

City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8703

Location of Construction: **181 Allen Ave** Owner: **Coff, Richard** Phone: **878-8527**
 Owner Address: **SAA 04103** Lessee/Buyer's Name: **Richard Coff** Phone: **934-7822/797-9713**
 Contractor Name: **SAA** Address: **3-fan** Phone: **822-6300**

Permit No: **980758**

PERMIT ISSUED

Permit Issued: **JUL 15 1998**

CITY OF PORTLAND

Zone: **343-D-002**

Past Use: **-fan**

Proposed Project Description: **Change Use from 2 - 3 Family Dwelling Construct Garage with Apt above**

Proposed Use: **3-fan**

FIRE DEPT. Approved Denied

COST OF WORK: \$ **26,000.00**

PERMIT FEE: \$ **150.00**

INSPECTION: Use Group: **RS** Type: **5B**

Signature: **[Signature]** Signature: **[Signature]**

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved with Conditions Denied

Signature: **[Signature]** Date: **30 June 1998**

Date Applied For: **30 June 1998**

Permit Taken By: **SP**

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

PERMIT ISSUED WITH REQUIREMENTS

SIGNATURE OF APPLICANT: _____ ADDRESS: _____ DATE: **09 July 1998 - Permit Routed** PHONE: _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE: _____ PHONE: _____

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

CEO DISTRICT

Zoning Approval: **[Signature]**

Special Zone or Reviews:

- Shoreland
- Wetland
- Flood Zone
- Subdivision
- Site Plan major minor mm

Zoning Appeal

- Variance
- Miscellaneous
- Conditional Use
- Interpretation
- Approved
- Denied

Historic Preservation

- Not in District or Landmark
- Does Not Require Review
- Requires Review

Action:

- Approved
- Approved with Conditions
- Denied

Date: **[Signature]**

COMMENTS

7-17-98 Spent with contractor work with the structure

on 1 week. 8-4-98 Stumpdown and back check out ok

P.S-98

9-15-98 Framing Inspe. OK on Frame, carry Beam ^{3"x2"x12 + Ply wood} in Garage Has Joint

Breaks that are not supported By columns. will Brace Peak at

H:0 Joint on 2 Ends of Roof Repaired

9-14-98 called left message to submit a new design for carrying timber in Garage - has been submitted to P.S.H.

12/30/98 - Windows ok - need to finish dry wall in garage, unable to test smokes -

balusters on deck - 4 1/2" in between - need to change them

1/23/99 - all condetol - OK for CO

CRCH# 343-D-002
Permit# 980758

Inspection Record	
Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 181 Allen Ave CBL: 343-D-002

Issued to Richard Goff

Date of Issue February 1, 2001

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 980758, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

Garage with one dwelling unit above
Boca 1996
Use Group: R#
Construction Type: 5B

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

2-2-2000 *Tammy M...*

(Date) Inspector

[Signature]

Inspector of Buildings

02/01/01
[Signature]

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 181 Allen Ave 343-D-002

Issued to Richard Goff

Date of Issue 25 January 1999

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 980758, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Garage w/1 dwelling unit above
BOCA 1996, Use Group R-3, Construction
Type 5B

Limiting Conditions:

~~Temporary occupancy until May 1, 1999 per Jim Wendel memo dated 1/20/99~~
~~NOTE: 3 family w/1 unit located above garage and 2 units in main structure~~

This certificate supersedes
certificate issued

Approved:

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

BUILDING PERMIT REPORT

DATE: 15 July 98 ADDRESS: 181 Allen Ave. 343-D-002
REASON FOR PERMIT: Change of use From 2 To 3 Family dwelling unit
BUILDING OWNER: Richard Goff
CONTRACTOR: Owner
PERMIT APPLICANT: owner
USE GROUP R-3 BOCA 1996 CONSTRUCTION TYPE 5B

CONDITION(S) OF APPROVAL

This Permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: *1,2,2.5,5,6,

- *1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- *2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
- *2.5 Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material.
3. Precaution must be taken to protect concrete from freezing.
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
- *5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of ½ inch gypsum board or the equivalent applied to the garage means of ½ inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
- *6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). NFPA 211
7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
- *8. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42" , except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2".
- *9. Headroom in habitable space is a minimum of 7'6".
- *10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread. 7" maximum rise.
11. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6' 8")
- *12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension

shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft.

- 13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
- 14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.)
- 15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment.

*16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required)

17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.

18. The Fire Alarm System shall be maintained to NFPA #72 Standard.

19. The Sprinkler System shall maintained to NFPA #13 Standard.

20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)

21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".

22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.

23. Ventilation shall meet the requirements of Chapter 12 Sections 1210. Of the City's Building Code. (crawl spaces & attics)

*24. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade.

*25. All requirements must be met before a final Certificate of Occupancy is issued.

*26. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code. (The BOCA National Building Code/1996).

27. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993).

28. Please read and implement the attached Land Use-Zoning report requirements.

*29. All site plan requirements must be completed before a certificate of occupancy can or will be issued.

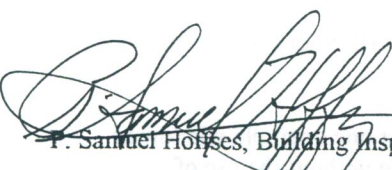
*30. 2x6" rafters @ 16" o.c. can only span 8'8" - your plan a 13' span - 2x10" at 16" o.c. would be required for this span -

431. 2x10" Floor joists @ 16" o.c. is required to span 13' -

*32. Exterior stairways shall comply with section 1014.12 of the bldg. code,

*33. Retaining wall shall comply with section 1825.0 of the bldg. code

30.



P. Samuel Hobbins, Building Inspector

cc: Lt. McDougall, PFD
Marge Schmuckal

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Building or Use Permit Application
Attached Single Family Dwellings/Two-Family Dwelling
Multi-Family or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: 181 ALLEN AVE PORTLAND, ME 04103		
Total Square Footage of Proposed Structure 832	Square Footage of Lot 19000	
Tax Assessor's Chart, Block & Lot Number Chart# 343 Block# D Lot# 002	Owner: RICHARD GOFF	Telephone#: 934-7822 747-9713
Owner's Address: 181 ALLEN AVE PORTLAND ME 04103	Lessee/Buyer's Name (If Applicable)	Cost Of Work: \$26,000.00 15
Proposed Project Description:(Please be as specific as possible) GARRAGE, APARTMENT above		
Contractor's Name, Address & Telephone SAME		
Current Use: 2 FAMILY	Proposed Use: 3 FAMILY	

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC(Heating, Ventillation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan/Site Plan

Minor or Major site plan review will be required for the above proposed projects. The attached checklist outlines the minimum standards for a site plan.

4) Building Plans

Unless exempted by State Law, construction documents must be designed by a registered design professional.

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 6/30/98
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Building Permit Fee: \$25.00 for the 1st \$1000.cost plus \$5.00 per \$1,000.00 construction cost thereafter.
Additional Site review and related fees are attached on a separate addendum





Inspection Services
Michael J. Nugent
Manager

Department of Urban Development
Joseph E. Gray, Jr.
Director

CITY OF PORTLAND

Congratulations!!!!!!

Building or Use Permit Application Attached Single Family Dwellings/Two-Family Dwelling Multi-Family or Commercial Structures and Additions Thereto

As an applicant for a building permit, you are about to enter into a relationship with our Office. We welcome any questions, comments or suggestions that will make the process more efficient. Attached you will find an application and some samples of the submissions you will provide at application time. Please read **ALL** of the information and if you need any further assistance please call 874-8703 or 874-8693.

Minor or Major site plan review will be required for the most of the above proposed projects.



343-D-002

Planning & Urban Development



Joseph E. Gray Jr.
Director

CITY OF PORTLAND

August 5, 1998

Richard Goff
181 Allen Avenue
Portland, ME 04103

Re: 181 Allen Avenue

Dear Mr. Goff:

On June 25, 1998 the Portland Planning Authority granted minor site plan approval for a garage with an apartment at 181 Allen Avenue with the following conditions:

- i. The approximately 3' high retaining wall along the western property line shall be a "keystone" style pined concrete block wall located a minimum of 1' from the property line. It shall be installed per the manufacturer's technical requirements.
- ii. The proposed trench drain in front of the garage doors shall discharge the flow onto a riprapped apron in conformance with "Maine Erosion and Sediment Control Handbook for Construction: Best Management Practice"
- iii. A, 5' by the full width of the drive, riprap apron shall be placed at the end of the proposed drive; it shall conform to the referenced handbook noted above.
- iv. The grading of the drive shall contain the storm runoff within the site.
- v. Silt fence shall be installed prior to any construction and shall be installed down gradient of all disturbed areas.
- vi. The applicant shall submit an as-built plan to the city prior to an issuance of a certificate of occupancy permit.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

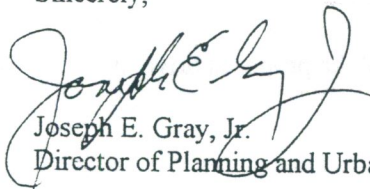
Please note the following provisions and requirements for all site plan approvals:

- 1. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. A one year extension may be granted by this department if requested by the applicant in writing prior to the expiration date of the site plan.

2. A performance guarantee in a form acceptable to the City of Portland and an inspection fee equal to 1.7% of the performance guarantee will have to be posted before beginning any site construction or issuance of a building permit.
3. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
4. Prior to construction, a preconstruction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the preconstruction meeting.
5. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)
6. The Development Review Coordinator (874-8300 ext. 8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact the Planning Staff.

Sincerely,



Joseph E. Gray, Jr.
Director of Planning and Urban Development

cc: Alexander Jaegerman, Chief Planner
Kandice Talbot, Planner
P. Samuel Hoffses, Building Inspector
— Marge Schmuckal, Zoning Administrator
Tony Lombardo, Project Engineer
Development Review Coordinator
William Bray, Director of Public Works
Jeff Tarling, City Arborist
Penny Littell, Associate Corporation Counsel
Lt. Gaylen McDougall, Fire Prevention
Mary Gresik, Building Permit Secretary
Kathleen Brown, Director of Economic Development
Susan Doughty, Assessor's Office
Approval Letter File



CITY OF PORTLAND
Planning and Urban Development Department

MEMORANDUM

TO: Code Enforcement

FROM: Jim Wendel, Development Review Coordinator

DATE: February 4, 1999

SUBJECT: Performance Guarantee/Certificate of Occupancy
Residential Property
181 Allen Avenue *343-D-20*

The site was reviewed for compliance with the site plan and conditions of approval due to a request from the applicant to reduce the performance guarantee. My comments are:

1. Installation of the riprap apron at the end of the drive has not been installed.
2. All other elements of the site plan have been satisfactorily completed.

It is my opinion that **when item 1 above is completed a permanent certificate of occupancy could be issued** assuming Code Enforcement has no outstanding issues. Further, recommend that the performance guarantee be reduced to an amount of \$200.00. This amount is for the construction of item 1 above.



CITY OF PORTLAND
Planning and Urban Development Department

MEMORANDUM

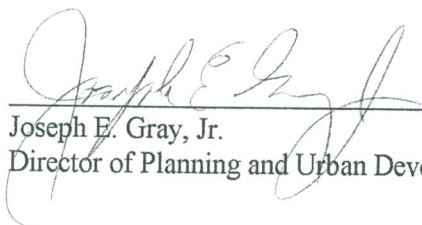
TO: Duane Kline, Finance Department
FROM: Joseph E. Gray, Jr., Director of Planning and Urban Development
DATE: February 4, 1999
SUBJECT: Request for Reduction in Performance Guarantee
181 Allen Avenue

A request by Richard Goff Sr. has been made for a release of the performance guarantee amount. This is the first requested change in the performance guarantee amount.

Original Amount	\$3,000.00
Current Amount	\$3,000.00
Reduction Requested	<u>\$2,800.00</u>
Remaining Amount	\$ 200.00

The reduction of the performance guarantee is based on a memo to Kandi Talbot and Code Enforcement dated February 4, 1999 from the DRC.

Approved:



Joseph E. Gray, Jr.
Director of Planning and Urban Development

cc: Kandi Talbot, Planner
Code Enforcement
James Wendel, Development Review Coordinator

TO: TAMMY MUISSON
874-8716

Pg 1 of 4

FROM RICK GUFF

767-9601

ENCLOSED IS A COPY OF
SITE PLAN PERFORMANCE ESCROW

181 Allen Ave

Peoples Heritage Bank
One Portland Square
P.O. Box 9540
Portland, ME 04112-9540

1-800-482-3666
Tel: 207-761-8500



Site Plan Subdivision
Performance Guarantee
Escrow Account
Account #013802484

July 8, 1998

Joseph E. Gray, Jr., Director of Planning and Urban Development
City of Portland
389 Congress Street
Portland, ME 04101

RE: Application of Richard Goff for Garage Apartment at 181 Allen Avenue,
Portland, Maine

Dear Mr. Gray:

This will certify to you that Peoples Heritage Bank will hold the sum of Three Thousand and no/100 Dollars (\$3,000.00) in an interest bearing escrow account in the name of the City of Portland established with the Bank. We will hold these funds as escrow agent for the benefit of the City of Portland on the following conditions:

1. These funds represent the City of Portland's estimated cost of installing site improvements as depicted on the site plan and estimated on Attachment 1.
2. The City of Portland may draw against this escrow account by presentation of a draft in the event that Richard Goff fails to complete by June 30, 2000, the work as stipulated in Paragraph 1. Said draft shall be accompanied by a written statement from the Director of Parks and Public Works or the Director of Planning and Urban Development that Richard Goff has failed to complete such work, with a listing of improvements still to be completed, and the estimated cost of completing said improvements still to be completed as determined by the Department of Public Works. Any funds drawn from the escrow account by the City of Portland will be used to complete the proposed improvements.

