

343-C-014

Allen Ave Apts (60)

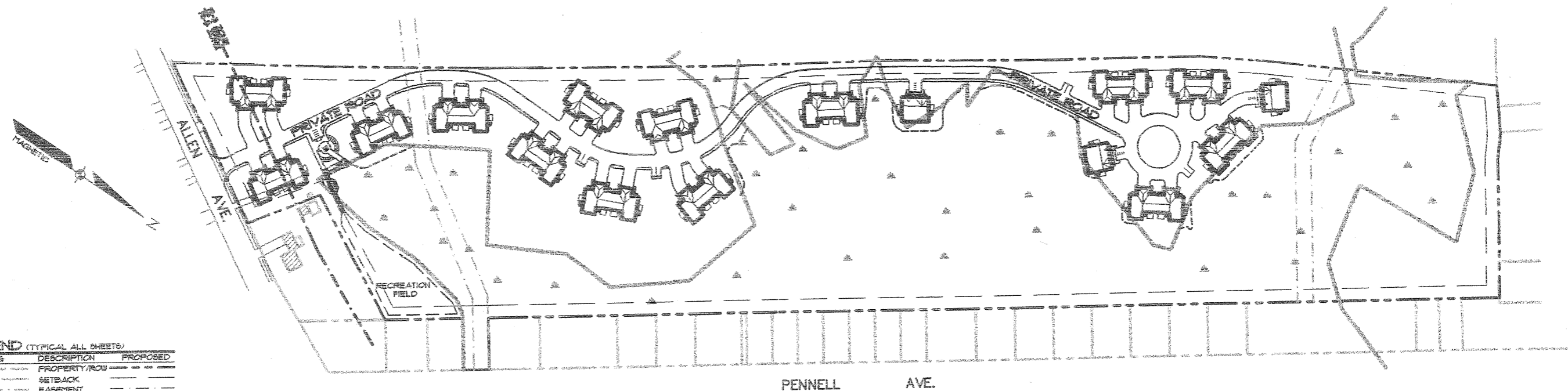
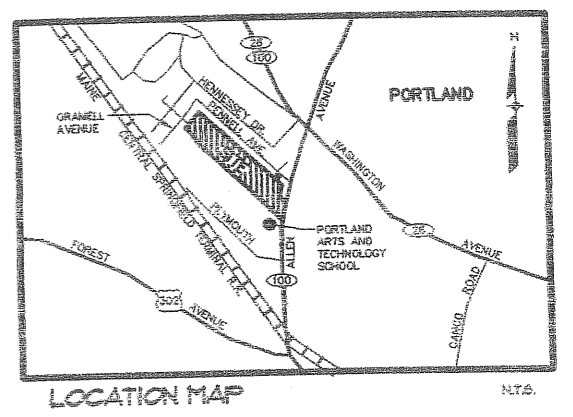
Allen Ave

A.L.C Development Co

19980147

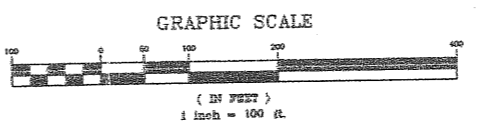
WASHINGTON CROSSING CONDOMINIUMS

A 62 UNIT PLANNED
RESIDENTIAL UNIT DEVELOPMENT
ALLEN AVENUE
PORTLAND, MAINE



LEGEND (TYPICAL ALL SHEETS)

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
---	EASEMENT	---
---	CENTERLINE	---
---	MONUMENT	■
---	IRON PIPE/ROD	○
---	CURVE/LINE NO.	CI / LI
---	BUILDINGS	---
---	WETLANDS	---
---	EDGE WETLAND SIGN	---
---	STREAM	---
---	ROCK OUTCROP	---
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CURVELINE	---
---	TREELINE	---
---	CONTOURS	---
---	GAS	---
---	WATER	---
---	SEWER	---
---	STORM DRAIN	---
---	FORCE MAIN	---
---	OVERHEAD ELEC. & TEL.	---
---	UNDERGROUND ELEC. & TEL.	---
---	GATE VALVE	---
---	LIGHT POLE	---
---	UTILITY POLE	---
---	HYDRANT	---
---	CATCH BASIN	---
---	MANHOLE	---
---	CULVERT	---
---	SPOT GRADE	---
---	CHAIN LINK FENCE	---
---	BARB WIRE FENCE	---
---	STOCKADE FENCE	---
---	STONE WALL	---
○	DECIDUOUS TREE	○
●	CONIFEROUS TREE	●
---	SILT FENCE	---
---	MATCH LINE	---



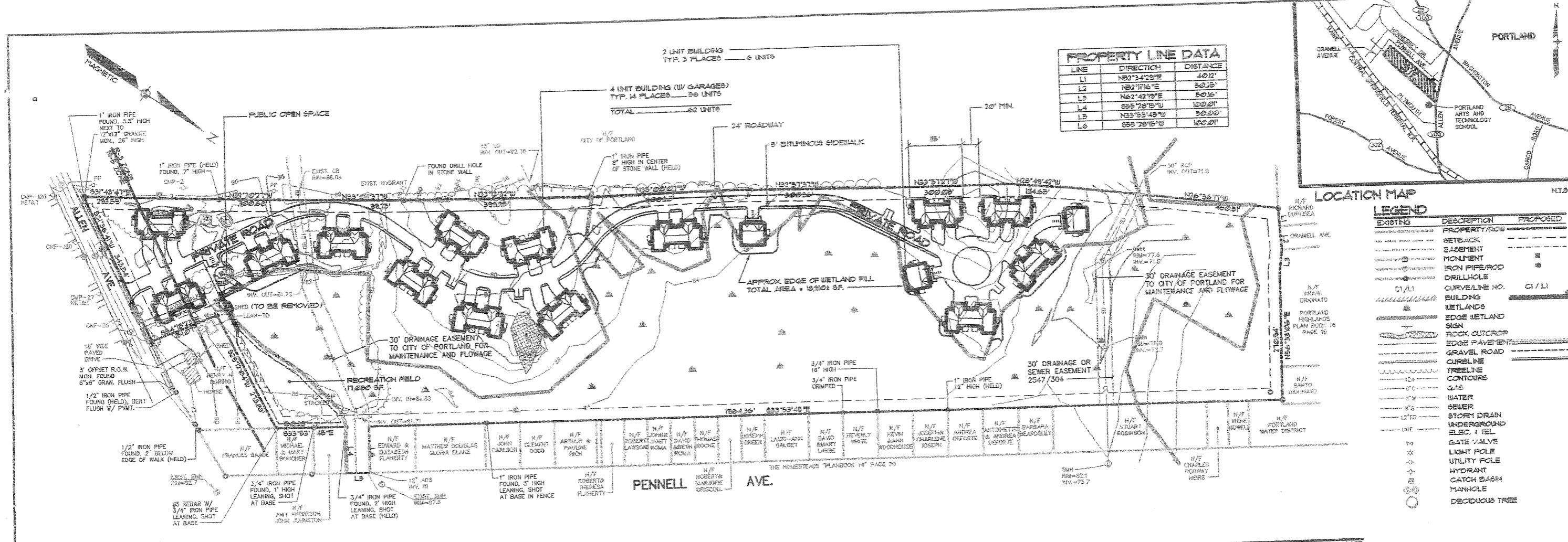
SHEET INDEX

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6	PLAN & PROFILE 2
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OWNER/APPLICANT: **A.L.C. DEVELOPMENT CORP.**
258 BLACK POINT ROAD
SCARBOROUGH, MAINE 04074

ENGINEER/SURVEYOR: **SEBAGO TECHNICS, INC.**





LINE	DIRECTION	DISTANCE
L1	N82°34'29"E	40.12'
L2	N82°11'16"E	50.23'
L3	N62°42'19"E	50.16'
L4	S55°28'15"W	120.01'
L5	N33°33'45"W	30.020'
L6	S55°28'15"W	120.01'

EXISTING	DESCRIPTION	PROPOSED
(Symbol)	PROPERTY/ROW	(Symbol)
(Symbol)	EASEMENT	(Symbol)
(Symbol)	MONUMENT	(Symbol)
(Symbol)	IRON PIPE/ROD	(Symbol)
(Symbol)	DRILLHOLE	(Symbol)
(Symbol)	CURVELINE NO.	(Symbol)
(Symbol)	BUILDING	(Symbol)
(Symbol)	WETLANDS	(Symbol)
(Symbol)	EDGE WETLAND SIGN	(Symbol)
(Symbol)	ROCK OUTCROP	(Symbol)
(Symbol)	EDGE PAVEMENT	(Symbol)
(Symbol)	GRAVEL ROAD	(Symbol)
(Symbol)	CURVELINE	(Symbol)
(Symbol)	TREELINE	(Symbol)
(Symbol)	CONTOURS	(Symbol)
(Symbol)	GAS	(Symbol)
(Symbol)	WATER	(Symbol)
(Symbol)	SEWER	(Symbol)
(Symbol)	STORM DRAIN	(Symbol)
(Symbol)	UNDERGROUND ELEC. 4 TEL	(Symbol)
(Symbol)	GATE VALVE	(Symbol)
(Symbol)	LIGHT POLE	(Symbol)
(Symbol)	HYDRANT	(Symbol)
(Symbol)	CATCH BASIN	(Symbol)
(Symbol)	MANHOLE	(Symbol)
(Symbol)	DECIDUOUS TREE	(Symbol)

