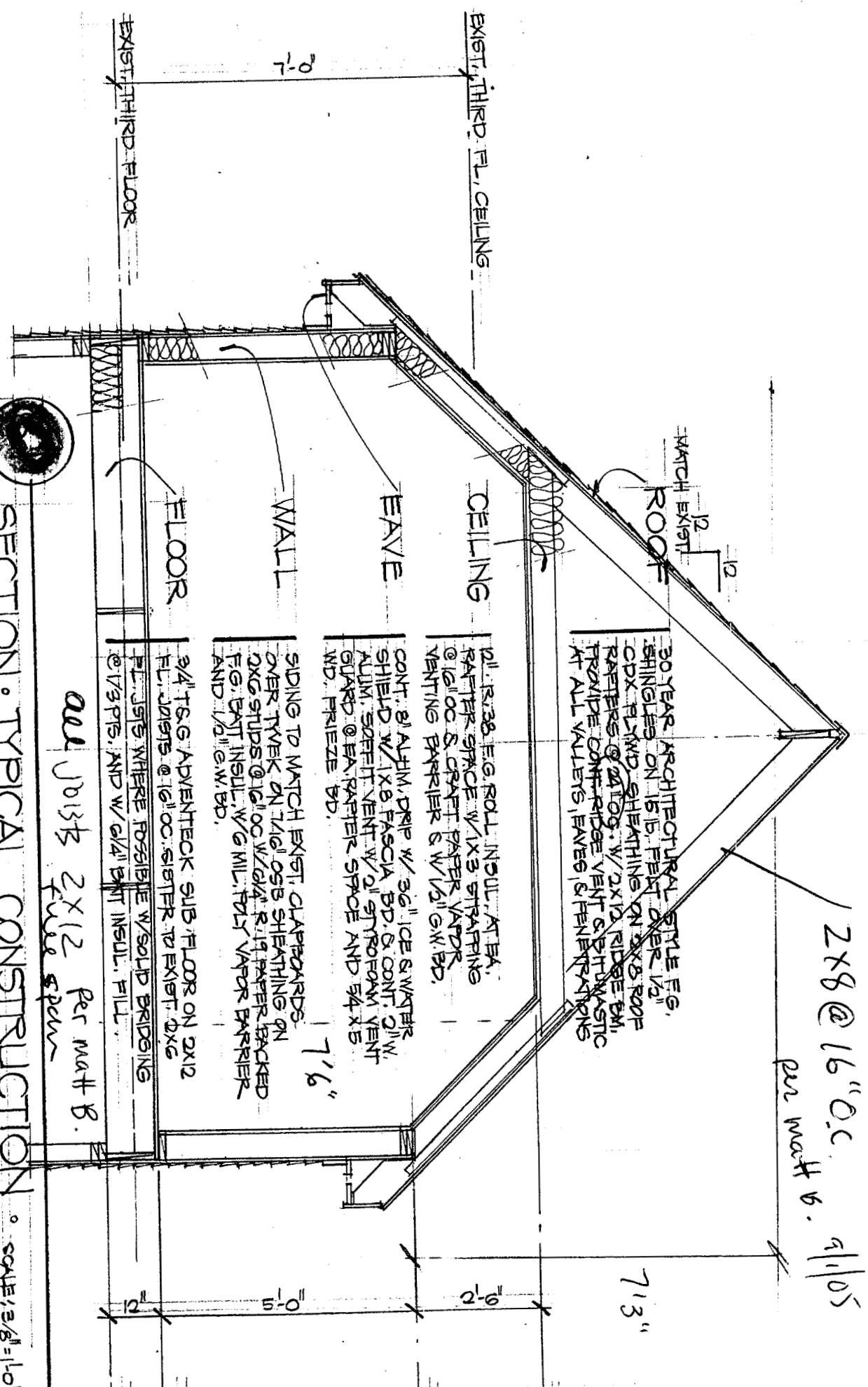
± ADDITION

ROOF FRAMING PLAN - SCALE: 1/4" = 1'-0"



SECTION . SCALE: 1/4" = 1'-0"

71 WEST



SECTION . TYPICAL CONSTRUCTION . SCALE: 3/8" = 1'-0"

all joists 2x12 Per Matt B. full span

2x8 @ 16" oc. 9/1/05 per Matt B.