3. The City of Portland may draw against this escrow for a period not to exceed 90 days after the expiration of this commitment; provided that Richard Goff will give the City written notice of the deadline of this escrow at least 90 days prior thereto; otherwise drafts must be submitted no later than 90 days following written notice whenever given thereafter.

4. After all work in the public right of way has been completed and inspected to the satisfaction of the Department of Public Works, including but not limited to the installation of granite curbing, sidewalk, curb cut and street trees, Peoples Heritage Bank shall be eligible to receive a reduction in its obligations hereunder equal to the estimated cost of improvements. In no case, however, shall the obligations of Peoples Heritage Bank hereunder be reduced to an amount which is less than the estimated cost of completing all prescribed improvements as determined by the Department of Public Works, as described above.

5. Richard Goff will notify the City of Portland for inspections.

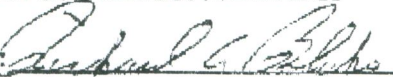
6. All costs associated with establishing, maintaining and disbursing funds from the escrow account shall be borne by Richard Goff.

7. This escrow account expires on September 30, 2000 but may expire prior to this date when the City of Portland acknowledges in writing to Peoples Heritage Bank and Richard Goff that said work as outlined has been completed in accordance with the City of Portland specifications.

Dated at Portland, Maine this 8th day of July, 1998.

Very truly yours,

PEOPLES HERITAGE BANK

By: 

Richard A. Blake
Group Vice President

Date: 7/5/98

Seen and Agreed to:

By: 
Richard Goff

Date: 7/5/98

Approved pursuant to ss 14.501(a) of the Portland City Code:

By: _____
Director of Planning and Urban Development

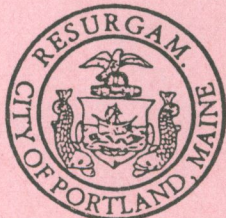
Date: _____

By: _____
Corporation Counsel

Date: _____

By: _____
Finance Director

Date: _____



CITY OF PORTLAND
Planning and Urban Development Department

MEMORANDUM

TO: Code Enforcement Officer

FROM: Jim Wendel, Development Review Coordinator

DATE: January 20, 1999

SUBJECT: Request for Certificate of Occupancy
181 Allen Avenue (343-D-002)

On January 19, 1999, I made a site visit to review the completion of the conditions of the site plan approval dated June 25, 1998. My comments are:

1. The riprap apron at the end of the drive needs to be installed as outlined in the conditions of approval. This item shall be completed by May 1, 1999.

It is my opinion that a temporary certificate of occupancy may be issued as long as there are no outstanding issues with Building Inspections.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

19980059

I. D. Number

Goff, Richard J.

Applicant

181 Allen Ave, Portland, ME 04103

Applicant's Mailing Address

SAA

Consultant/Agent

797-9713 **767-9601**

Applicant or Agent Daytime Telephone, Fax

6/4/98

Application Date

Allen Ave 181

Project Name/Description

181 Allen Ave

Address of Proposed Site

343-D-002

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):
 Office Retail Manufacturing New Building Warehouse/Distribution Building Addition Parking Lot Change Of Use Residential Other (specify) **Apt Garage will be 3 fam**

832 Proposed Building square Feet or # of Units **.43** Acreage of Site _____ Zoning _____

Check Review Required:

- Site Plan (major/minor)
- Flood Hazard
- Zoning Conditional Use (ZBA/PB)
- Subdivision # of lots _____
- Shoreland
- Zoning Variance
- PAD Review
- Historic Preservation
- 14-403 Streets Review
- DEP Local Certification
- Other _____

Fees Paid: Site Plan **\$300.00** Subdivision _____ Engineer Review _____ Date: **6/4/98**

Planning Approval Status:

Reviewer **Kandice Talbot**

- Approved
- Approved w/Conditions See Attached
- Denied

Approval Date **6/25/98** Approval Expiration **6/25/99** Extension to _____ Additional Sheets Attached

OK to Issue Building Permit _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input checked="" type="checkbox"/> Inspection Fee Paid	7/8/98	\$300.00	
	date	amount	
<input type="checkbox"/> Building Permit Issued	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	
	date		
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____	_____	
	date	signature	
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

19980059

I. D. Number

Goff, Richard J.

Applicant

181 Allen Ave, Portland, ME 04103

Applicant's Mailing Address

SAA

Consultant/Agent

797-9713 767-9601

Applicant or Agent Daytime Telephone, Fax

6/4/98

Application Date

Allen Ave 181

Project Name/Description

181 Allen Ave

Address of Proposed Site

343-D-002

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):

- Office
 Retail
 Manufacturing
 New Building
 Warehouse/Distribution
 Building Addition
 Change Of Use
 Residential
 Parking Lot
 Other (specify) **Apt Garage will be 3 fam**

832

.43

Proposed Building square Feet or # of Units

Acreeage of Site

Zoning

Check Review Required:

- Site Plan (major/minor)
 Subdivision # of lots _____
 PAD Review
 14-403 Streets Review
 Flood Hazard
 Shoreland
 Historic Preservation
 DEP Local Certification
 Zoning Conditional Use (ZBA/PB)
 Zoning Variance
 Other _____

Fees Paid: Site Plan **\$300.00** Subdivision _____ Engineer Review _____ Date: **6/4/98**

DRC Approval Status:

Reviewer **Jim Wendel**

- Approved
 Approved w/Conditions see attached
 Denied

Approval Date **7/1/98** Approval Expiration **7/1/99** Extension to _____ Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input checked="" type="checkbox"/> Inspection Fee Paid	7/8/98	\$300.00	
	date	amount	
<input type="checkbox"/> Building Permit	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate Of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	
	date		
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____	_____	
	date	signature	
<input type="checkbox"/> Performance Guarantee Released	_____	_____	_____
	date	signature	expiration date
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	
	submitted date	amount	
<input type="checkbox"/> Defect Guarantee Released	_____	_____	_____
	date	signature	

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

19980059

I. D. Number

Goff, Richard J.

Applicant

181 Allen Ave, Portland, ME 04103

Applicant's Mailing Address

SAA

Consultant/Agent

797-9713 767-9601

Applicant or Agent Daytime Telephone, Fax

6/4/98

Application Date

Allen Ave 181

Project Name/Description

181 Allen Ave

Address of Proposed Site

343-D-002

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):

New Building

Building Addition

Change Of Use

Residential

Office Retail Manufacturing

Warehouse/Distribution

Parking Lot

Other (specify)

Apt Garage will be 3 fam

832

.43

Proposed Building square Feet or # of Units

Acreeage of Site

Zoning

Check Review Required:

Site Plan
(major/minor)

Subdivision
of lots _____

PAD Review

14-403 Streets Review

Flood Hazard

Shoreland

Historic Preservation

DEP Local Certification

Zoning Conditional
Use (ZBA/PB)

Zoning Variance

Other _____

Fees Paid: Site Plan **\$300.00** Subdivision _____ Engineer Review _____ Date: **6/4/98**

Fire Approval Status:

Reviewer **Lt. Mc Dougall** *Almy*

Approved

Approved w/Conditions
see attached

Denied

Approval Date **6/8/98**

Approval Expiration _____

Extension to _____

Additional Sheets
Attached

Condition Compliance

Lt. Mc dougall
signature

date

Performance Guarantee

Required*

Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

Performance Guarantee Accepted

_____ date

_____ amount

_____ expiration date

Inspection Fee Paid

_____ date

_____ amount

Building Permit Issued

_____ date

Performance Guarantee Reduced

_____ date

_____ remaining balance

_____ signature

Temporary Certificate of Occupancy

_____ date

Conditions (See Attached)

Final Inspection

_____ date

_____ signature

Certificate of Occupancy

_____ date

Performance Guarantee Released

_____ date

_____ signature

Defect Guarantee Submitted

_____ submitted date

_____ amount

_____ expiration date

Defect Guarantee Released

_____ date

_____ signature

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

19980059

I. D. Number

Goff, Richard J.

Applicant

181 Allen Ave, Portland, ME 04103

Applicant's Mailing Address

SAA

Consultant/Agent

797-9713

767-9601

Applicant or Agent Daytime Telephone, Fax

6/4/98

Application Date

Allen Ave 181

Project Name/Description

181 Allen Ave

Address of Proposed Site

343-D-002

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):

New Building

Building Addition

Change Of Use

Residential

Office

Retail

Manufacturing

Warehouse/Distribution

Parking Lot

Other (specify)

Apt Garage will be 3 fam

832

.43

R-5

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

Site Plan
(major/minor)

Subdivision
of lots _____

PAD Review

14-403 Streets Review

Flood Hazard

Shoreland

Historic Preservation

DEP Local Certification

Zoning Conditional
Use (ZBA/PB)

Zoning Variance

Other _____

Fees Paid:

Site Plan

\$300.00

Subdivision _____

Engineer Review _____

Date: 6/4/98

Inspections Approval Status:

Reviewer **Marge Schmuckal**

Approved

Approved w/Conditions
see attached

Denied

Approval Date 7/10/98

Approval Expiration _____

Extension to _____

Additional Sheets
Attached

Condition Compliance

signature _____

date _____

Performance Guarantee

Required*

Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

Performance Guarantee Accepted

date _____

amount _____

expiration date _____

Inspection Fee Paid

7/8/98

\$300.00

date _____

amount _____

Building Permit Issued

date _____

Performance Guarantee Reduced

date _____

remaining balance _____

signature _____

Temporary Certificate of Occupancy

date _____

Conditions (See Attached)

Final Inspection

date _____

signature _____

Certificate Of Occupancy

date _____

Performance Guarantee Released

date _____

signature _____

Defect Guarantee Submitted

submitted date _____

amount _____

expiration date _____

Defect Guarantee Released

PLUMBING APPLICATION

343-D-002

Department of Human Sciences
Division of Health Engineering

PROPERTY ADDRESS

Town or Plantation	Portland
Street Subdivision Lot #	181 Allen Ave

PROPERTY OWNERS NAME

Last: Goff	First: Richard
Applicant Name:	Gary Turner
Mailing Address of Owner/Applicant (If Different)	467 Greely Rd Ext. Cumberland Cntr 04021

PORTLAND Date Permit Issued: 9/30/98 PERMIT # 6627 STATE COPY \$ 1140 FEE Double Fee Charged

Local Plumbing Inspector Signature _____ L.P.I. # 0124

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit.

[Signature] 9/31/98
Signature of Owner/Applicant Date

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature _____

Date Approved _____

PERMIT INFORMATION

<p>This Application is for</p> <p>1. <input checked="" type="checkbox"/> NEW PLUMBING</p> <p>2. <input type="checkbox"/> RELOCATED PLUMBING</p>	<p>Type of Structure To Be Served:</p> <p>1. <input checked="" type="checkbox"/> SINGLE FAMILY DWELLING</p> <p>2. <input type="checkbox"/> MODULAR OR MOBILE HOME</p> <p>3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING</p> <p>4. <input type="checkbox"/> OTHER - SPECIFY _____</p>	<p>Plumbing To Be Installed By:</p> <p>1. <input type="checkbox"/> MASTER PLUMBER</p> <p>2. <input type="checkbox"/> OIL BURNERMAN</p> <p>3. <input type="checkbox"/> MFG'D. HOUSING DEALER/MECHANIC</p> <p>4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE</p> <p>5. <input type="checkbox"/> PROPERTY OWNER</p> <p>LICENSE # <u>02491</u></p>
--	---	--

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2		Column 1	
	Number	Type of Fixture	Number	Type of Fixture
<p>OR</p> <p>HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.</p> <p>HOOK-UP: to an existing subsurface wastewater disposal system.</p> <p>PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.</p> <p>OR</p> <p>TRANSFER FEE [\$6.00]</p>	1	Hosebibb / Sillcock	1	Bathtub (and Shower) <u>1 1/2" m</u>
		Floor Drain		Shower (Separate)
		Urinal	1	Sink <u>1 1/2" m</u>
		Drinking Fountain	1	Wash Basin <u>1 1/2" m</u>
		Indirect Waste	2	Water Closet (Toilet) <u>3" m</u>
		Water Treatment Softener, Filter, etc.	1	Clothes Washer <u>1 1/2" m</u>
		Grease / Oil Separator		Dish Washer
		Dental Cuspidor	1	Garbage Disposal <u>2" m</u>
		Bidet	1	Laundry Tub <u>1 1/2" m</u>
		Other: _____	1	Water Heater
	Fixtures (Subtotal) Column 2		9	Fixtures (Subtotal) Column 1
			1	Fixtures (Subtotal) Column 2
			10	Total Fixtures
				Fixture Fee
				Transfer Fee
				Hook-Up & Relocation Fee
			40	Permit Fee (Total)