GENERAL NOTES

- RECORD OWNER OF THE PROPERTY IS JLC DEVELOPMENT CORPORATION IN ACCORDANCE WITH A DEED RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS, PORTLAND, MAINE IN BOOK 1482, PAGE 320.
- THE PROPERTY IS LOCATED ON THE CITY OF PORTLAND ASSESSOR'S PLAN NO. 345, BLOCK C, SHOWN AS LOTS 14 AND 15, AND ASSESSOR'S PLAN NO. 344, BLOCK D, LOT B.
- TOTAL AREA = 1136,656 SQUARE FEET, OR 26.09 ACRES.
- PLAN REFERENCES:
 - PLAN OF PROPERTY IN PORTLAND, MAINE MADE FOR CITY OF PORTLAND, PORTLAND REGIONAL VOCATIONAL SCHOOL BY H. I. AND E. C. JORDAN, SURVEYORS, DATED 1973, REVISED THROUGH AUGUST 22, 1978 ON FILE AT THE CITY OF PORTLAND ENGINEER'S OFFICE IN FILE NO. 10673.
 - PLAN OF LAND OF HENRY NORRIS, ALLEN AVENUE, PORTLAND, MAINE FOR BRAD GATE ASSOCIATES DATED MAY 11, 1981 BY CIVIL CONSULTANTS ENGINEERS AND PLANNERS, SOUTH BERWICK, MAINE. PLAN IS UNRECORDED AND ON FILE AT CIVIL CONSULTANTS IN JOB FILE 96-218.
 - CITY OF PORTLAND, MAINE, DEPARTMENT OF PUBLIC WORKS, RIGHT-OF-WAY PLAN FOR PORTLAND REGIONAL VOCATIONAL TECHNICAL SCHOOL STORM SEWER BY THE CITY OF PORTLAND ENGINEERING DEPARTMENT DATED AUGUST 6, 1978, AN UNRECORDED PLAN ON FILE AT THE CITY OF PORTLAND ENGINEERING DEPARTMENT IN PLAN FILE NO. 668-3.
 - PORTLAND HIGHLANDS, PORTLAND, CUMBERLAND COUNTY, MAINE OWNED BY HIGHLAND LAND COMPANY, INC. FORMERLY OWNED BY GEORGE F. REED DATED JULY 22, 1924 BY ERNEST W. BRANCH, CIVIL ENGINEER, QUINCY, MASSACHUSETTS, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 16, PAGE 10.
 - THE HOMESTEADS, PORTLAND, MAINE OWNED BY THE CITY AND SUBURBAN LAND TRUST, PROVIDENCE, RHODE ISLAND, SURVEYED BY E. C. JORDAN & COMPANY, CIVIL ENGINEERS, PORTLAND, MAINE DATED SEPTEMBER 1921, RECORDED IN SAID REGISTRY IN PLAN BOOK 14, PAGE 10.
- SUBJECT TO:
 - AN EASEMENT GRANTED BY HENRY N. AND BLANCHE B. NORRIS TO C. H. HANSON & CO., INC. AS DESCRIBED IN AN EASEMENT DEED DATED NOVEMBER 29, 1960 AND RECORDED IN SAID REGISTRY IN BOOK 2847, PAGE 904. SAID EASEMENT BEING A 30 FOOT WIDE STRIP OF LAND AS SHOWN HEREON CROSSING THE NORTHEASTERLY END OF THE PARCEL. THE PURPOSE OF SAID EASEMENT IS FOR THE CONSTRUCTION OF SURFACE WATER DRAINS OR SEWERS, TOGETHER WITH THE RIGHT TO ENTER UPON SAID STRIP AT ANY AND ALL TIMES IN ORDER TO CONSTRUCT, MAINTAIN, REPAIR, REBUILD, OR RECONSTRUCT THE SAME.
 - A STORM SEWER EASEMENT 30 FEET IN WIDTH AS SHOWN HEREON CROSSING THE SOUTHERLY END OF THE PARCEL, SAID 30 FOOT WIDE STORM SEWER EASEMENT SHOWN ON THE PLAN REFERENCED IN NOTE 4C. NO RECORD EASEMENT DEED FOR THIS EASEMENT WAS FOUND IN SAID REGISTRY.

- NET RESIDENTIAL CALCULATIONS:

TOTAL LOT AREA	26.09 Ac.
- STORMWATER DETENTION AREA	0 Ac.
- OUTSIDE OF WETLANDS	0 Ac.
- EXISTING WATERCOURSES	0 Ac.
- INACCESSIBLE AREAS	13.10 Ac.
- WETLANDS	0.15 Ac.
- AREAS ENCUMBERED BY EXISTING EASEMENTS OUTSIDE WETLANDS	0 Ac.
- SLOPES OF 25% OR GREATER	0.80 Ac.
SUBTOTAL	7.56 Ac.
- 20% OF SUBTOTAL	1.51 Ac.
NET RESIDENTIAL LAND AREA	6.05 Ac. (446,054 SF.)
MAXIMUM NO. OF UNITS ALLOWED AT 1/6,000 SF.	36 UNITS
NUMBER OF UNITS PROPOSED	62 UNITS
- OPEN SPACE REQUIREMENTS:

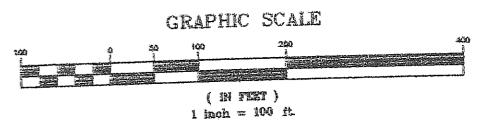
300 SF/UNIT	18,600 SF.
300x60 = 18,000 SF. OF WHICH A MINIMUM OF 6,000 SF. (50'x120') MUST BE A MULTI-PURPOSE MOWED FIELD.	
- OPEN SPACE PROVIDED:

PUBLIC OPEN SPACE = 6,484 SF.
RECREATION FIELD = 11,600 SF.
TOTAL = 18,084 SF.
- THE PRIVATE ROAD WILL BE BUILT TO CITY OF PORTLAND STANDARDS FOR MATERIALS AND CROSS-SECTIONAL DEPTHS. IT SHALL BE THE RESPONSIBILITY OF THE WASHINGTON CROSSING OWNERS ASSOCIATION FOR MAINTENANCE, REPAIR OF THE ROADWAY AND SIDEWALK, AND SNOW REMOVAL.
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE/PLANNING PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATIONS TO OR DEVIATIONS FROM THE APPROVED SITE PLAN, INCLUDING WITHOUT LIMITATION TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION AND SURFACING OF PARKING AREAS, AND LOCATION AND SIZE OF BUILDINGS.
- AS PART OF THIS APPLICATION, A SEPARATE LANDSCAPING PLAN HAS BEEN SUBMITTED FOR REVIEW IN LIEU OF THE REQUIREMENT OF TWO TREES MINIMUM PER LOT/UNIT. ALL LANDSCAPING SHALL MEET THE CITY'S ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES. THE DEVELOPER MAY CONTRACT FOR THE PLACEMENT OF LANDSCAPING, BUT SHALL REMAIN LIABLE TO THE CITY OF PORTLAND FOR FINANCIAL OBLIGATION FOR COMPLIANCE WITH CITY ORDINANCES AND APPROVALS. SUCH FINANCIAL OBLIGATION SHALL BE NEITHER TRANSFERABLE NOR WAIVERABLE BY THE DEVELOPER.
- THE ACTIVE RECREATION AREA SHALL BE FOR THE USE OF ALL THE HOMEOWNERS ASSOCIATIONS BOUNDED BY AGREEMENT, OR DOCUMENTS, TO WASHINGTON CROSSING CONDOMINIUMS.
- ALL ELECTRIC, TELEPHONE AND CABLE TV SERVICES SHALL BE UNDERGROUND AND IN CONFORMANCE WITH CENTRAL MAINE POWER CO., BELL ATLANTIC TELEPHONE CO. AND TIME WARNER CABLE T.V. CO. STANDARDS.