5'

← 7'6" →

work room

7'6"

60" x 36"
Shower

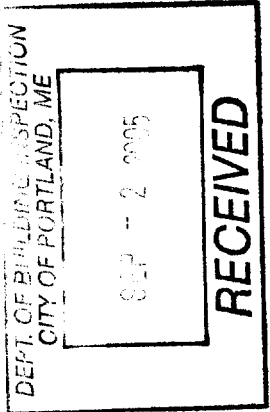
For: Jennie Board

OK Sec 5.116
Sec R 3303

From: Marion Pugsis' 846-7111 ext. 2806

Re: 295 Allen Ave Portland
Bedroom re-con by waiver
for permit

OR 13/8"
FRENCH

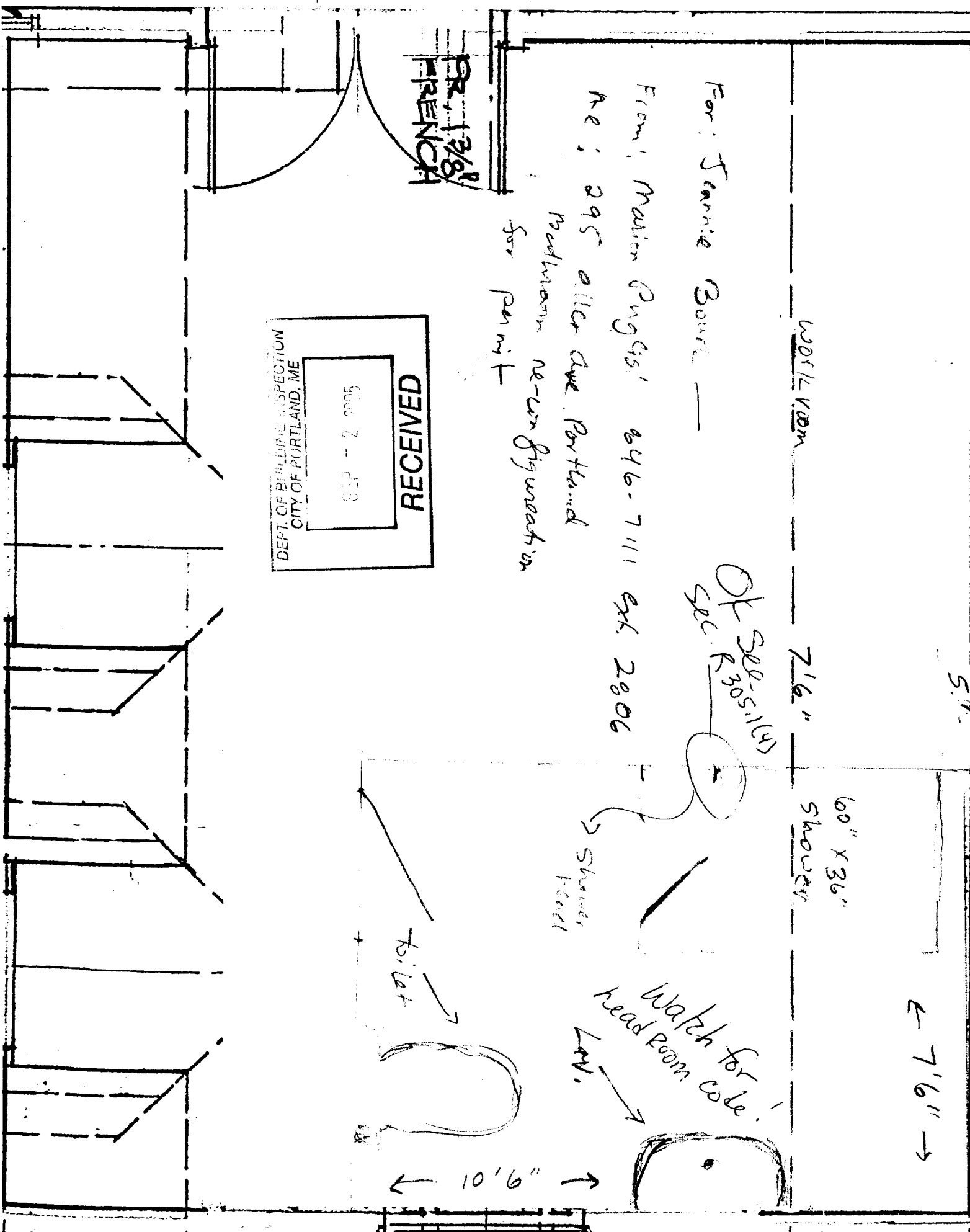


Shower head

Watch for
head room code!
low.

← 10'6" →

toilet



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	344 B009001
Location	295 ALLEN AVE
Land Use	TWO FAMILY
 Owner Address	 PUGLISI MARION 295 ALLEN AVE PORTLAND ME 04103
 Book/Page	 22176/060
Legal	344-B-9 ALLEN AVE 295 13890 SF

Current Assessed Valuation For Fiscal Year 2006

Land	Building	Total
\$56,090	\$145,080	\$201,170

Estimated Assessed Valuation For Fiscal Year 2007*

Land	Building	Total
\$74,800	\$188,300	\$263,100

* Value subject to change based upon review of property status as of 4/1/06. The tax rate will be determined by City Council in May 2006.