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

Applicant: Richard Goff

Date: 7/10/98

Address: 181 Allen Ave

C-B-L: 343-D-2

CHECK-LIST AGAINST ZONING ORDINANCE

Date - existing ^{existing 2 units} ~~new garage with unit above~~

Zone Location - R-5

Interior or corner lot -

Proposed Use/Work - Construct new garage with 1 new unit, 2 ~~2~~ 3 units

Sewage Disposal - City

Lot Street Frontage - 50' - 65' shown

Front Yard - 20' req

Rear Yard - 20' req

Side Yard - 12' req

Projections - -

Width of Lot -

Height - 2 stories

Lot Area - 8,000 sq ft req ^{19,000 sq ft}

Lot Coverage/ Impervious Surface - 6,000 sq ft for new structure

Area per Family - ~~6,000~~ 6,000 sq ft EA x 3 = 18,000 sq ft

Off-street Parking - 4 spaces req - 7 shown

Loading Bays - N/A

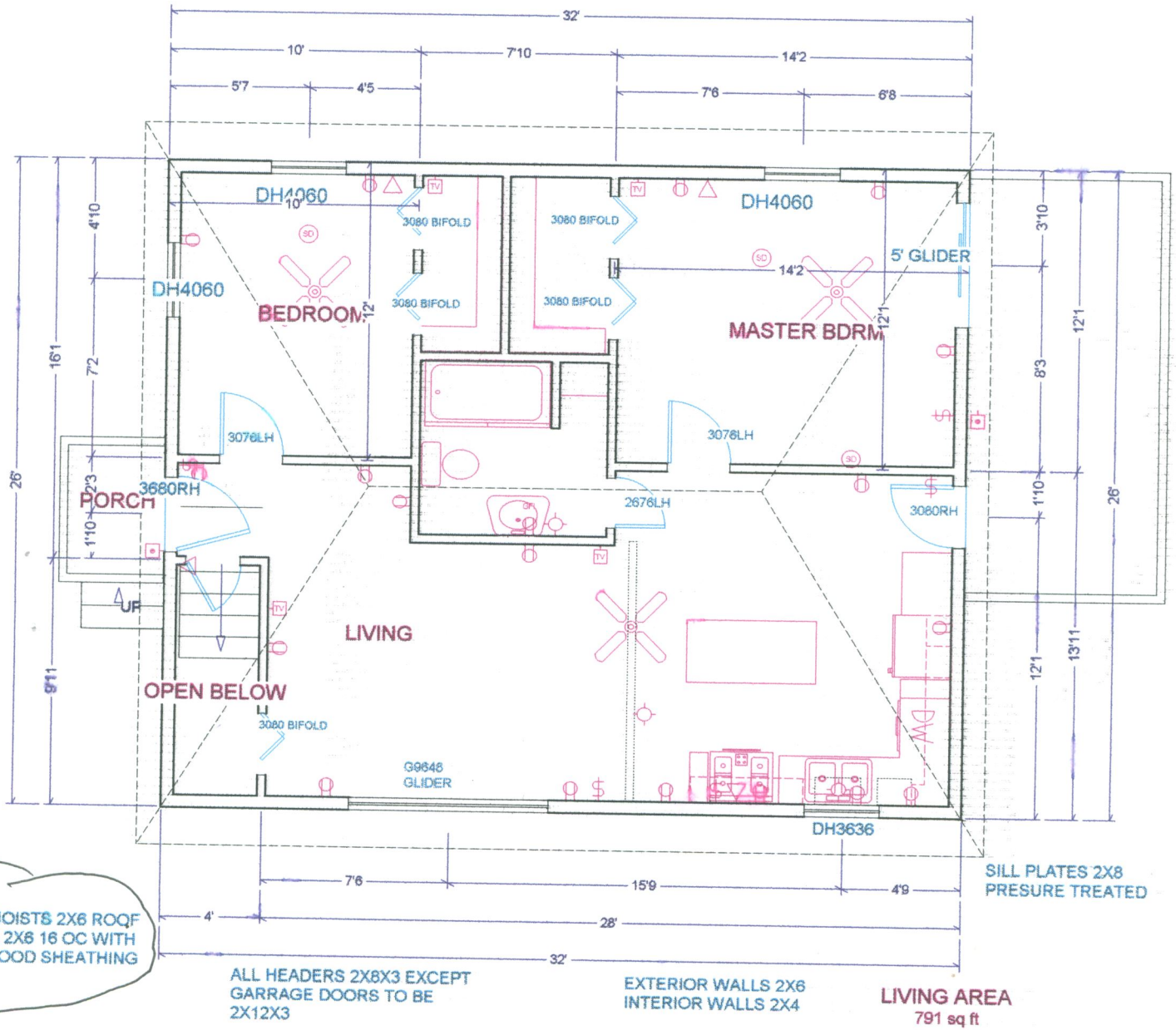
Site Plan - minor review -

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - N/A

new unit 832 sq ft - does not reduce any existing unit

REV. A 6/30/98

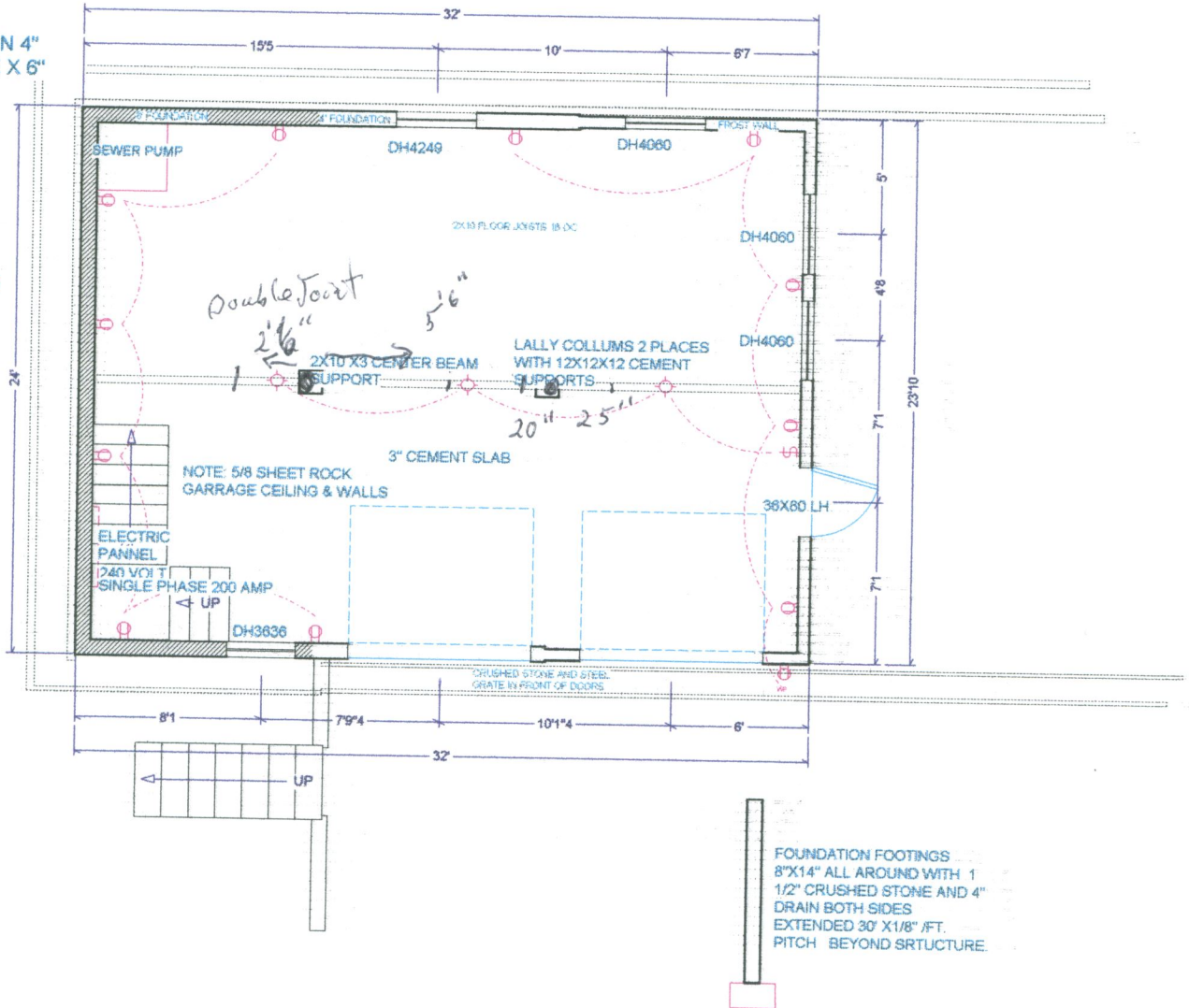


1. MOVED BATHROOM
2. REMOVED 2 WINDOWS
3. MOVED KITCHEN
4. ADDED STAIRWELL

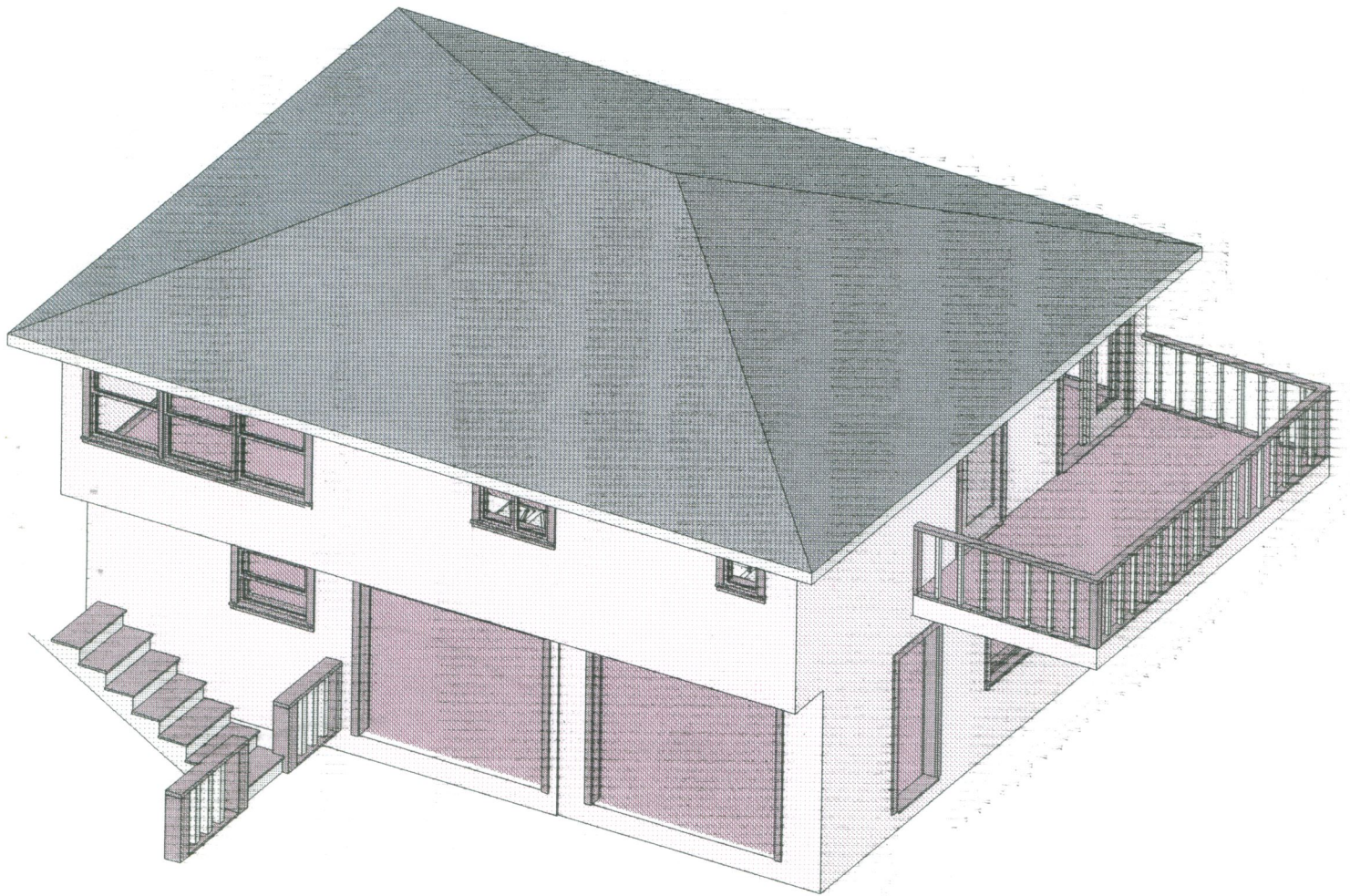
REV. A 6/30/98

FOUNDATION DRAIN 4" CRUSHED STONE X 6" SAND FILL X 12"

FOUNDATION SEALER TO GRADE ALL AROUND



1. ADDED STAIRS



**Site Review Pre-Application
Multi-Family/Attached Single Family Dwellings/Two-Family Dwelling
or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for Site Plan Review

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

RICHARD J. GOFF
Applicant

181 ALLEN AVE PORTLAND, ME 04103
Applicant's Mailing Address

797-9713 FAX 767-9601
Consultant/Agent
Applicant/Agent Daytime telephone and FAX

6/3/98
Application Date

181 ALLEN AVE PORTLAND
Address Of Proposed Site

343 - D - 2
Assessor's Reference, Chart#, Block, Lot#

Proposed Development (Check all that apply) New Building Building Addition Change of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Other(Specify) APARTMENT GARRAGE (WILL BE THREE/FAMILY)
832 .43 R-5 ADDING TO EXISTING DUPLIC

Proposed Building Square Footage and /or # of Units Acreage of Site Zoning

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) 7 sets of Site Plan packages containing the information found in the attached sample plans and checklist.

