

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that ALEC NEWCOMB

Located At 55 PLYMOUTH ST

Job ID: 2012-06-4275-SF

CBL: 343- B-009-001

has permission to expand the existing deck 16' by 16'. (Single Family Residence).

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

\_\_\_\_\_  
**Fire Prevention Officer**

\_\_\_\_\_  
**Code Enforcement Officer / Plan Reviewer**

06/22/2012

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
  1. Footings/Setbacks prior to pouring concrete
  2. Close In Elec/Plmb/Frame prior to insulate or gypsum
  3. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



# PORTLAND MAINE

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Acting Director of Planning and Urban Development  
Gregory Mitchell

Job ID: 2012-06-4275-SF

Located At: 55 PLYMOUTH ST

CBL: 343- B-009-001

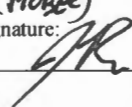
## Conditions of Approval:


### **Building**

1. Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. A graspable handrail (34-38 inches in height) shall be provided on at least one side of each continuous run of treads or flight with four or more risers. Fall protection (36 inches) from exterior decks may be required if floor joist are at or above thirty (30) inches from grade.
3. Section R317 Protection of Wood and Wood Based Products against decay. All wood framing members that rest on concrete or masonry exterior foundation walls and are less than 8 inches from the exposed ground.
4. R502.6 Bearing. The ends of each joist, beam or girder shall have not less than 1.5 inches of bearing on wood or metal and not less than 3 inches on masonry or concrete except where supported on a 1-inch-by-4-inch ribbon strip and nailed to the adjacent stud or by the use of approved joist hangers.
5. R502.2.2.1 Deck ledger connection to band joist. For decks supporting a total design load of 50 pounds per square foot [40 pounds per square foot (1915 Pa) live load plus 10 pounds per square foot (479 Pa) dead load], the connection between a deck ledger of pressure preservative treated Southern Pine, incised pressure-preservative- treated Hem-Fir or approved decay- resistant species, and a 2-inch (51 mm) nominal lumber band joist bearing on a sill plate or wall plate shall be constructed with 1/2-inch lag screws or bolts with washers in accordance with Table R502.2.2.1. Lag screws, bolts and washers shall be hot-dipped galvanized or stainless steel, **see attachment**.

# City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-06-4275-SF	Date Applied: 6/18/2012	CBL: 343- B-009-001	
Location of Construction: 55 PLYMOUTH ST	Owner Name: ALEC NEWCOMB	Owner Address: 55 PLYMOUTH RD PORTLAND, ME 04107	Phone:
Business Name:	Contractor Name: Envy Construction - Nick Voltolina	Contractor Address: 124 Mountain View RD GRAY ME 04039	Phone: (207) 232-0351
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-3
Past Use: Single family home	Proposed Use: Same - single family home - add 16' x 16' deck off rear of house	Cost of Work: 4000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: R3 Type: SB DEC 2009 (MURK) Signature: 
Proposed Project Description: Adding to an existing deck; 16' X 16'		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Brad		<b>Zoning Approval</b>	

	Special Zone or Reviews	Zoning Appeal	Historic Preservation
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building Permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.	<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan  <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: OK 6/20/12 	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied  Date:	<input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied  Date: ABM

### CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

2012-06-4275-JF

Handwritten: 6/18/12

Location/Address of Construction: <b>55 Plymouth Rd Portland ME, 04039 04103</b>		
Total Square Footage of Proposed Structure/Area <b>240</b>	Square Footage of Lot	Number of Stories <b>1</b>
Tax Assessor's Chart, Block & Lot Chart# <b>343</b> Block# <b>B009</b> Lot#	Applicant: (must be owner, lessee or buyer) Name <b>Alec Newcomb</b> Address <b>55 plymouth Rd</b> City, State & Zip <b>Portland ME, 04103</b>	Telephone:  <b>4000</b>
Lessee/DBA <b>RECEIVED JUN 18 2012 Dept. of Building Inspections City of Portland Maine</b>	Owner: (if different from applicant) Name Address City, State & Zip	Cost of Work: \$ <b>3495</b> C of O Fee: \$ Historic Review: \$ Planning Amin.: \$ <b>\$ 60.00</b> Total Fee: \$ <b>3495</b>
Current legal use (i.e. single family) <u>Single family</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? Proposed Specific use: Is property part of a subdivision? <u>NO</u> If yes, please name Project description: <b>Add a 16'x16' Deck to the existing Deck with installing 2 concrete Pillers.</b>		
Contractor's name: <u>Envy Construction</u> Email: <u>voltolinan@yahoo.com</u> Address: <u>124 Mountain View Rd Gray ME, 04039</u> City, State & Zip <u>Gray ME, 04039</u> Telephone: <u>207-232-0351</u> Who should we contact when the permit is ready: <u>Nick Voltolina</u> Telephone: <u>207-232-0351</u> Mailing address: <u>124 Mountain View Rd Gray ME, 04039</u>		