APPROVAL - CITY OF PORTLAND PLANNING BOARD

DATE _____

CITYSEAL _____



REV.	BY:	DATE:	STATUS:
G	SMF	4-8-99	REVISE PER PLAN REVIEW COMMENTS
F	SMF	2-25-99	REVISE SITE PLAN SUBMISSION TO CITY
E	SMF	2-5-99	SITE PLAN SUBMISSION TO CITY
D	JRP	1-28-99	LAYOUT REVISIONS
C	JRP	9-25-98	RESUBMITTED FOR PLANNING BOARD REVIEW
B	JRP	4-21-98	LAYOUT REVISIONS
A	JRP	3-27-98	PLANNING STAFF REVIEW

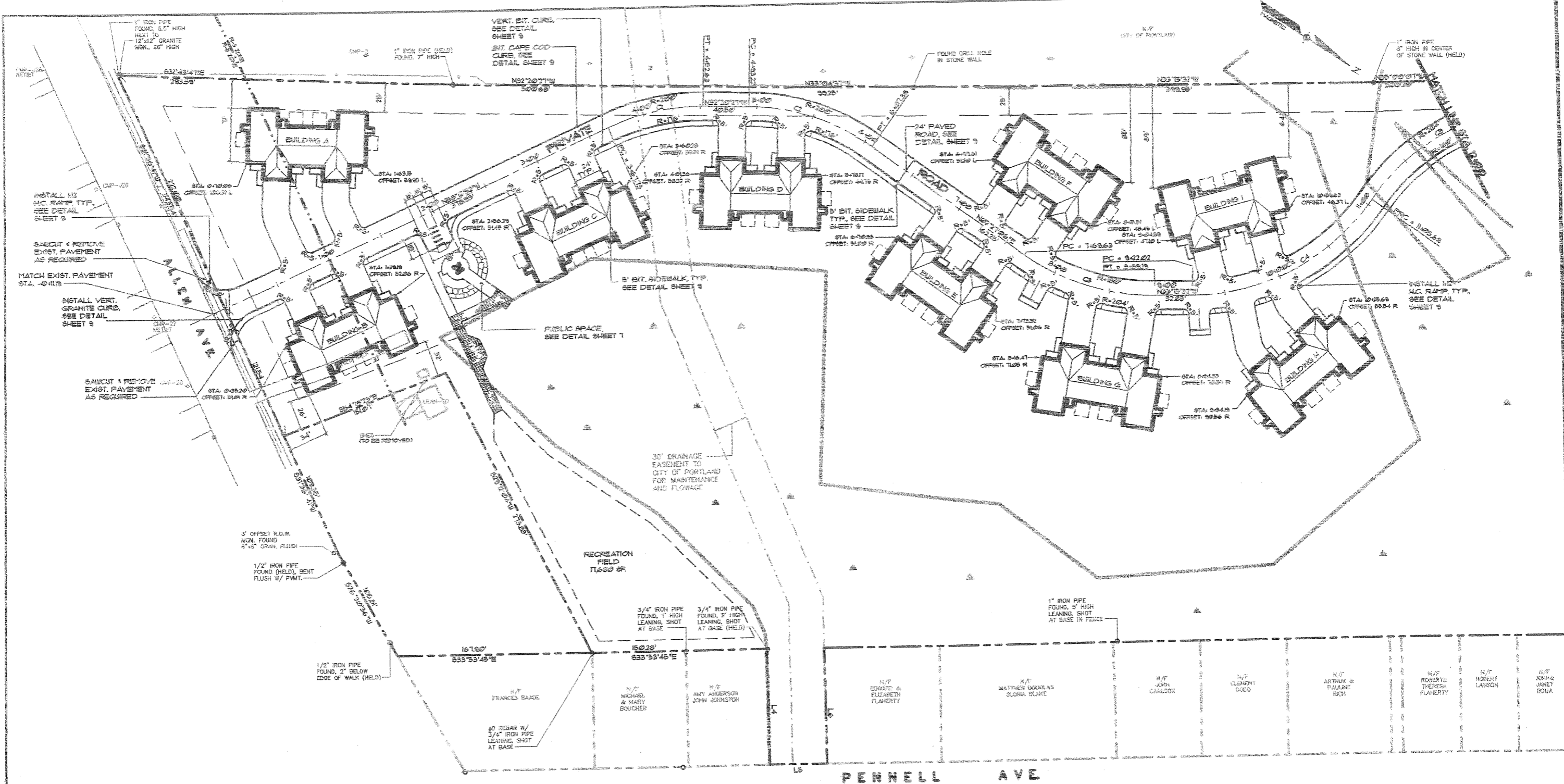
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNIQS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNIQS, INC.

MASTER PLAN
OF:
WASHINGTON CROSSING CONDOMINIUMS
ALLEN AVENUE
PORTLAND, MAINE

FOR:
A.L.G. DEVELOPMENT CORP.
255 BLACK POINT ROAD
SCARBOROUGH, MAINE 04074

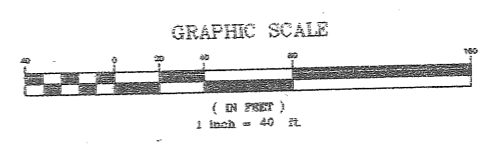
DESIGN BY: A.W./SMF
DRAWN BY: THM
CHECKED BY: SMF
DATE: 10-10-97
SCALE: 1"=100'
FIELD BK: 599
PROJ. NO: 97380P
DRAWING: 97380MP
SHEET 2 OF 1

Sebago Technics
Engineering & Planning for the Future
12 WESTBROOK COMMON
WESTBROOK, ME 04098-1338
TEL (207) 856-0277



CENTERLINE CURVE DATA

CURVE	LENGTH	RADIUS	DELTA
C1	24.30	182.00	35°32'25"
C2	14.16	182.00	34°47'33"
C3	19.86	182.00	35°40'38"
C4	183.66	182.00	54°49'24"
C5	171.71	182.00	55°21'45"



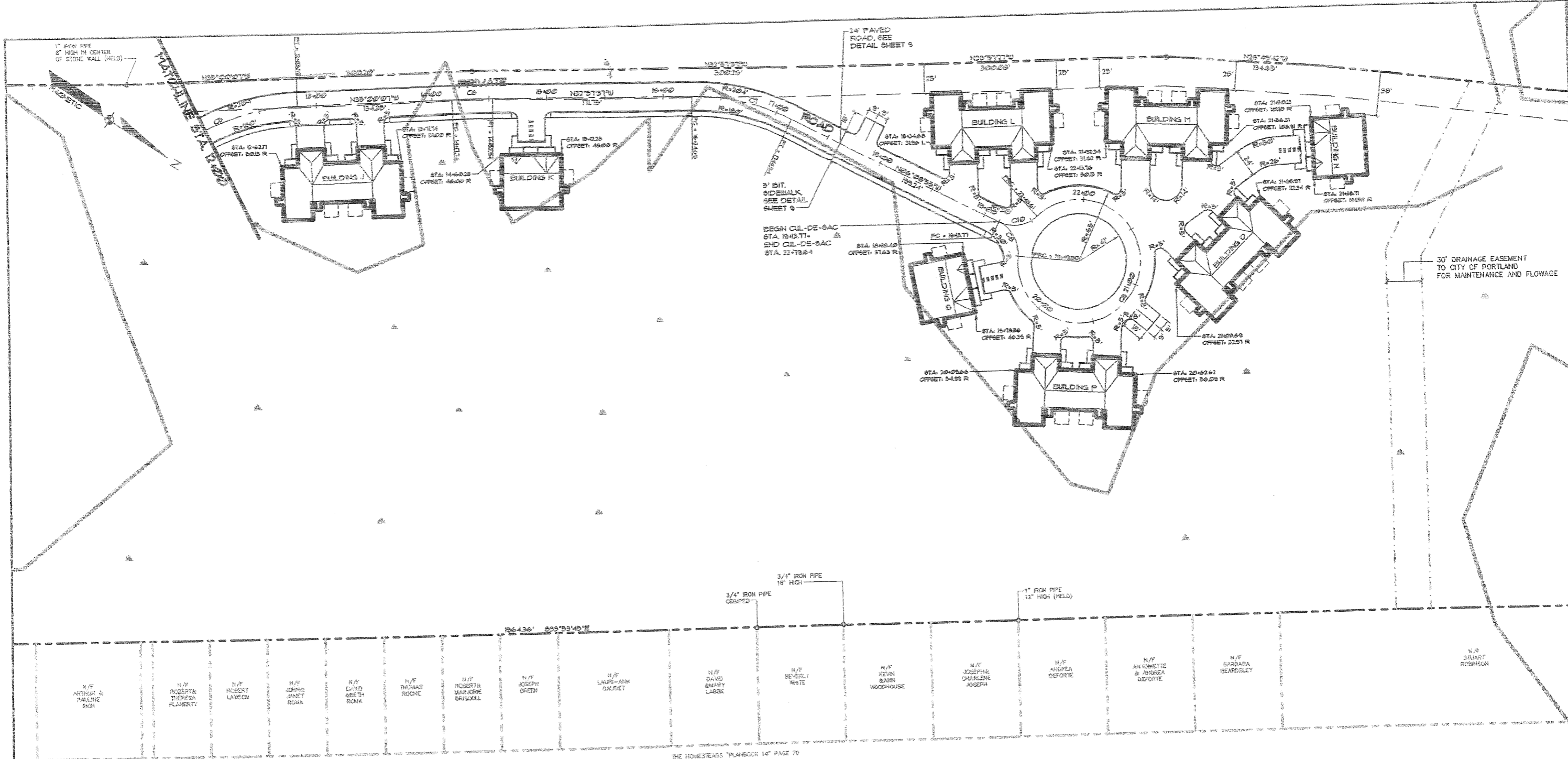
C	SMF	4-8-99	REVISE PER PLAN REVIEW COMMENTS
B	SMF	3-25-99	REVISE SITE PLAN SUBMISSION TO CITY
A	SMF	2-5-99	SITE PLAN SUBMISSION TO CITY
REV:	BY:	DATE:	STATUS:

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SITE PLAN (STA. 0+11.18 TO STA. 12+00)
OF:
WASHINGTON CROSSING CONDOMINIUMS
ALLEN AVENUE
PORTLAND, MAINE
FOR:
A.L.C. DEVELOPMENT CORP.
258 BLACK POINT ROAD
SCARBOROUGH, MAINE 04074

DESIGN BY: J.W./SMF
DRAWN BY: TFH
CHECKED BY: SMF
DATE: 11-4-98
SCALE: 1"=40'
FIELD BK: 599
PROJ. NO: 97380
DRAWING: 97380S1
SHEET 3 OF 11

Sebago Technics
Engineering & Planning for the Future
12 WESTBROOK COMMON
WESTBROOK, ME 04091-1339
TEL (207) 856-0277



PENNELL AVE

CENTERLINE CURVE DATA

CURVE	LENGTH	RADIUS	DELTA
C6	111.71	182.00	83°01'48"
C6	98.21	988.00	02°02'30"
C7	83.25	182.00	26°48'42"
C8	39.03	30.00	88°48'40"
C9	783.81	93.00	311°31'18"
C10	36.23	30.00	68°48'40"

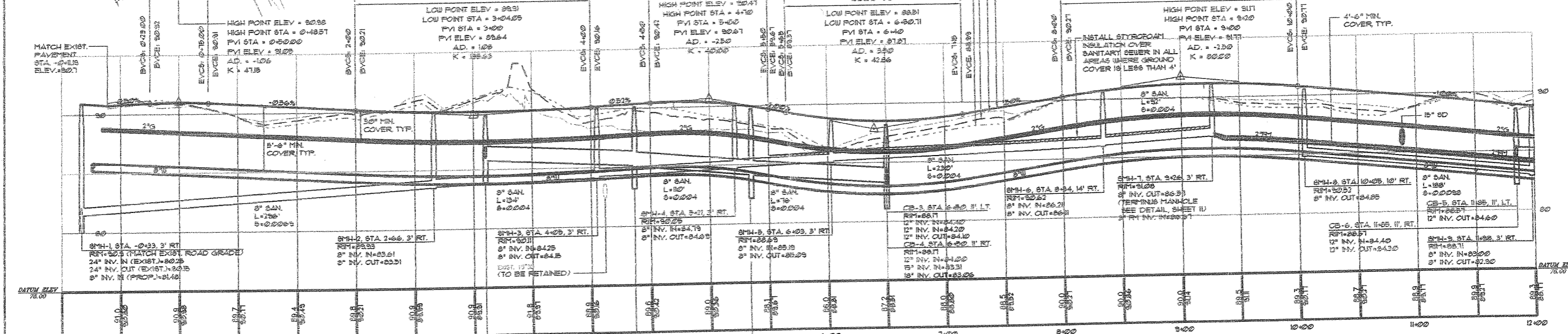
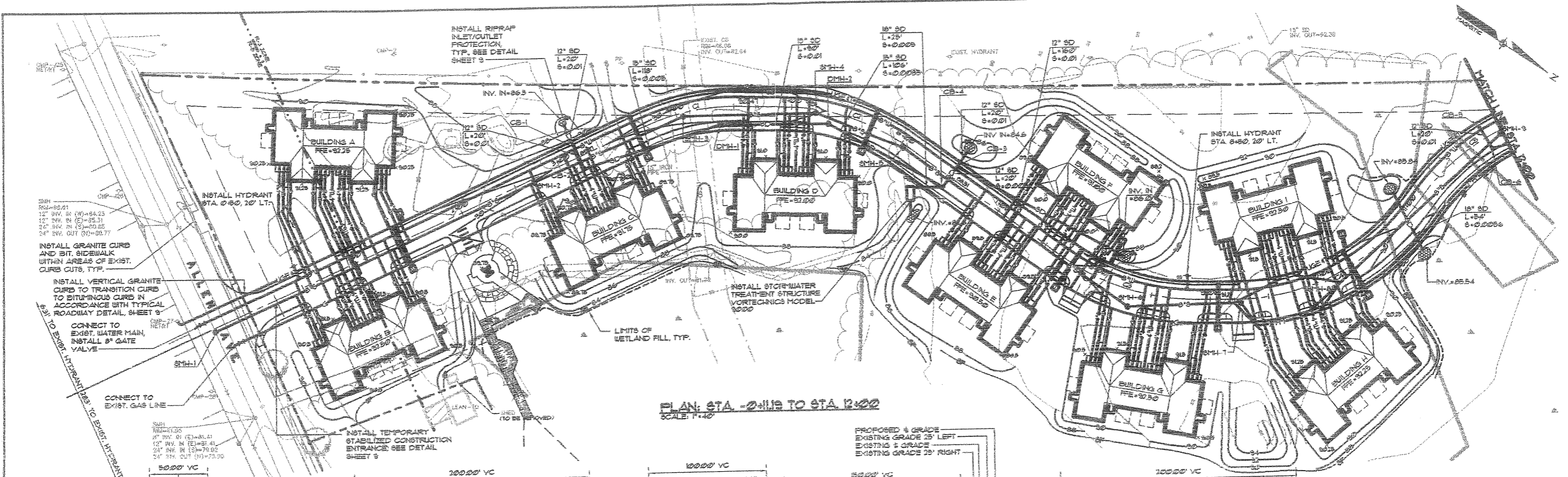
REV.	BY:	DATE:	STATUS:
C	SMF	4-8-99	REVISE PER PLAN REVIEW COMMENTS
E	SMF	3-25-99	REVISE SITE PLAN SUBMISSION TO CITY
A	SMF	2-5-99	SITE PLAN SUBMISSION TO CITY

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

SITE PLAN 2 (STA. 12+00 TO STA. 22+79.84)
 OF:
WASHINGTON CROSSING CONDOMINIUMS
 ALLEN AVENUE
 PORTLAND, MAINE
 FOR:
A.L.C. DEVELOPMENT CORP.
 258 BLACK POINT ROAD
 SCARBOROUGH, MAINE 04074

Sebago Technics
 Engineering & Planning for the Future
 12 WESTBROOK COMMON
 WESTBROOK, ME 04098-1539
 TEL (207) 856-0277

DESIGN BY:	J.W./SM
DRAWN BY:	IF
CHECKED BY:	SM
DATE:	11-4-99
SCALE:	AS SHOWN
FIELD BK:	56
PROJ. NO.:	9735
DRAWING:	973805
SHEET 4 OF 11	



CENTERLINE CURVE DATA

CURVE	LENGTH	RADIUS	DELTA
C1	84.90	180.00	28°32'23"
C2	114.16	180.00	34°47'33"
C3	115.56	182.00	35°42'38"
C4	103.66	182.00	34°48'24"
C5	171.71	182.00	53°21'48"

- GENERAL NOTES:**
- CATCH BASINS LOCATED ON THE SAME SIDE OF THE ROADWAY AS THE WATERMAIN SHALL BE INSTALLED WITH ECCENTRIC CONES. THE OFFSETS DEPICTED ON THESE PLANS ARE TO THE CENTER OF THE GRATE. THE STRUCTURE SHALL BE SET SUCH THAT THE MAJORITY OF THE STRUCTURE IS BEHIND THE CURB.
 - THE 4" WATER SERVICE TO EACH BUILDING IS A COMMON FIRE SUPPRESSION SERVICE FOR THE SPRINKLER SYSTEM.
 - THE INDIVIDUAL WATER SERVICES TO EACH UNIT SHALL BE 1/2" COPPER TUBING.
 - THE INDIVIDUAL SEWER SERVICES SHALL BE 4" PVC SDR 35 PIPE.
 - ALL SUBSURFACE STORM DRAIN SHALL BE HDPE OR APPROVED EQUAL.