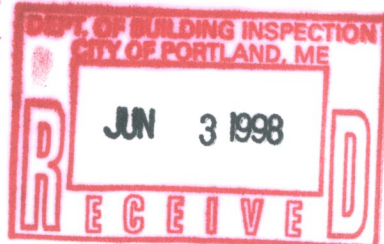
(Section 14-522 of the Zoning Ordinance outlines the process, copies are available for review at the counter, photocopies are \$ 0.25 per page)

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if an approval for the proposed project or use described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this approval at any reasonable hour to enforce the provisions of the codes applicable to this approval.

Signature of applicant: <u>[Signature]</u>	Date: <u>6/3/98</u>
--	---------------------

Site Review Fee: \$300.00

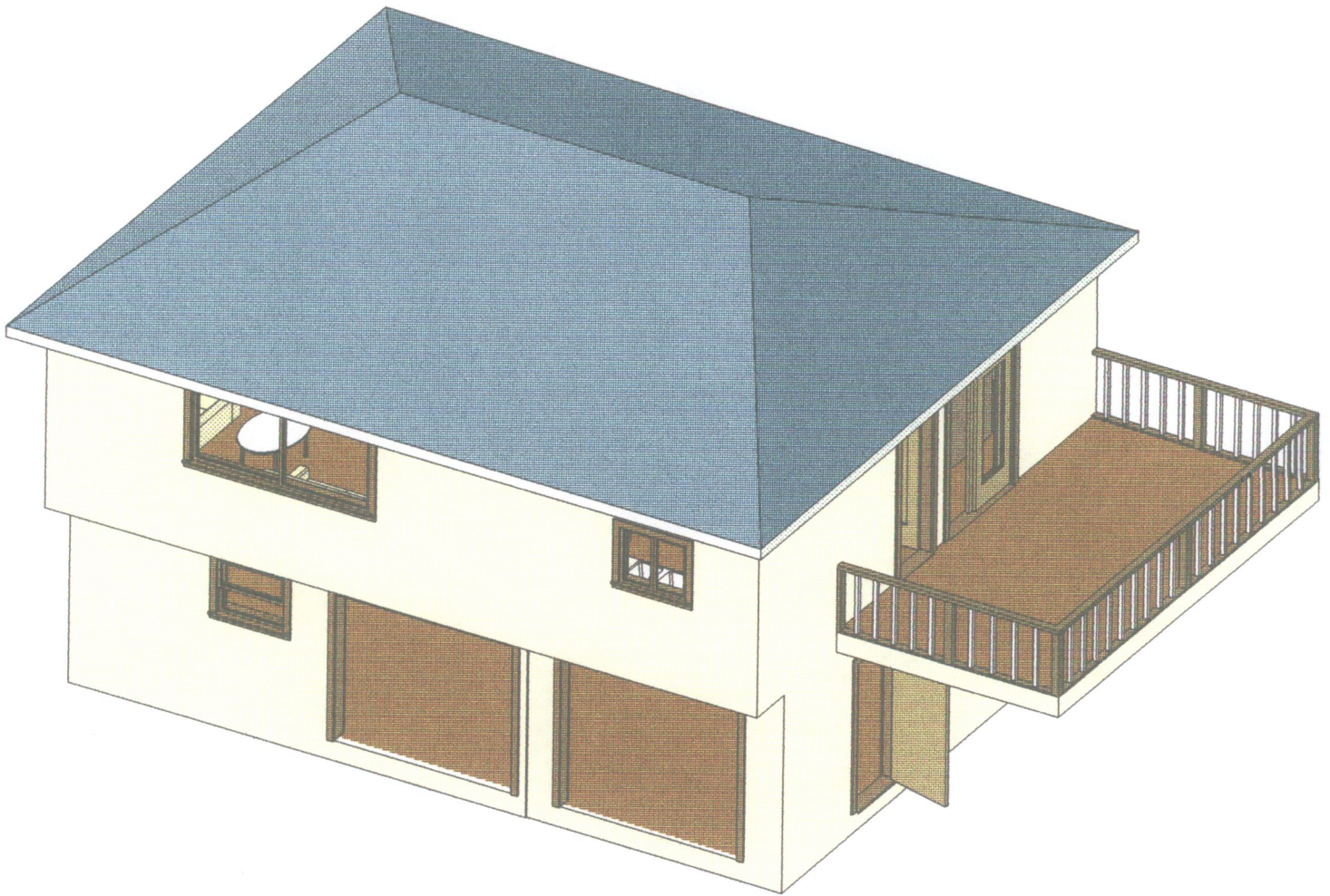
This application is for site review ONLY, a Building Permit application and associated fees will be required prior to construction.

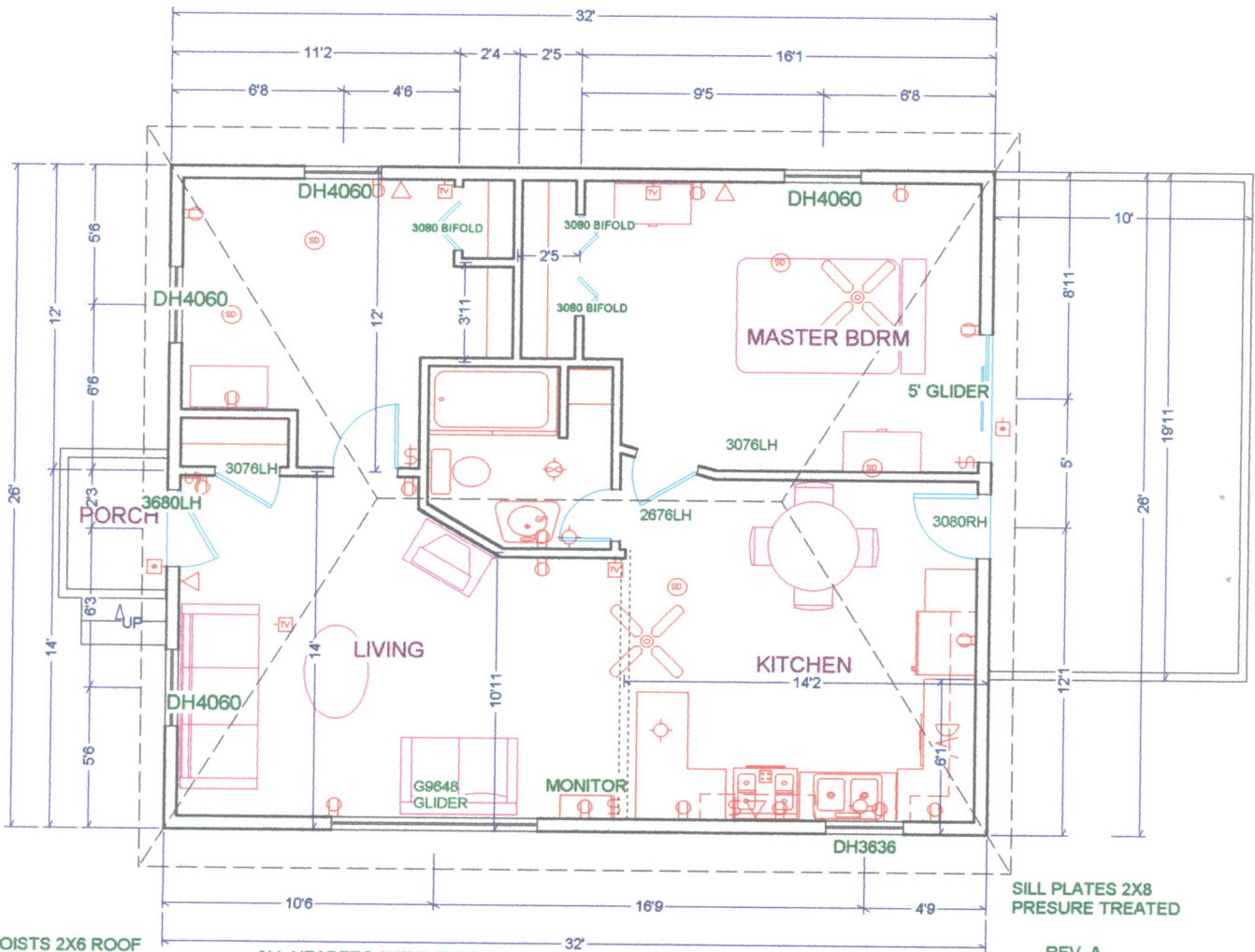


181 Allen Ave

As Built plans

343-D-2





CEILING JOISTS 2X6 ROOF
 RAFTERS 2X10 16 OC
 WITH 5/8 PLYWOOD
 SHEATHING

ALL HEADERS 2X8X3 EXCEPT
 GARRAGE DOORS TO BE
 2X12X3

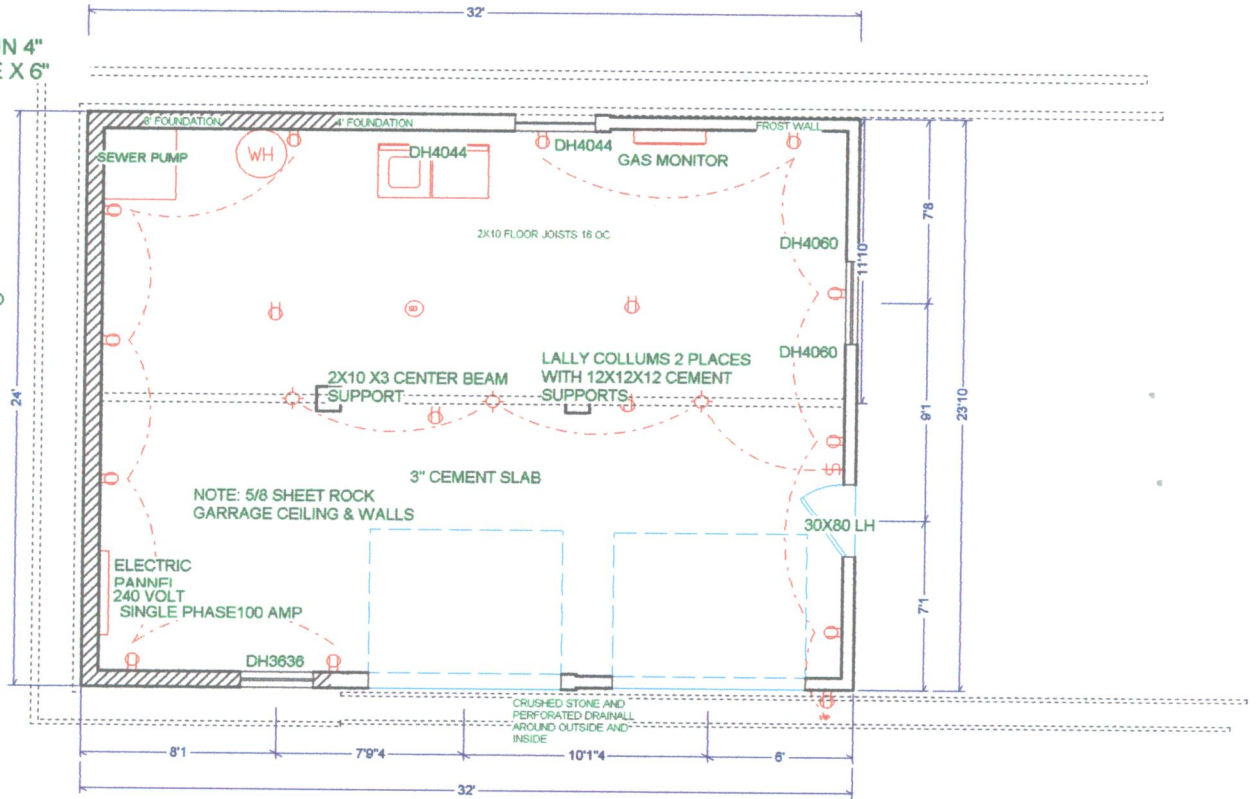
EXTERIOR WALLS 2X6
 INTERIOR WALLS 2X4

LIVING AREA
 831 sq ft

- REV. A
1. MOVED BATHROOM
 2. REMOVED 2 WINDOWS
 3. MOVED KITCHEN
 4. ADDED STAIRWELL
- REV B CHANGE DOOR SWING
 CHANGED TO 2X10 ROOF
 RAFTERS REMOVED
 STAIRCASE

FOUNDATION DRAIN 4" CRUSSED STONE X 6" SAND FILL X12"