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

and I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Alec Newcomb Date: 6/17/12

This is not a permit; you may not commence ANY work until the permit is issued



# Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at [www.portlandmaine.gov](http://www.portlandmaine.gov), in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

## One (1) complete set of construction drawings must include:

- Cross sections w/framing details
- Floor plans and elevations existing & proposed
- Detail removal of all partitions & any new structural beams
- Detail any new walls or permanent partitions
- Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing
- Window and door schedules
- Foundation plans w/required drainage and damp proofing (if applicable)
- Detail egress requirements and fire separation/sound transmission ratings (if applicable)
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IECC 2009
- Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
- Electronic files in pdf format are also required
- Proof of ownership is required if it is inconsistent with the assessors records

**Separate permits are required for internal & external plumbing, HVAC, and electrical installations.**

If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- Location and dimensions of parking areas and driveways
- A change of use may require a site plan exemption application to be filed.

**Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

**Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost**

**This is not a Permit; you may not commence any work until the Permit is issued.**



# PORTLAND MAINE

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Receipts Details:

**Tender Information:** Check , Check Number: 1005

**Tender Amount:** 60.00

Receipt Header:

**Cashier Id:** bsaucier

**Receipt Date:** 6/18/2012

**Receipt Number:** 45090

Receipt Details:

Referance ID:	6935	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	60.00	Charge Amount:	60.00
Job ID: Job ID: 2012-06-4275-SF - Adding to an existing deck; 16' X 16'			
Additional Comments: 55 Plymouth			

Thank You for your Payment!

## DECK INFORMATION REQUIRED WITH YOUR APPLICATION

The following is a guideline of information required for the review of a deck application. It is intended to help you supply proper and complete application packages. Please label all of the following items on your plans. Thank you!

1. A complete plot plan showing all structures & proposed structures with distances to all property lines labeled.
2. Type of foundation system
  - a. Diameter of concrete filled tube 12"
  - b. depth below grade (minimum 4'-0" below grade) 4'
  - c. anchorage of column to footing Yes
  - d. spacing of tubes  
Or
  - e. pre cast concrete pier size 24" x 16"
  - f. depth below grade (minimum 4'-0") 4'
  - g. anchorage of column to footing Yes
  - h. spacing of tubes 6' (2x10 go 7'-5" Double)
3. Columns (members supporting framing of floor system)
  - a. wood size and type Pressure treated 2x10
  - b. anchorage of column to footing Bolt
4. Framing Members
  - a. Ledger size attached to building 2"x10" 16'
  - b. Lag Bolt size and spacing on ledger 5" every 16"
  - c. Location of all flashing 4 inches up wall over ledger
  - d. Girder Size and spans carrying floor system
  - e. Joist size, span, and spacing 2x10" 13-16 span 12" on center
  - f. Joist hangers or ledger
  - g. Decking size 1x6 Pressure treated
5. Guardrails & Handrail Details
  - a. Guardrail height 4'
  - b. Baluster spacing 4" spacing on cables
  - c. Handrail height 42" 36"
6. Stair Details (Existing)
  - a. Tread depth (measured nosing to nosing)
  - b. Riser height
  - c. Nosing on tread
  - d. Width of stairs