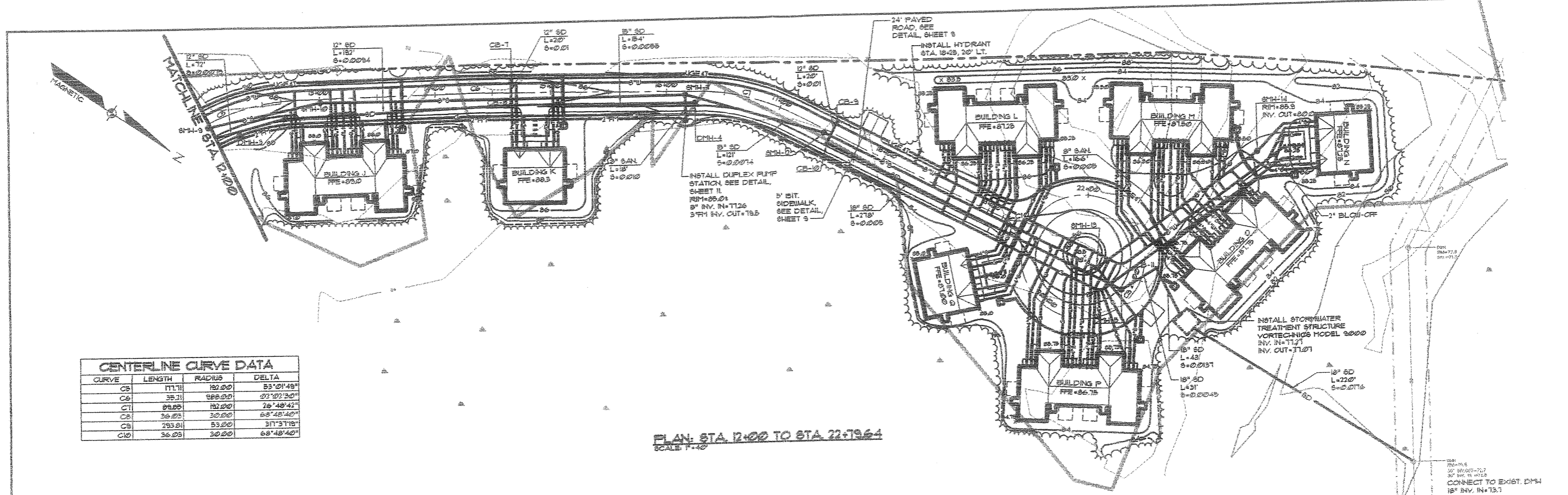
REV.	BY:	DATE:	STATUS:
C	SMF	4-8-99	REVISE PER PLAN REVIEW COMMENTS
B	SMF	3-25-99	REVISED SITE PLAN SUBMISSION TO CITY
A	SMF	2-5-99	SITE PLAN SUBMISSION TO CITY

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PLAN & PROFILE 1 (STA. -0+11.9 TO STA. 12+00)
OF:
WASHINGTON CROSSING CONDOMINIUMS
ALLEN AVENUE
PORTLAND, MAINE
FOR:
A.L.C. DEVELOPMENT CORP.
258 BLACK POINT ROAD
SCARBOROUGH, MAINE 04074

Sebago Technics
Engineering & Planning for the Future
12 WESTBROOK COMMON
WESTBROOK, ME 04098-1339
TEL (207) 858-0277

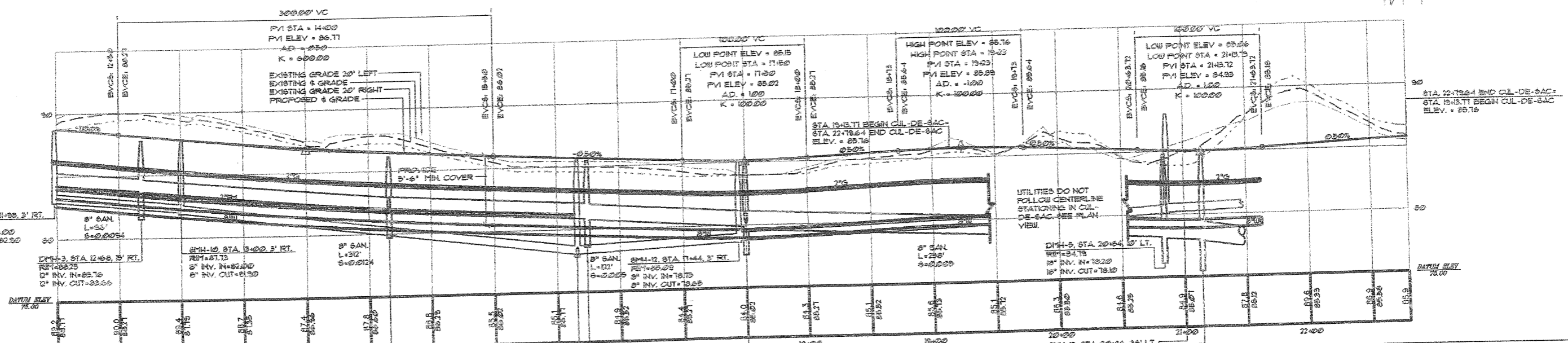
DESIGN BY: JLV/SMF
DRAWN BY: ITH
CHECKED BY: SMF
DATE: 11-4-98
SCALE: 1"=40'
FIELD BK: 599
PROJ. NO: 97380
DRAWING: 97380P1
SHEET 5 OF 11



CENTERLINE CURVE DATA

CURVE	LENGTH	RADIUS	DELTA
CB	171.71	182.00	53°21'45"
CB	35.71	988.00	02°22'32"
CB	84.25	182.00	26°48'42"
CB	35.03	30.00	68°48'40"
CB	293.81	53.00	37°31'18"
CB	36.03	30.00	68°48'40"

PLAN: STA. 12+00 TO STA. 22+79.64
SCALE: 1"=40'



PROFILE: STA. 12+00 TO STA. 22+79.64
SCALE: 1"=40' HORIZ.
1"=4' VERT.

- GENERAL NOTES:**
- CATCH BASINS LOCATED ON THE SAME SIDE OF THE ROADWAY AS THE WATERMAIN SHALL BE INSTALLED WITH ECCENTRIC CONES. THE OFFSETS DEPICTED ON THESE PLANS ARE TO THE CENTER OF THE GRATE. THE STRUCTURE SHALL BE SET SUCH THAT THE MAJORITY OF THE STRUCTURE IS BEHIND THE CURB.
 - THE 4" WATER SERVICE TO EACH BUILDING IS A COPPER FIRE SUPPRESSION SERVICE FOR THE SPRINKLER SYSTEM.
 - THE INDIVIDUAL WATER SERVICES TO EACH UNIT SHALL BE 1/2" COPPER TUBING.
 - THE CUL-DE-SAC IS SUPERELEVATED TO THE OUTSIDE CURB LINE.
 - THE INDIVIDUAL SEWER SERVICES SHALL BE 4" PVC SDR 35 PIPE.
 - ALL SUBSURFACE STORM DRAIN SHALL BE HDPE OR APPROVED EQUAL.