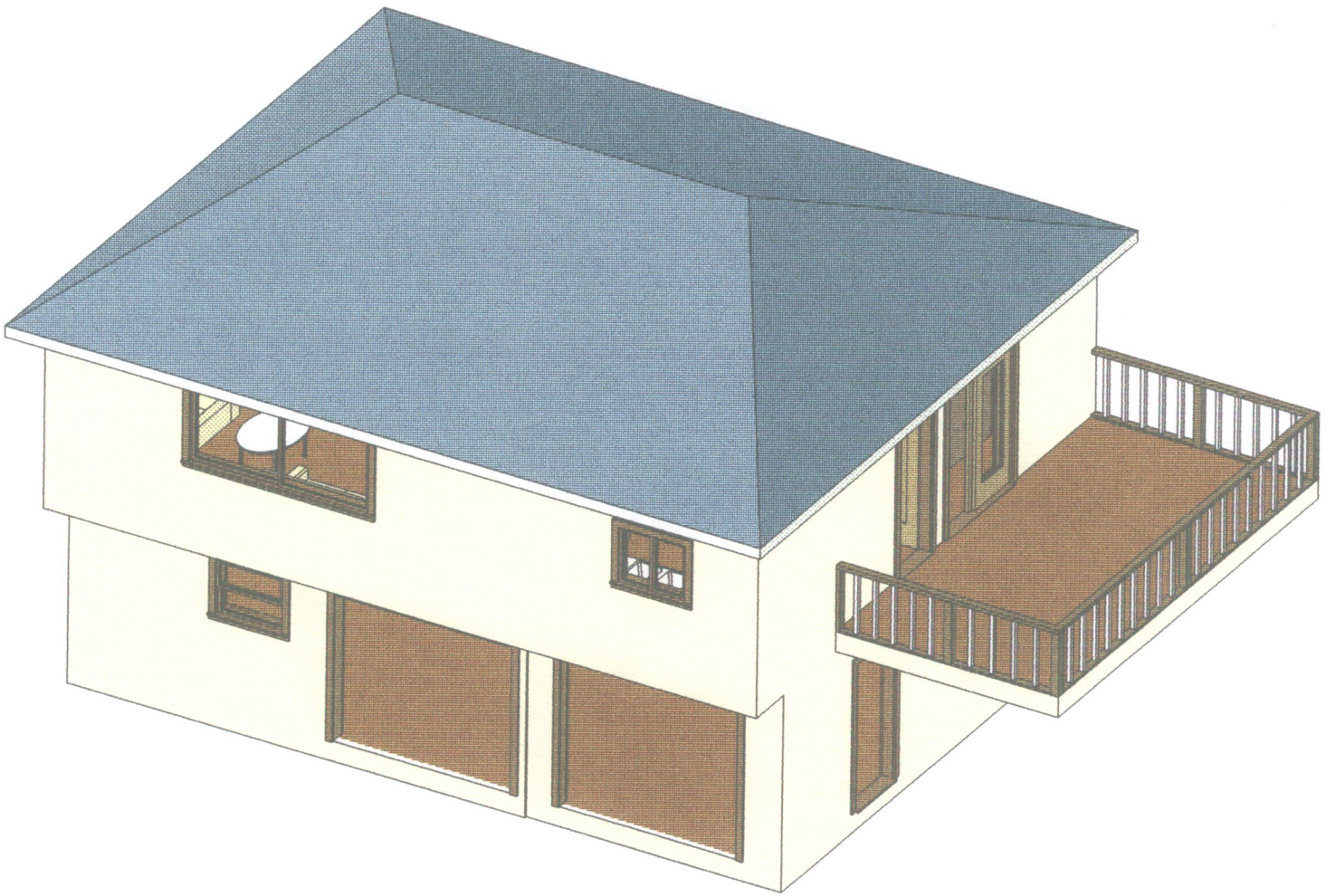
FOUNDATION SEALER TO GRADE ALL AROUND

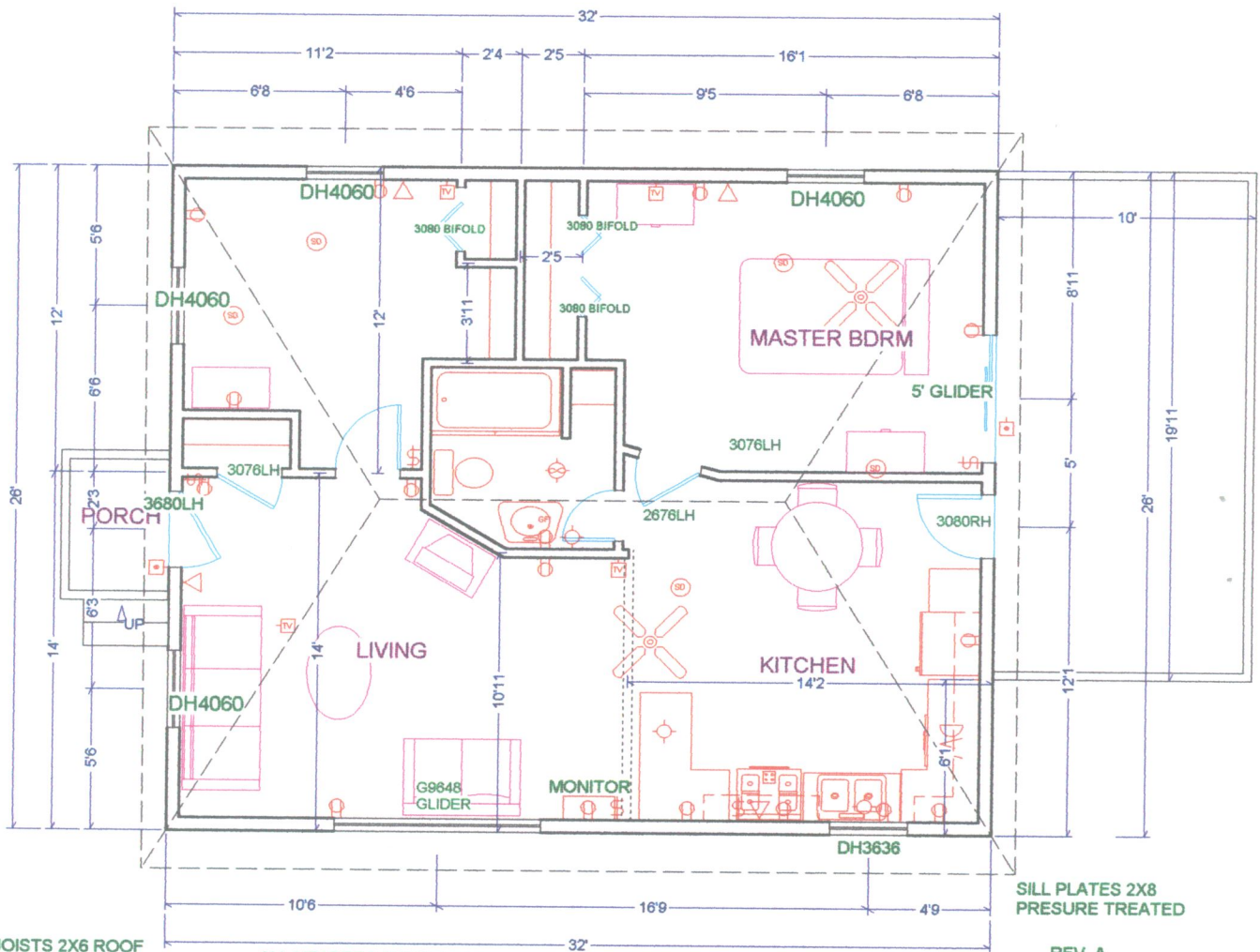


REV. A
ADDED STAIRCASE
MOVED ELECTRIC PANEL

REV. B
REMOVED INTERIOR STAIR
CASE
CHANGE ELECTRIC SERVICE
TO 100 AMP

FOUNDATION FOOTINGS
8"x14" ALL AROUND WITH 1
1/2" CRUSHED STONE AND 4"
DRAIN BOTH SIDES
EXTENDED 30' X 1/8" /FT.
PITCH BEYOND STRUCTURE.





CEILING JOISTS 2X6 ROOF
 RAFTERS 2X10 16 OC
 WITH 5/8 PLYWOOD
 SHEATHING

ALL HEADERS 2X8X3 EXCEPT
 GARRAGE DOORS TO BE
 2X12X3

EXTERIOR WALLS 2X6
 INTERIOR WALLS 2X4

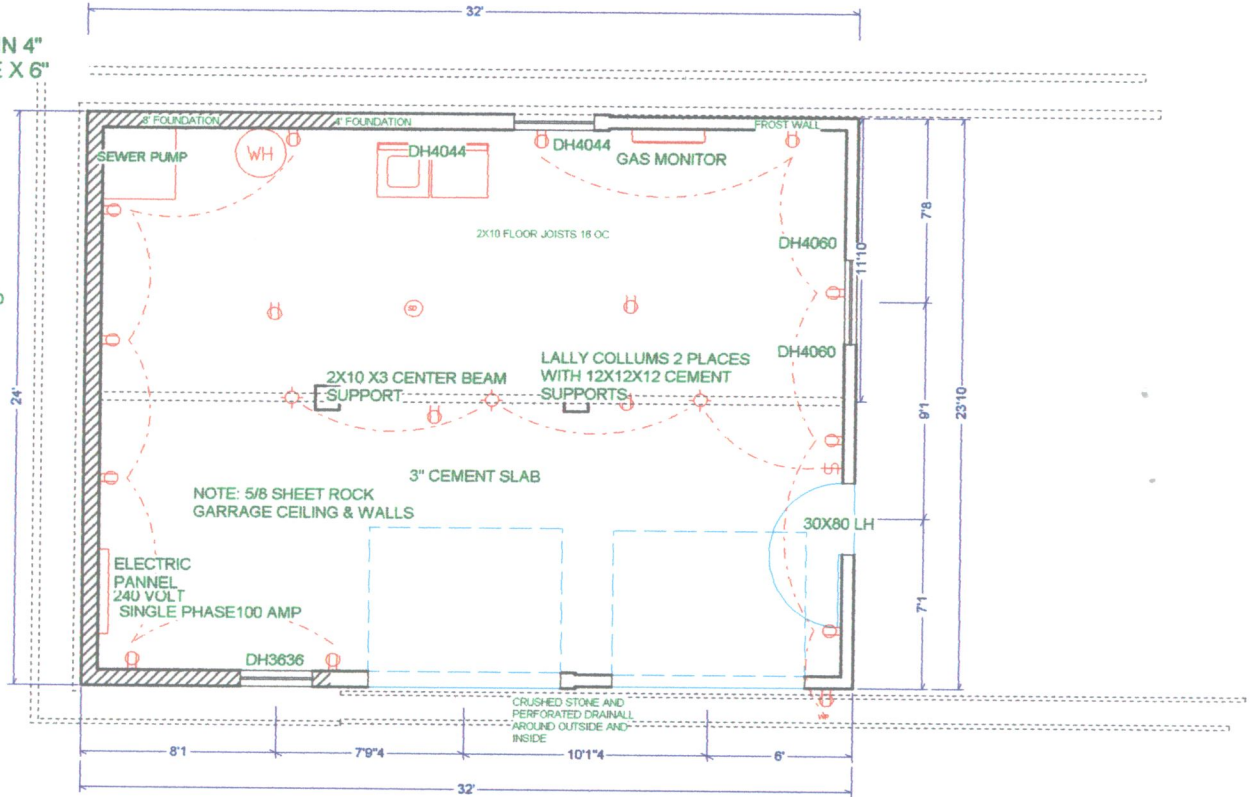
LIVING AREA
 831 sq ft

SILL PLATES 2X8
 PRESURE TREATED

- REV. A
1. MOVED BATHROOM
 2. REMOVED 2 WINDOWS
 3. MOVED KITCHEN
 4. ADDED STAIRWELL
- REV B CHANGE DOOR SWING
 CHANGED TO 2X10 ROOF
 RAFTERS REMOVED
 STAIRCASE

FOUNDATION DRAIN 4"
CRUSSED STONE X 6"
SAND FILL X12"

FOUNDATION SEALER TO
GRADE ALL AROUND



REV. A
ADDED STAIRCASE
MOVED ELECTRIC PANEL

REV. B
REMOVED INTERIOR STAIR
CASE
CHANGE ELECTRIC SERVICE
TO 100 AMP

FOUNDATION FOOTINGS
8"X14" ALL AROUND WITH 1
1/2" CRUSHED STONE AND 4"
DRAIN BOTH SIDES
EXTENDED 30' X1/8" /FT.
PITCH BEYOND STRUCTURE.

2 (TR)

343-D-2

MEMORANDUM

TO: Kandi Talbot, Planner
Code Enforcement

FROM: Jim Wendel, PE, Development Review Coordinator

DATE: November 17, 1998

RE: Certificate of Occupancy
181 Allen Avenue (343-D-002)

A site visit on 11/17/98 was made to review the completion of the conditions of the site plan approval dated 6/25/98; my comments are:

1. The riprap apron at the end of the drive needs to be installed as outlined in the conditions of approval.
2. The as-built plan needs to be submitted.
3. Does a new street number need to be established for this house? The building in front is numbered 181.

It is my opinion that **when the items above are completed or resolved a permanent certificate of occupancy could be issued** assuming code enforcement has no outstanding issues.