Property Information

Year Built 1910	Style Old Style	Story Height 2	Sq. Ft. 2321	Total Acres 0.319		
Bedrooms 4	Full Baths 2	Half Baths	Total Rooms 9	Attic Part Finsh	Basement Full	

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
GARAGE-WD/CB	1	1975	24X30	C	A
SHED-FRAME	1	1975	8X8	C	A

Sales Information

Date 12/29/2004	Type LAND + BLDING	Price \$273,000	Book/Page 22176-60
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Picture and Sketch

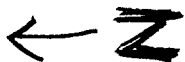
[Picture](#) [Sketch](#) [Tax Map](#)

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-

TS 4 = 951

74.25' Fence



tool shed

Garage

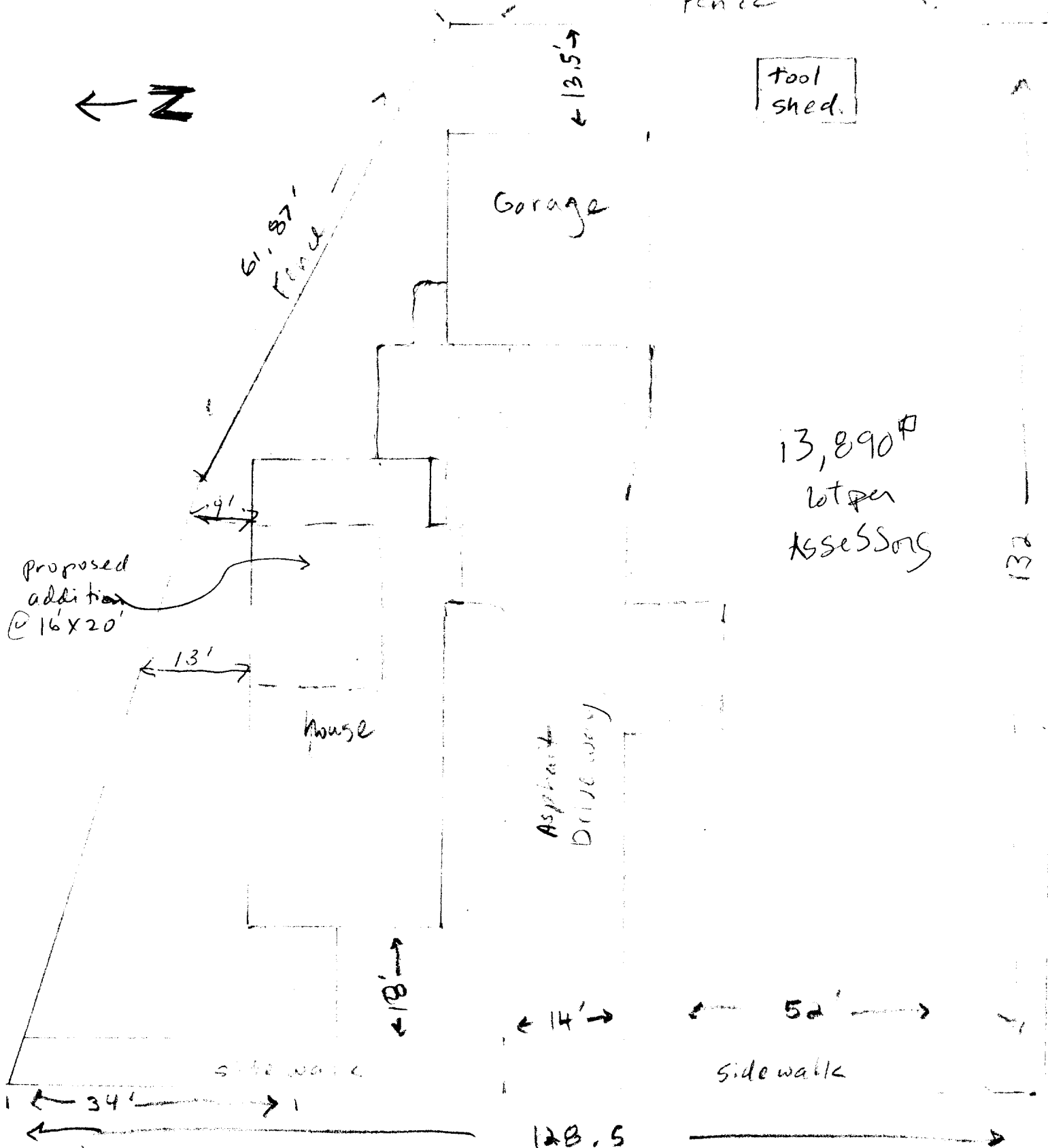
61.87' Fence

13,890^{sq} lot per assessors

Proposed addition @ 16' x 20'

House

Asphalt Driveway



295 Allen Ave