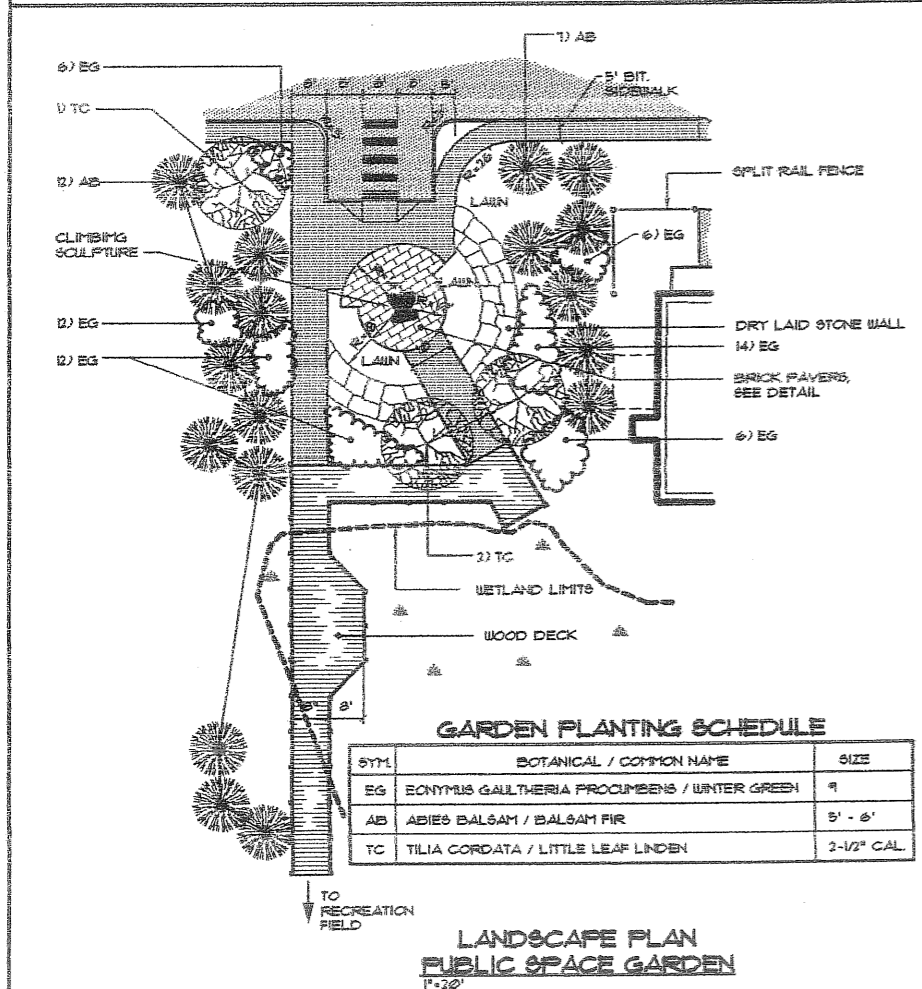
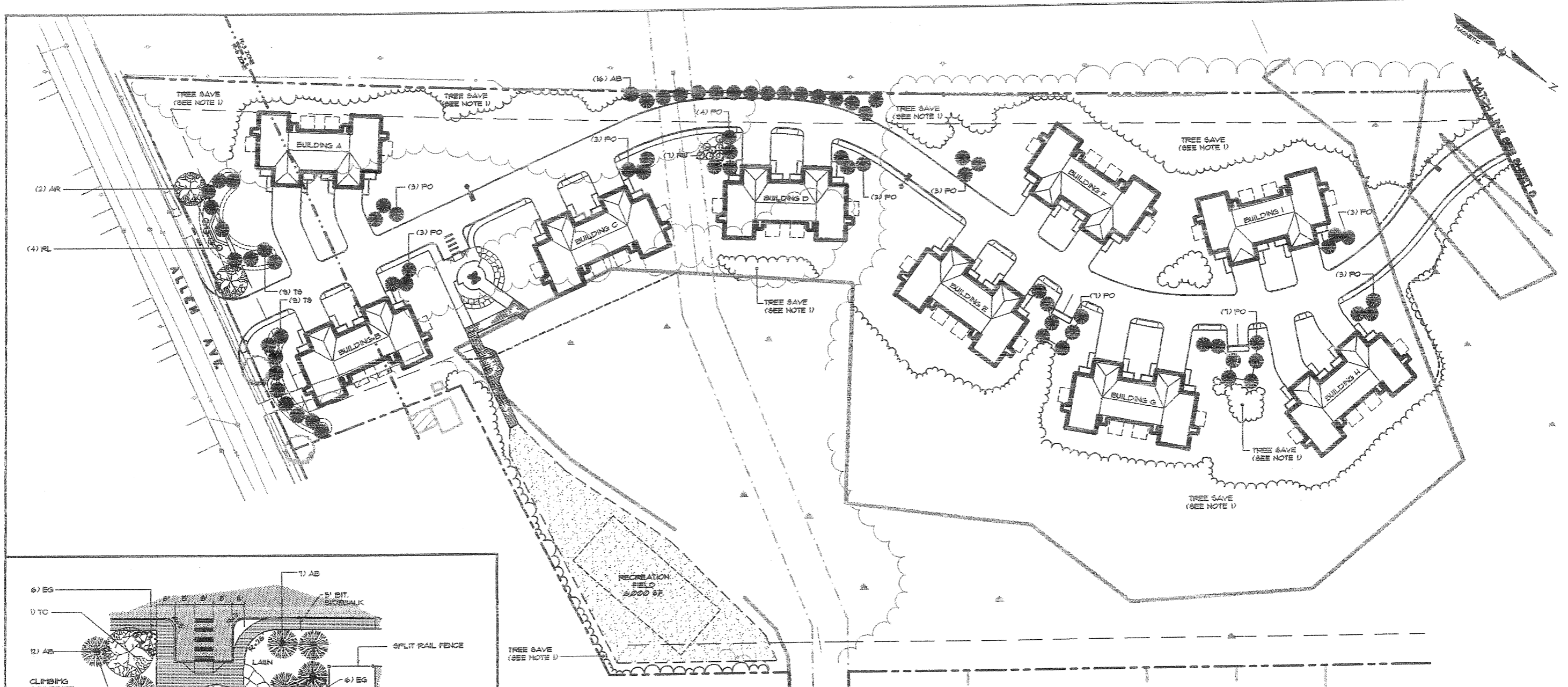
C	SMF	4-8-99	REVISE PER PLAN REVIEW COMMENTS
B	SMF	2-25-99	REVISE SITE PLAN SUBMISSION TO CITY
A	SMF	2-5-99	SITE PLAN SUBMISSION TO CITY
REV:	BY:	DATE:	STATUS:

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PLAN & PROFILE 2 (STA. 12+00 TO STA. 22+79.64)
OF:
WASHINGTON CROSSING CONDOMINIUMS
ALLEN AVENUE
PORTLAND, MAINE
FOR:
A.L.C. DEVELOPMENT CORP.
258 BLACK POINT ROAD
SCARBOROUGH, MAINE 04074

Sebago Technics
Engineering & Planning for the Future
12 WESTBROOK COMMON
WESTBROOK, ME 04098-1339
TEL (207) 858-0277

DESIGN BY:	J.W./SMF
DRAWN BY:	TFH
CHECKED BY:	SMF
DATE:	11-4-98
SCALE:	AS SHOWN
FIELD BK:	599
PROJ. NO.:	97380
DRAWING:	97380P2
SHEET 8 OF 11	



GARDEN PLANTING SCHEDULE

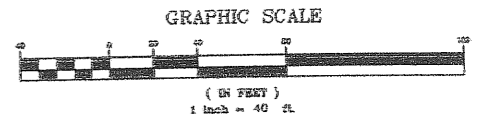
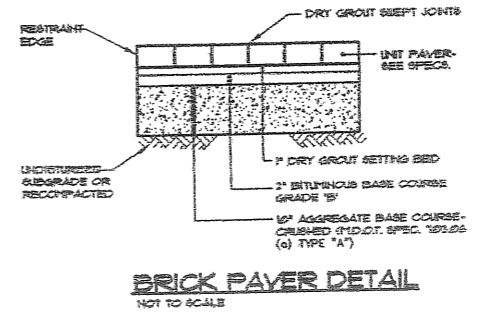
SYM.	BOTANICAL / COMMON NAME	SIZE
EG	ECONYMIUS GALLTHERIA PROCUMBENS / WINTER GREEN	9
AB	ABIES BALSAM / BALSAM FIR	5' - 6'
TC	TILIA CORDATA / LITTLE LEAF LINDEN	2-1/2" CAL.

**LANDSCAPE PLAN
PUBLIC SPACE GARDEN**
P. 720

STREETSCAPE PLANTING SCHEDULE

TREES			SHRUBS		
SYM.	BOTANICAL / COMMON NAME	SIZE	SYM.	BOTANICAL / COMMON NAME	SIZE
MK	MALVUS KATHERINE / KATHERINE CRAB APPLE	1 1/4" - 2"	EA	EUCONYMIUS ALATUS / WINGED SPINDLETREE	2' - 2 1/2'
TC	TILIA CORDATA 'GREENSPIRE' / GREENSPIRE LINDEN	2 1/2" - 3"	RL	RHODODENDRON LAETEVIRENS / WILSON RHODODENDRON	10" - 12"
FA	FRAXINUS AMERICANA 'AUTUMN PURPLE' / AUTUMN PURPLE WHITE ASH	2 1/2" - 3"	FW	RHODODENDRON 'WINDBEAM' / WINDBEAM RHODODENDRON	9"
TO	TALIA OCCIDENTALIS 'FENDULA' / CEDAR	2' - 3'			
AB	ABIES BALSAMEA / BALSAM FIR	4' - 5'			
AR	ACER RUBRUM / RED MAPLE	2 1/2" - 3"			
PO	PICEA OMORICA 'FENDULA' / SERBIAN SPRUCE	9"			
TS	TSUGA CANADENSIS 'SARGENTI' / WEEPING HEMLOCK	2 1/2" - 3"			

- NOTES:**
- BEFORE CONSTRUCTION OF DEVELOPMENT BEGINS, THE APPLICANT WILL FLAG TREE SAVE AREAS AND NOTIFY THE CITY ARBORIST. AT THAT TIME, THE CITY ARBORIST WILL DETERMINE WHETHER THESE TREES MAY BE SAVED. PROTECTIVE BARRIERS SHALL BE ERRECTED OUTSIDE THE DRIP-LINE OF THE INDIVIDUAL GROUPINGS OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION.
 - SEE SHEET 8 FOR TYPICAL DUPLEX AND FOURPLEX PLANTINGS AND PLANTING SCHEDULE.
 - SEE SHEET 8 FOR PLANTING DETAILS.