1350.10/disk#8/181allen

PLUMBING APPLICATION

343-D-002

Department of Human Sciences
Division of Health Engineering

PROPERTY ADDRESS

Town or Plantation	Portland
Street Subdivision Lot #	181 Allen Ave

PROPERTY OWNERS NAME

Last: Koff	First: Richard
Applicant Name:	Gary Turner
Mailing Address of Owner/Applicant (If Different)	467 Breeley Rd Ext. Cumberland Cntr 04021

PORTLAND Date Permit Issued: 9/30/98 6627 TOWN COPY Double Fee Charged

[Signature] Local Plumbing Inspector Signature

[Signature] Date Approved: 10/1/98

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit.

Signature of Owner/Applicant

Date

9/31/98

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature

Date Approved

1/31/01

PERMIT INFORMATION

This Application is for

- NEW PLUMBING
- RELOCATED PLUMBING

Type of Structure To Be Served:

- SINGLE FAMILY DWELLING
- MODULAR OR MOBILE HOME
- MULTIPLE FAMILY DWELLING
- OTHER - SPECIFY _____

Plumbing To Be Installed By:

- MASTER PLUMBER
- OIL BURNERMAN
- MFG'D. HOUSING DEALER/MECHANIC
- PUBLIC UTILITY EMPLOYEE
- PROPERTY OWNER

LICENSE # 024911

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2		Column 1	
	Number	Type of Fixture	Number	Type of Fixture
HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.	1	Hosebibb / Sillcock	1	Bathtub (and Shower) <u>1 1/2"</u>
		Floor Drain		Shower (Separate)
OR		Urinal	1	Sink <u>1 1/2" min</u>
		Drinking Fountain	1	Wash Basin <u>1 1/2" min</u>
HOOK-UP: to an existing subsurface wastewater disposal system.		Indirect Waste	2	Water Closet (Toilet) <u>3"</u>
PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.		Water Treatment Softener, Filter, etc.	1	Clothes Washer
		Grease / Oil Separator		Dish Washer
OR		Dental Cuspidor	1	Garbage Disposal
		Bidet	1	Laundry Tub
TRANSFER FEE [\$6.00]		Other: _____	1	Water Heater
		Fixtures (Subtotal) Column 2	9	Fixtures (Subtotal) Column 1
			1	Fixtures (Subtotal) Column 2
			10	Total Fixtures
				Fixture Fee
				Transfer Fee
				Hook-Up & Relocation Fee
			<u>40</u>	Permit Fee (Total)

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE



DeLUCA-HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

778 MAIN STREET
SUITE 8
SOUTH PORTLAND, MAINE 04106
TEL. 207 775 1121
FAX 207 879 0896

343-D-008

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

MEMORANDUM

TO: Code Enforcement
Kandi Talbot, Planner

FROM: Chris Earle, Construction Representative
Reviewed by Steve Bushey, P.E., Acting Development Review Coordinator

DATE: August 2, 2000

RE: Certificate of Occupancy – 181 Allen Avenue

On July 27, 2000, the site was reviewed for compliance with the conditions of approval.

It is our opinion that a **permanent certificate of occupancy could be issued**, assuming Code Enforcement has no outstanding issues.

PLUMBING APPLICATION

Department of Human Services
Division of Health Engineering
(207) 289-3826

344-C-003

PROPERTY ADDRESS

Town Or Plantation: Portland
Street Subdivision Lot #: 11 Madewood st

PROPERTY OWNERS NAME

Last: Marley First: Hume
Applicant Name: Rolf Casparius
Mailing Address of Owner/Applicant (If Different): 1231 Forest Avenue
Portland Me 04103

PORTLAND Date Permit Issued: 11 9 98 6665 TOWN COPY
\$ 12 FEE If Double Fee Charged
L.P.I. # 0124
Local Plumbing Inspector Signature

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit.

Signature of Owner/Applicant: [Signature] Date: 11/9/98

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature: _____ Date Approved: _____

PERMIT INFORMATION

This Application is for:

- NEW PLUMBING
- RELOCATED PLUMBING

Type Of Structure To Be Served:

- SINGLE FAMILY DWELLING
- MODULAR OR MOBILE HOME
- MULTIPLE FAMILY DWELLING
- OTHER — SPECIFY _____

Plumbing To Be Installed By:

- MASTER PLUMBER
- OIL BURNERMAN
- MFG'D. HOUSING DEALER / MECHANIC
- PUBLIC UTILITY EMPLOYEE
- PROPERTY OWNER

LICENSE # 066951

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2		Column 1	
	Number	Type of Fixture	Number	Type of Fixture
<p>HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.</p> <p>OR</p> <p>HOOK-UP: to an existing subsurface wastewater disposal system.</p> <p>PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.</p> <p>Number of Hook-Ups & Relocations</p> <p>Hook-Up & Relocation Fee</p> <p>OR</p> <p>TRANSFER FEE [\$6.00]</p>		Hosebibb / Sillcock		Bathtub (and Shower)
		Floor Drain	1	Shower (Separate)
		Urinal	1	Sink
		Drinking Fountain		Wash Basin
		Indirect Waste	1	Water Closet (Toilet)
		Water Treatment Softener, Filter, etc.		Clothes Washer
		Grease / Oil Separator		Dish Washer
		Dental Cuspidor		Garbage Disposal
		Bidet		Laundry Tub
		Other: _____		Water Heater
	Fixtures (Subtotal) Column 2		3	Fixtures (Subtotal) Column 1
			1	Fixtures (Subtotal) Column 2
			3	Total Fixtures
				Fixture Fee
				Transfer Fee
				Hook-Up & Relocation Fee
				Permit Fee (Total)

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

\$ 12.00

TOWN COPY

ELECTRICAL PERMIT

City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:
 The undersigned hereby applies for a permit to make electrical installations
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,
 National Electrical Code and the following specifications:

Date April 22, 1999
 Permit # 4590
 CBL# 2 344-C-003

SITE LOCATION: 11 Maplewood Dr

OWNER Boyd Marley TENANT _____

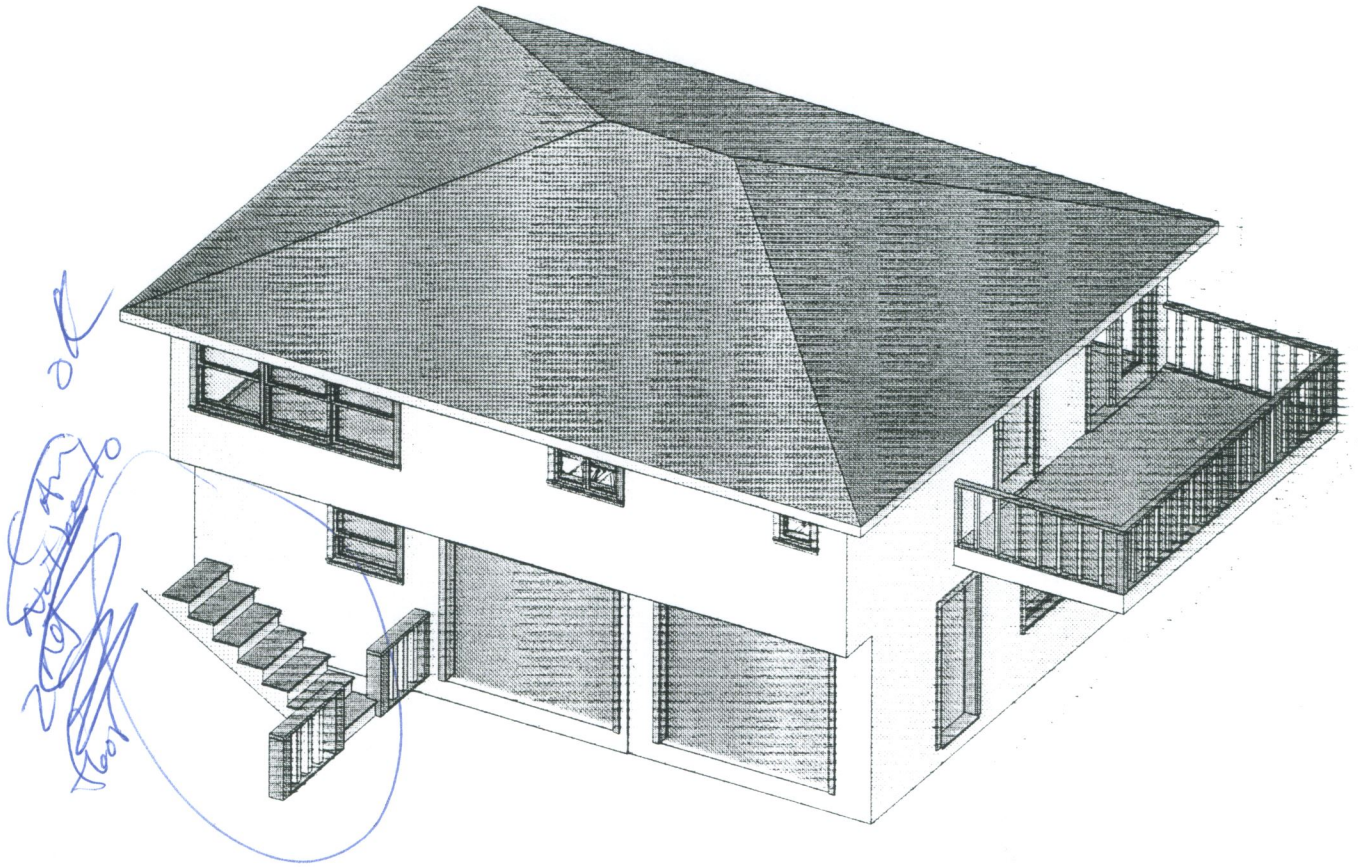
						TOTAL EACH FEE			
OUTLETS	Receptacles	15	Switches	6	Smoke Detectors	1	22	.20	4.40
FIXTURES	incandescent	6	fluorescent		Strips		6	.20	1.20
SERVICES	Overhead		Underground		TTL AMPS	<800		15.00	
	Overhead		Underground			>800		25.00	
Temporary Service	Overhead		Underground		TTL AMPS			25.00	
								25.00	
METERS	(number of)							1.00	
MOTORS	(number of)							2.00	
RESID/COM	Electric units							1.00	
HEATING	oil/gas units		Interior		Exterior			5.00	
							2.00		
APPLIANCES	Ranges		Cook Tops		Wall Ovens			2.00	
	Insta-Hot		Water heaters		Fans			2.00	
	Dryers		Disposals		Dishwasher			2.00	
	Compactors		Spa		Washing Machine			2.00	
	Others (denote)							2.00	
MISC. (number of)	Air Cond/win							3.00	
	Air Cond/cent				Pools			10.00	
	HVAC		EMS		Thermostat			5.00	
	Signs							10.00	
	Alarms/res							5.00	
	Alarms/com							15.00	
	Heavy Duty(CRKT)							2.00	
	Circus/Carnv							25.00	
	Alterations							5.00	
	Fire Repairs							15.00	
	E Lights							1.00	
	E Generators							20.00	
	PANELS	Service		Remote		Main			4.00
							4.00	4.00	
TRANSFORMER	0-25 Kva			1				5.00	
	25-200 Kva							8.00	
	Over 200 Kva							10.00	
						TOTAL AMOUNT DUE			
						MINIMUM FEE/COMMERCIAL 35.00			
						MINIMUM FEE		25.00	25.00

INSPECTION: Will be ready _____ or will call X

CONTRACTORS NAME Alan Eger Electric MASTER LIC. # 4590
 ADDRESS P.O. JBox 238 Gorham 04038 LIMITED LIC. # _____
 TELEPHONE 839-2411