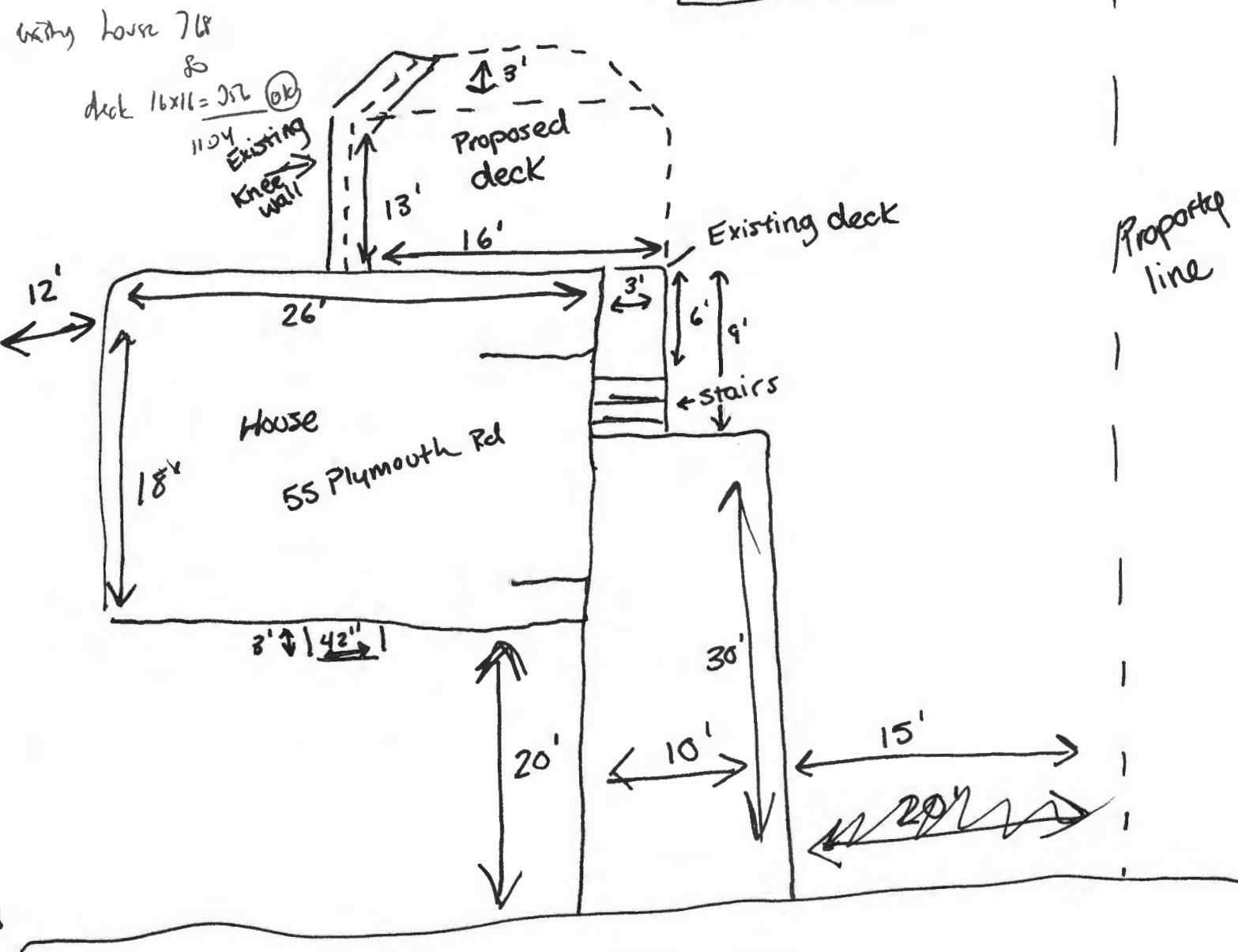
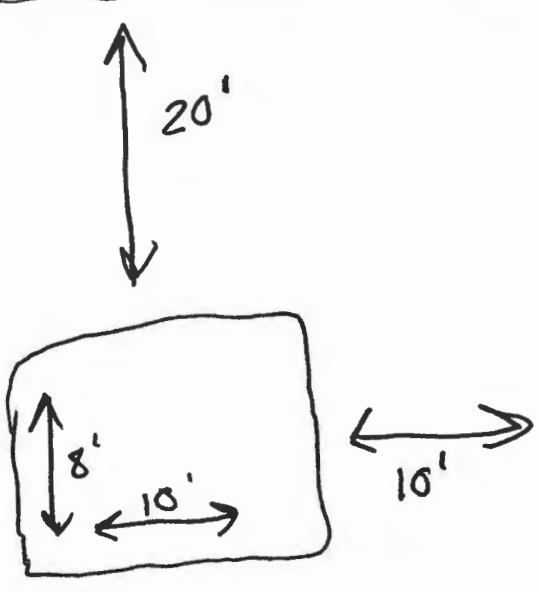
RECEIVED