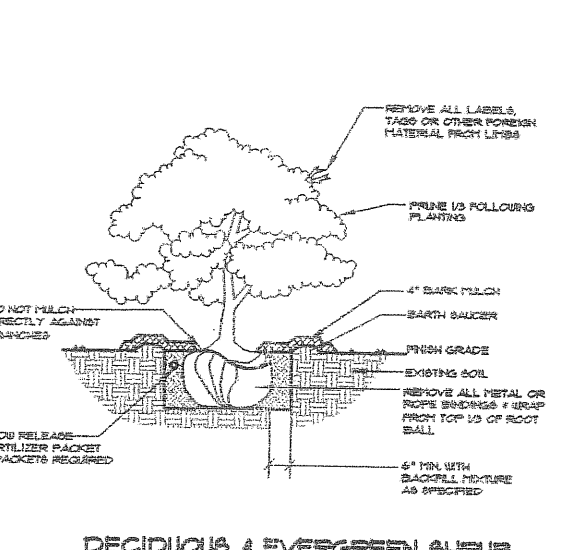
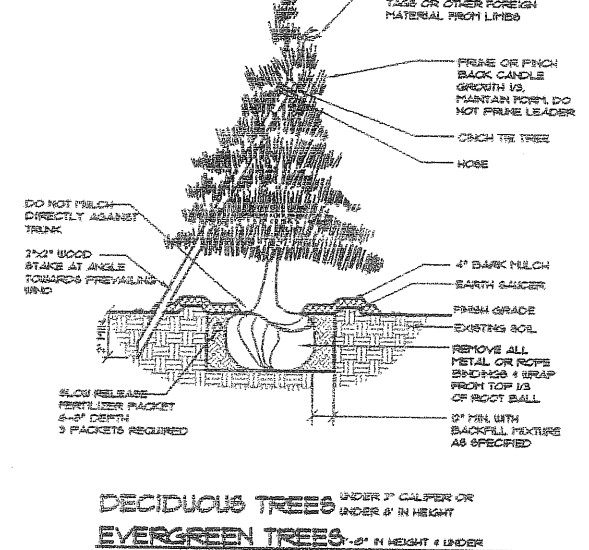
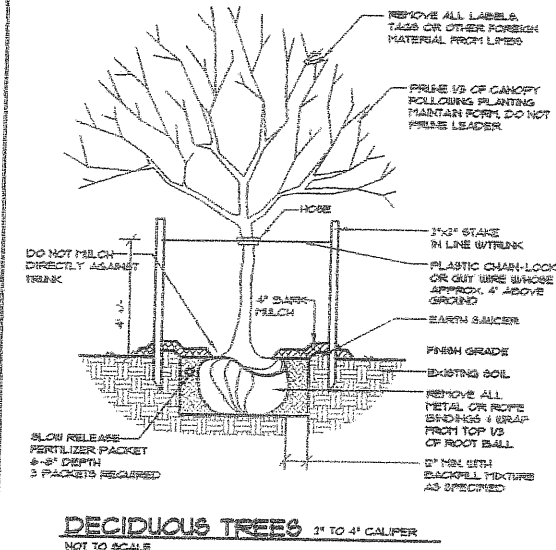
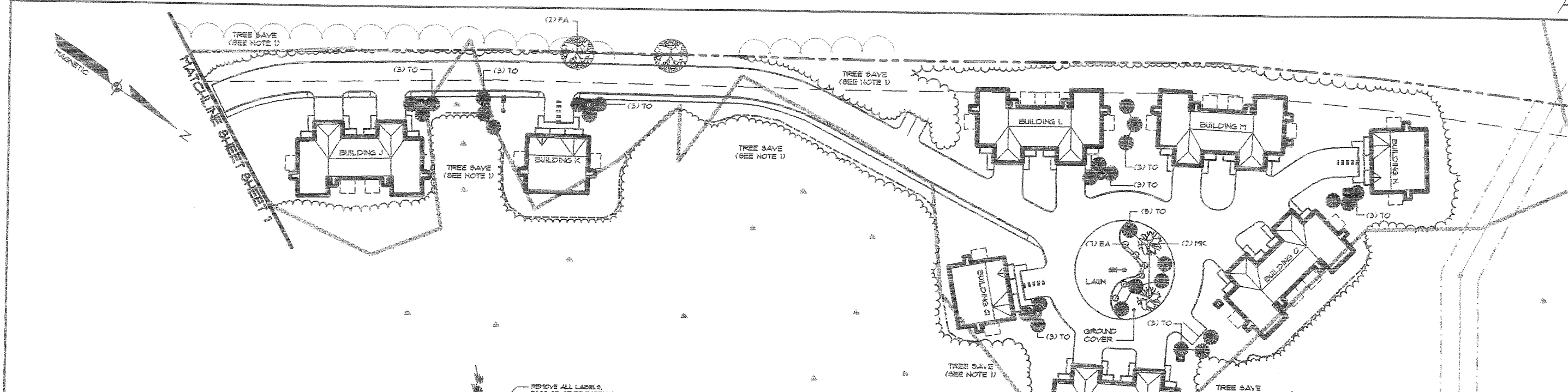
C	SMF	4-8-99	REVISE PER PLAN REVIEW COMMENTS
B	SMF	2-25-99	RESUBMIT SITE PLAN SUBMISSION TO CITY
A	SMF	2-5-99	SITE PLAN SUBMISSION TO CITY
REV:	BY:	DATE:	STATUS:

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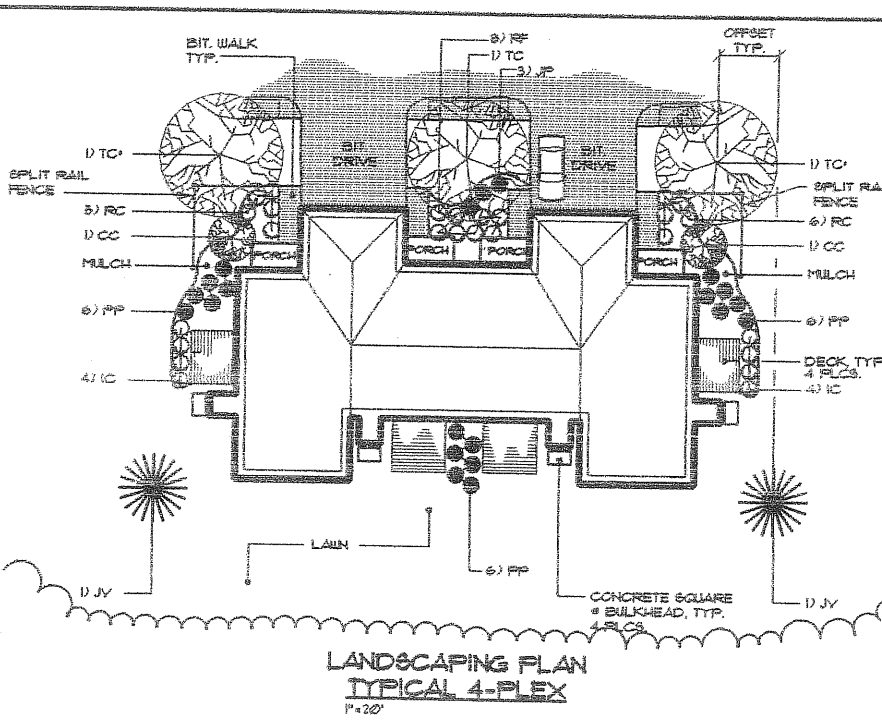
LANDSCAPE & LIGHTING PLAN 1
OF:
WASHINGTON CROSSING CONDOMINIUMS
ALLEN AVENUE
PORTLAND, MAINE
FOR:
A.L.C. DEVELOPMENT CORP.
258 BLACK POINT ROAD
SCARBOROUGH, MAINE 04074

DESIGN BY: JRP
DRAWN BY: IFH
CHECKED BY: WTC
DATE: 12-16-98
SCALE: 1" = 40'
FIELD SK: 599
PROJ. NO: 97360
DRAWING: 97380L1
SHEET 7 OF 11

Sebago Technics
Engineering & Planning for the Future
12 WESTBROOK COMMON
WESTBROOK, ME 04098-1339
TEL (207) 856-0277



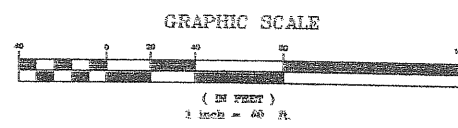
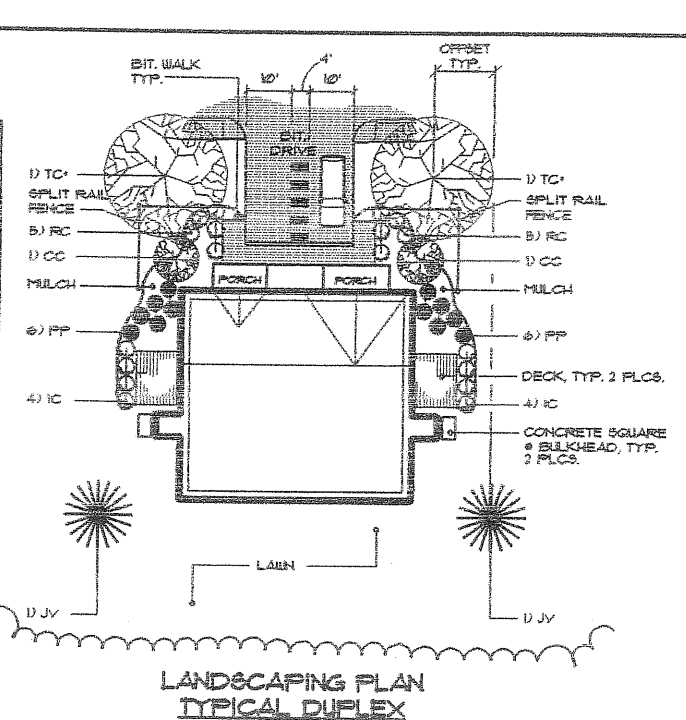
NOTES:
1. BEFORE CONSTRUCTION OF DEVELOPMENT BEGINS, THE APPLICANT WILL FLAG TREE SAVE AREAS AND NOTIFY THE CITY ARBORIST. AT THAT TIME, THE CITY ARBORIST WILL DETERMINE WHETHER THESE TREES MAY BE SAVED. PROTECTIVE BARRIERS SHALL BE INSTALLED OUTSIDE THE DRIF-LINE OF THE INDIVIDUAL GROUPINGS OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION.