SIGNATURE OF CONTRACTOR *Alan Eger*

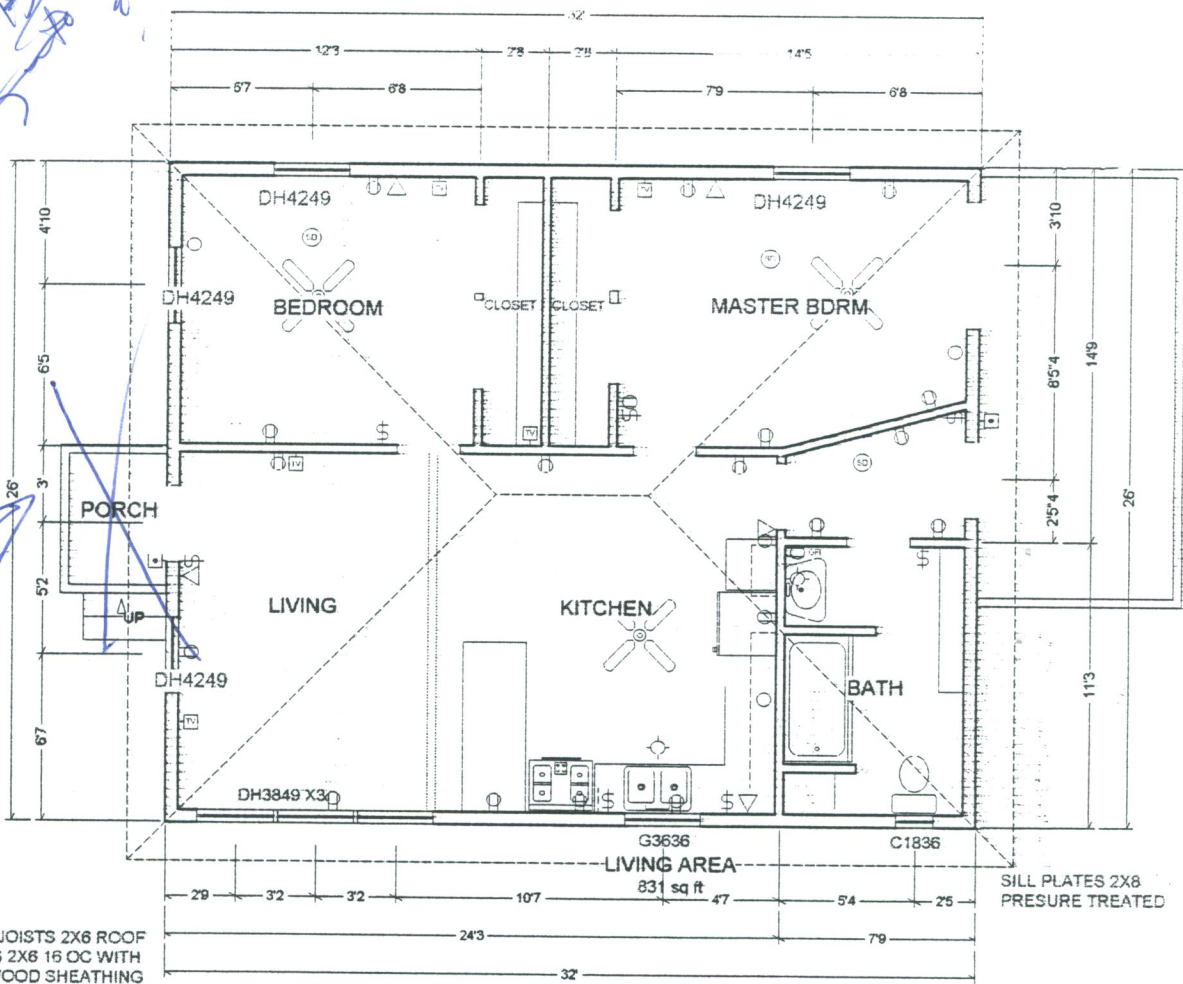
181 Allen Ave



check do open stairs 42nd floor?
15' the stack

floor joist
2x10 16.0c
per owner
7/10/98

OK
7/10/98



CEILING JOISTS 2X6 ROOF
 RAFTERS 2X6 16 OC WITH
 5/8 PLYWOOD SHEATHING

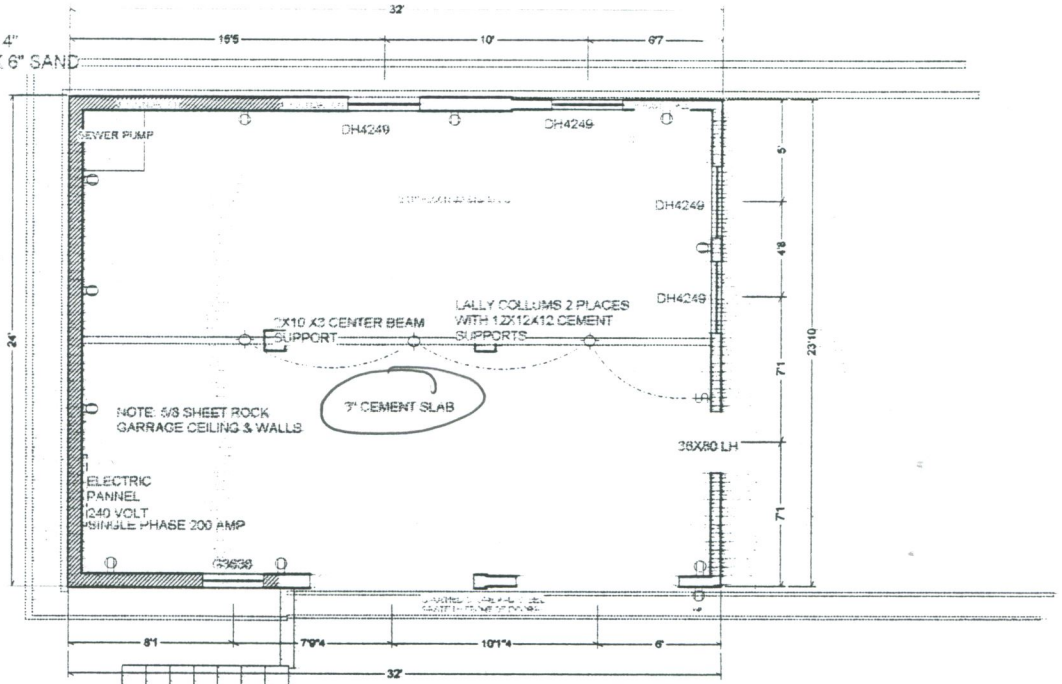
ALL HEADERS 2X8X3 EXCEPT
 GARRAGE DOORS TO BE
 2X12X3

EXTERIOR WALLS 2X6
 INTERIOR WALLS 2X4

SILL PLATES 2X8
 PRESURE TREATED

FOUNDATION DRAIN 4"
CRUSSED STONE X 6" SAND
FILL X 12"

FOUNDATION SEALER TO
GRADE ALL AROUND



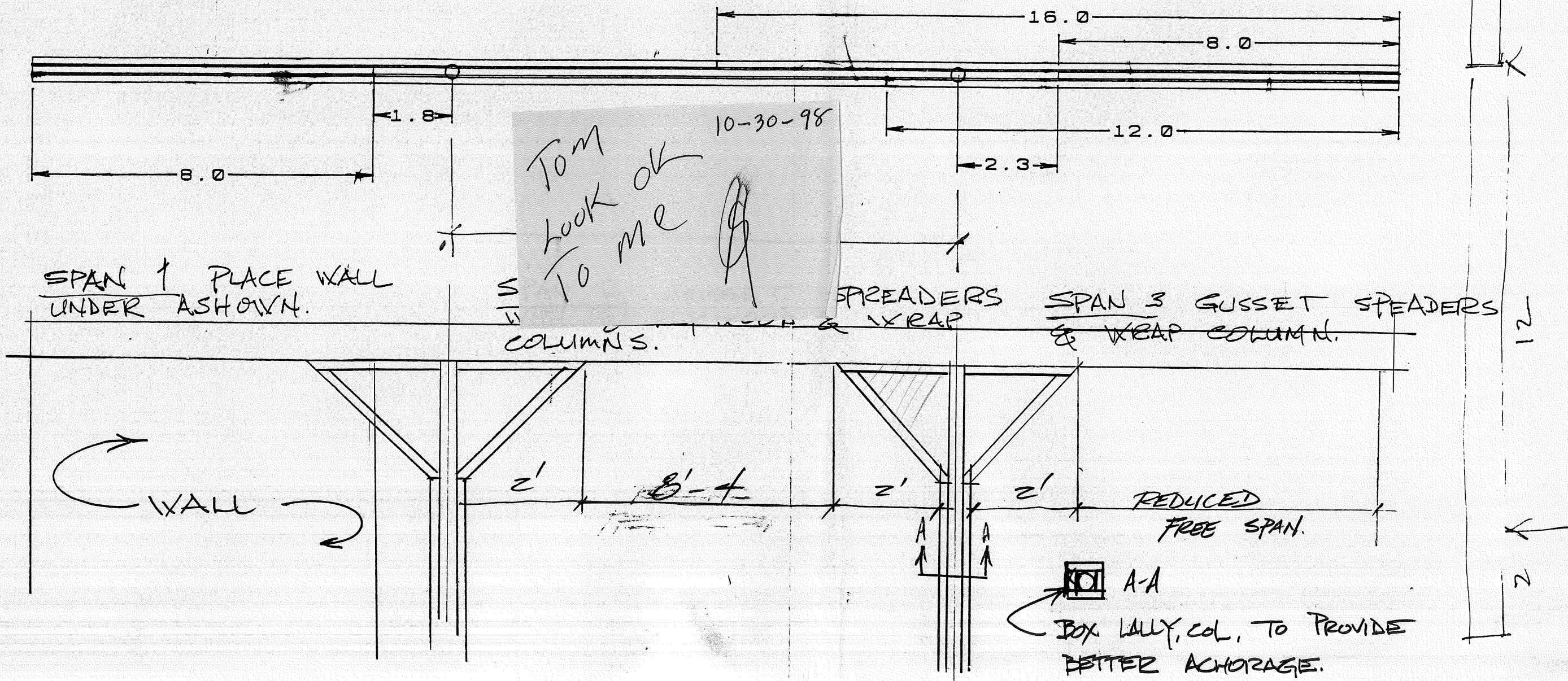
FOUNDATION FOOTINGS
8"X14" ALL AROUND WITH 1"
1/2" CRUSSED STONE AND 4"
DRAIN BOTH SIDES
EXTENDED 37 X 1/8" / FT
PITCH BEYOND STRUCTURE

32'-0	32'-0
- 12'-0	- 10'-3
-----	-----
20'-0	21'-9
- 9'-8	- 9'-8
-----	-----
10'-4	12'-1

PROPOSED
SUPPORTS FOR
181 ALLEN AVE.
RICK GAFF

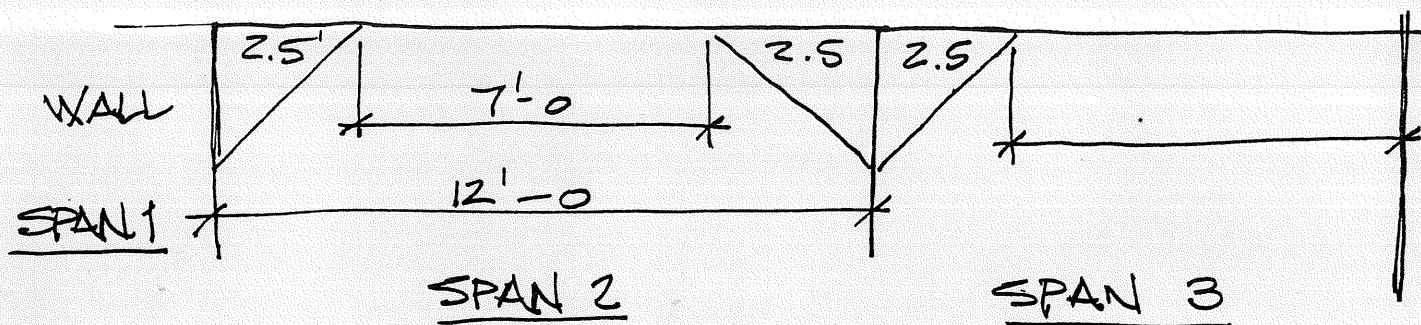
PHONE 767-9601
934-7822

Inspected
11-2-98
all in place
and OK.
TR



SPAN 2

REDUCE 12'-0" FREE SPAN BY USING 2'-6" X 45° SPREADERS SET AT MIDDLE & END SPANS. THESE REDUCE THE SPAN BY 5'-0" FEET. CALCULATE FOR TRIBUTARY LOAD OVER 7'-0" SPAN SHOWN.



TRIBUTARY LOAD $T_L = 12(7)50 = 4200$ LB.

$$M = \frac{wL^2}{8} = \frac{4200(84)}{8} = 44,100 \text{ in. lb.}$$

$$S = \frac{M}{F_b} = \frac{44,100}{1300} = 33.923 \text{ in}^3$$

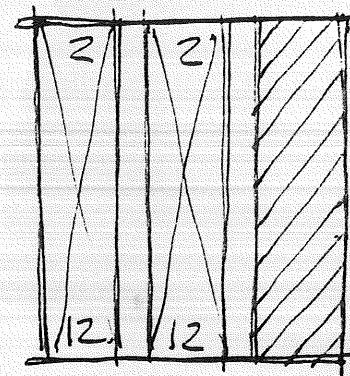
$$\frac{33.923}{31.641} = 1.07 \quad \text{use } 2-2 \times 12$$

OR

$$\frac{33.923}{21.391} = 1.58 \quad \text{use } 2-2 \times 10$$

FROM THE CURRENT NELMA CHARTS 2x12 VALUES SINGLE MEMBER USE.

PROBLEM: SPLICE AT MID SPAN CAN BE TAKEN OUT OF THE MATH BY REDUCING THE BENDING MOMENT. SUCH THAT THE REMAINING TWO MEMBERS CAN SAFELY RESPOND TO THE REDUCED BENDING MOMENT.



IN CALCULATING THE CARRYING ABILITY OF YOUR BEAM AT THE WEAKEST POINT. YOUR BEAM CAN SAFELY SUPPORT THE FOLLOWING.

$$\text{BEAM @ SPLICE} \quad \underbrace{2(31.641)1300}_{\text{WOOD}} + \underbrace{2\left(\frac{5(11.25^2)}{6}\right)1650}_{\text{PLYWOOD}} = 152,224 \text{ in. lb.}$$

THIS BEAM CAN SAFELY RESPOND TO 152,224 in. lb. OF BENDING AT ITS WEAKEST POINT. THE TRIBUTARY LOAD IN THIS CASE ONLY GENERATES 44,100 in. lb. MAKING THE BEAM ALMOST 4X AS STRONG AS IT HAS TO BE.