JUN 22 2012

Dept. of Building Inspections  
City of Portland Maine



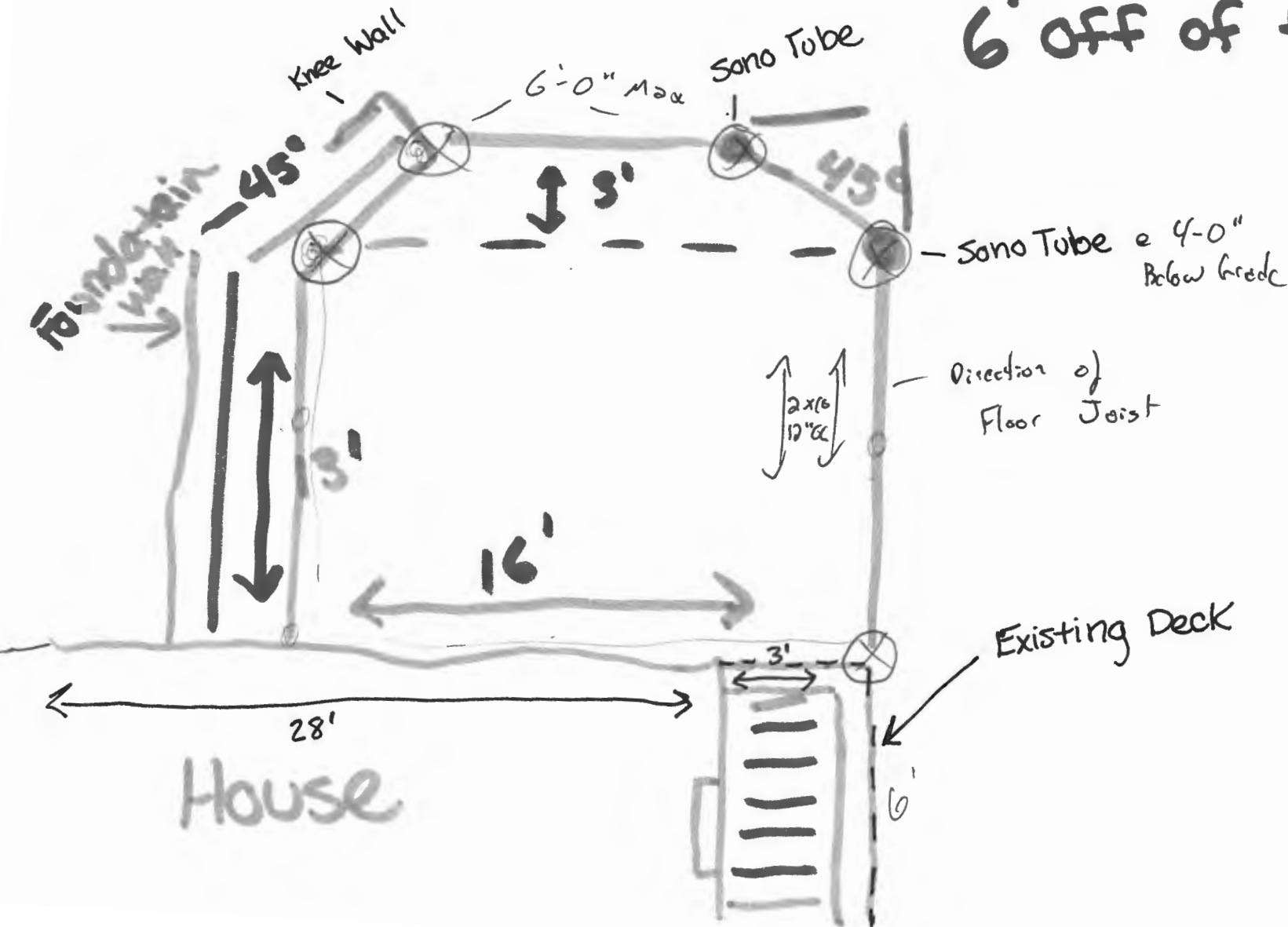
R-3  
 lot size 8663  
 front - N/A  
 rear - 25' - 7 20' (OK)  
 side - 8' - 7 10' on left  
 7 15' on right OK  
 lot coverage - 35% = 3032.05



Plymouth Rd

# P.t. Decking

6' off of the ground



- ~~2/28~~ 6/22/12
- 120C 2x10 SPF#2
  - Ledger connection
  - (2) 2x10" Beams
  - 6'-0" Max Proposed.
- JAR