DEFLECTION

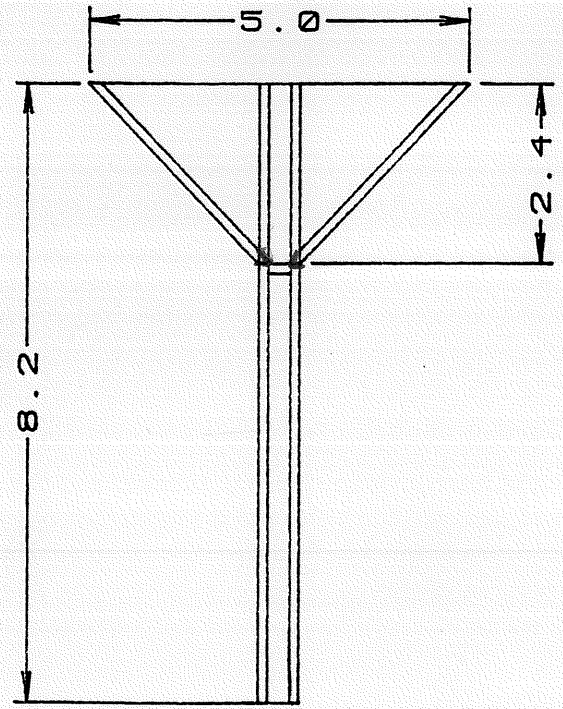
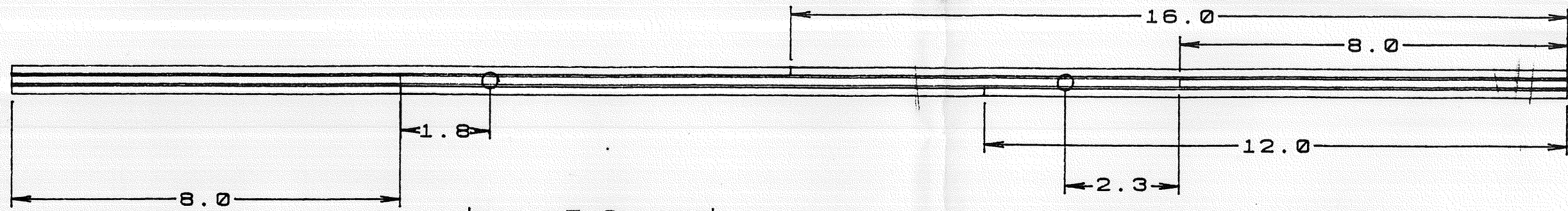
$$A = \frac{84}{360} = .23 \quad \text{ALLOWABLE } \frac{1}{4}''$$

$$A = \frac{5wL^3}{384EI} = \frac{5(4200)84^3}{384(1,100,000)475.203} = .062 \text{ OR } \frac{1}{16}''$$

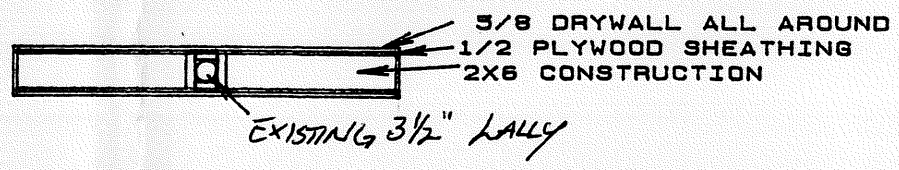
$$\frac{M}{S} = \frac{F_b}{105.468} = \frac{418}{1300} = \frac{.019}{.062} = .019''$$

FROM THE CHART

YOU WILL HARDLY NOTICE THE MINIMAL DEFLECTION BECAUSE YOUR MATERIAL PROBABLY HAS A CROWN.

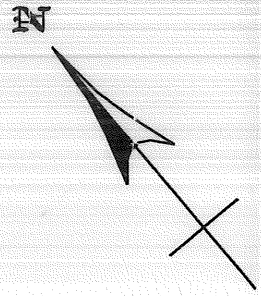
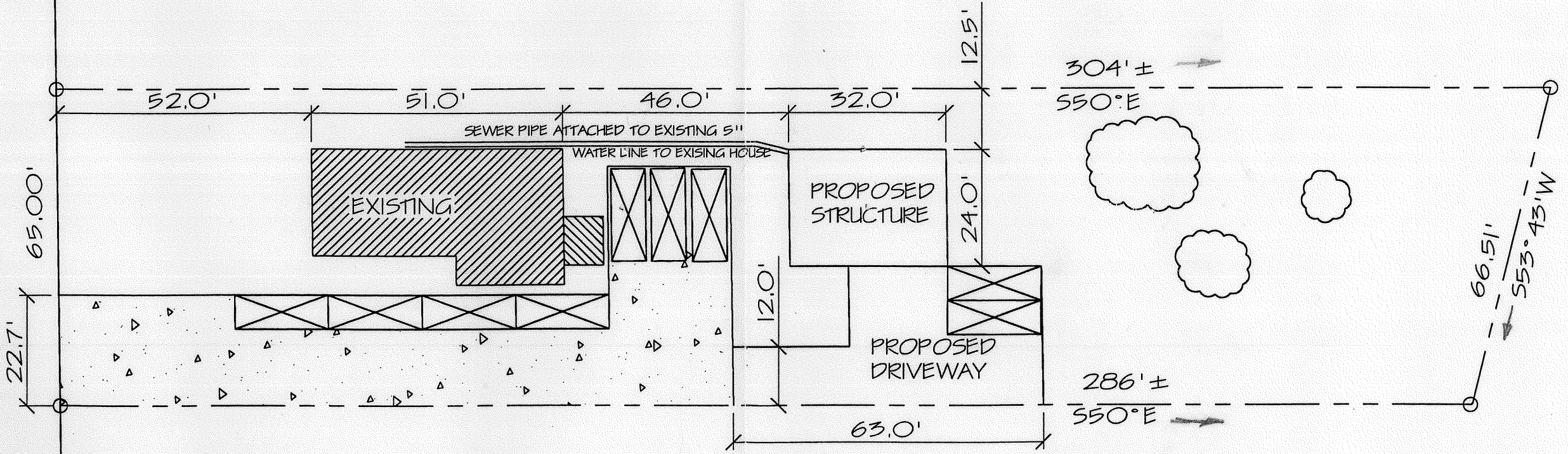


SIDE VIEW 2 REQUIRED



TOP VIEW

ALLEN AVE.

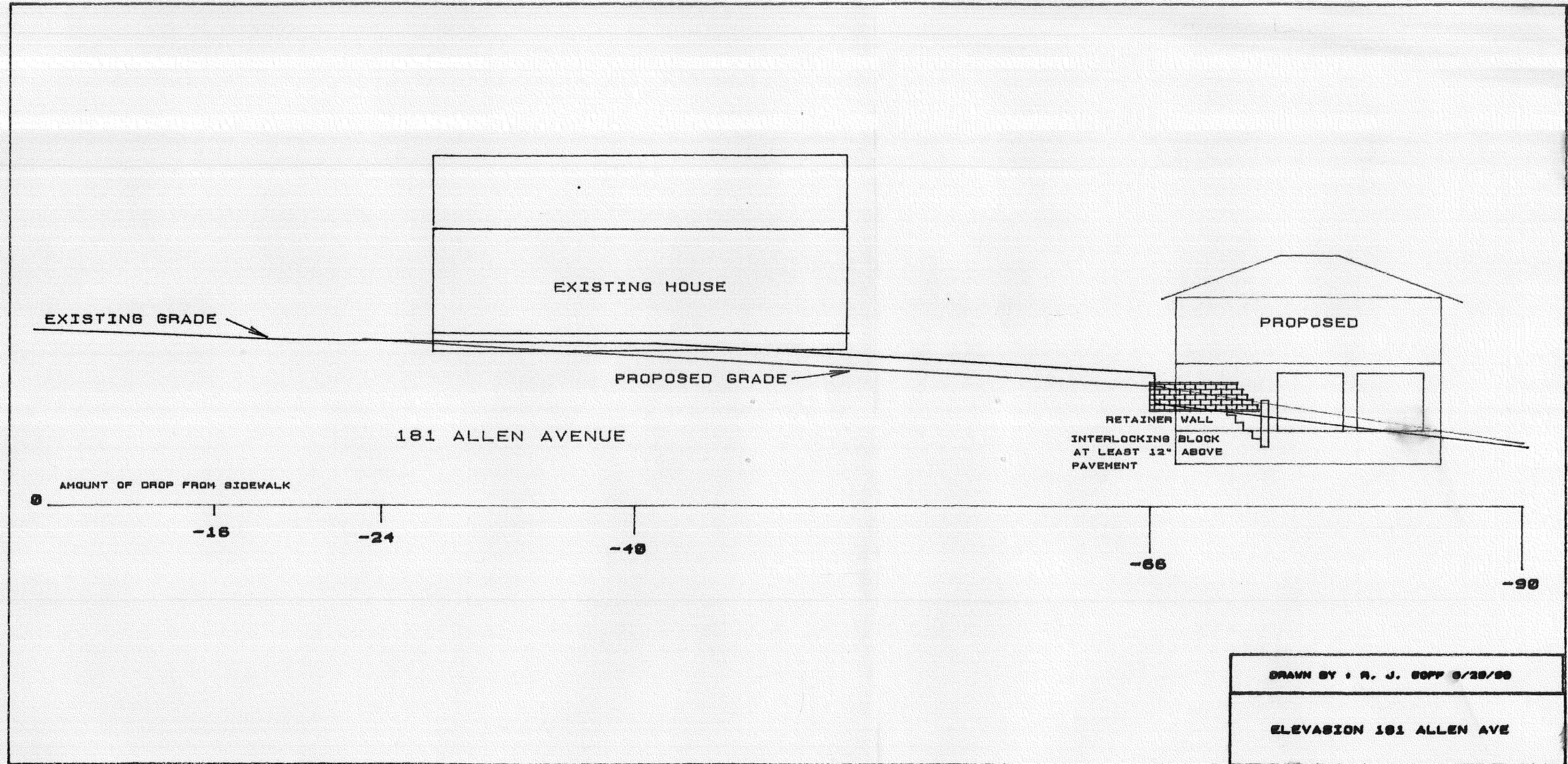


DRAWN BY: D.ABBOTT
FOR PERMIT PURPOSES ONLY

GOFF PLOT PLAN

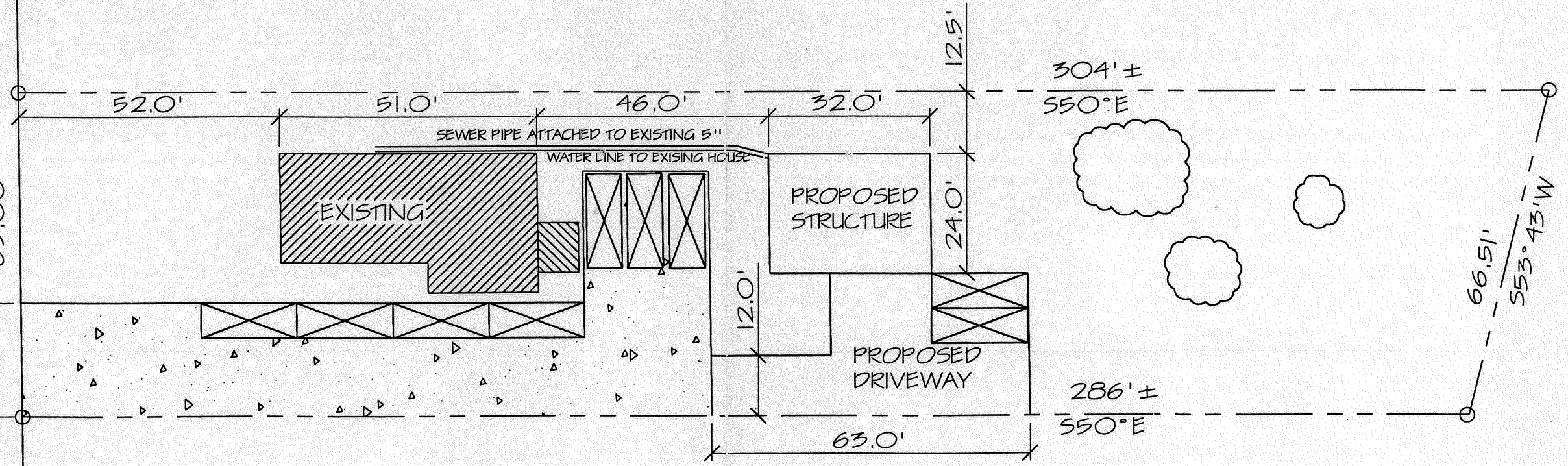
181 ALLEN AVE.
PORTLAND, MAINE 04103

JUNE 2, 1998
1" = 25'



ALLEN AVE.

22.7' 65.00'



CITY OF PORTLAND
 APPROVED SITE PLAN
 SUBJECT TO DEPARTMENTAL
 CONDITIONS
 DATE OF APPROVAL 7/8/98

DRAWN BY: D.ABBOTT
FOR PERMIT PURPOSES ONLY

GOFF PLOT PLAN

181 ALLEN AVE.
PORTLAND, MAINE 04103

JUNE 2, 1998
1" = 25'