TYPICAL DUPLEX AND FOURPLEX PLANTING SCHEDULE

SYM	BOTANICAL / COMMON NAME	SIZE
TC	TILIA CORDATA 'GREENSPIRE' / GREENSPIRE LINDEN	2 1/2' - 3'
FF	PICEA PUNGENS 'FAT ALBERT' / COLORADO BLUE SPRUCE	3' - 3 1/2'
JV	JUNIPERUS VIRGINIANA / EMERALD SENTINEL	6' - 8'
CC	CRATAEGUS CRUGGALLI 'TOBA' / HAWTHORN	5' - 6'
FA	FRAXINUS AMERICANA 'AUTUMN PURPLE' / AUTUMN PURPLE WHITE ASH	2 1/2' - 3'
RF	ROSA MULTIFLORA / MULTIFLORA ROSE	12" - 18"
JF	JUNIPERUS FRITZERIANA COMPACTA / FRITZER JUNIPER	9"
RC	RHODODENDRON CAROLINIANUM / CAROLINA RHODODENDRON	2' - 2 1/2'
IC	ILEX CRENATA 'COMPACTA' / DWARF JAPANESE HOLLY	12" - 18"

* TC LOCATION ON TYPICAL LANDSCAPE PLAN WILL YIELD TO STREET PLANTING PROGRAM.

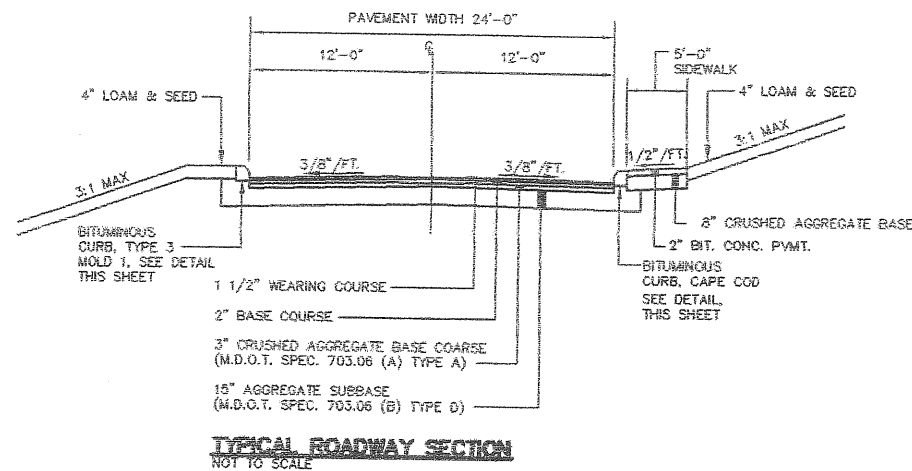


C SMF 4-8-99 REVISE PER PLAN REVIEW COMMENTS
 B SMF 3-25-99 REVISE SITE PLAN SUBMISSION TO CITY
 A SMF 2-5-99 SITE PLAN SUBMISSION TO CITY
 REV: BY: DATE: STATUS:
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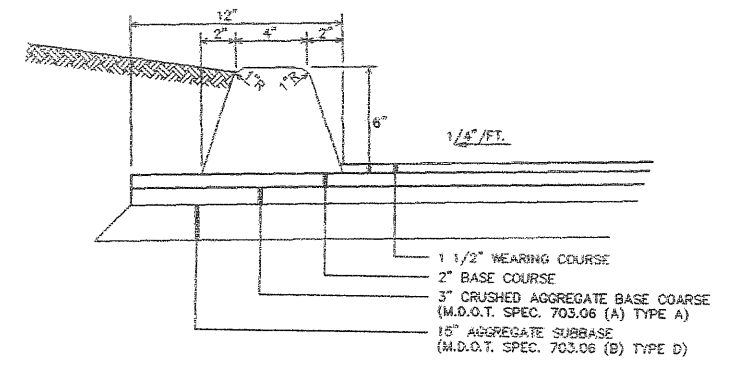
LANDSCAPE & LIGHTING PLAN 2
OF:
WASHINGTON CROSSING CONDOMINIUMS
ALLEN AVENUE
PORTLAND, MAINE
FOR:
A.L.C. DEVELOPMENT CORP.
259 BLACK POINT ROAD
SCARBOROUGH, MAINE 04074

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12 WESTBROOK COMMON
WESTBROOK, ME 04098-1339
TEL (207) 856-0277

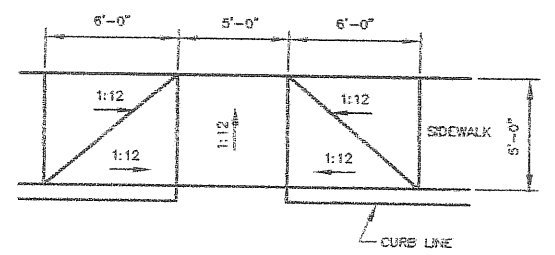
DESIGN BY: JRP
 DRAWN BY: TFM
 CHECKED BY: WTC
 DATE: 11-4-98
 SCALE: AS SHOWN
 FIELD BK: 599
 PROJ. NO: 97380
 DRAWING: 97380L2
SHEET 8 OF 11



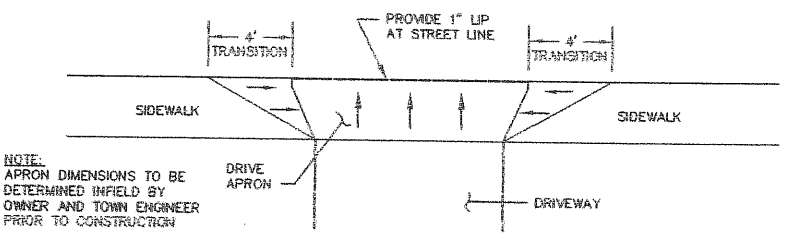
TYPICAL ROADWAY SECTION
NOT TO SCALE



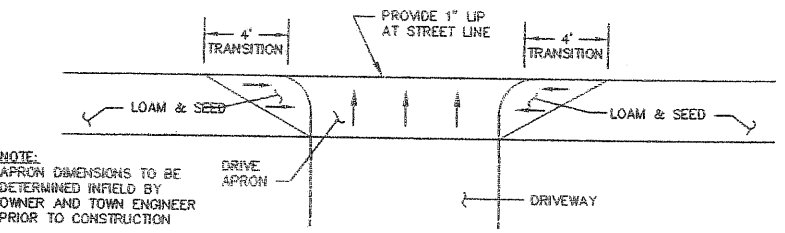
BITUMINOUS CURB SECTION (TYPE 3, MOLD 1)
NOT TO SCALE



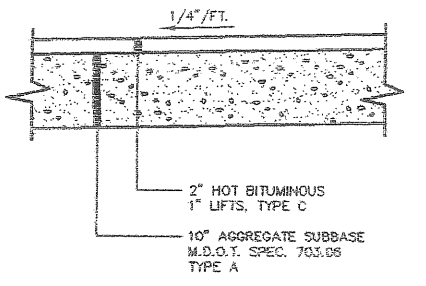
HANDICAP RAMP
NOT TO SCALE



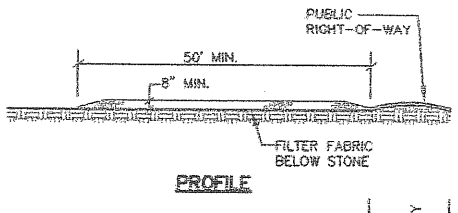
TYPICAL DRIVE APRON DETAIL WITH SIDEWALK
NOT TO SCALE



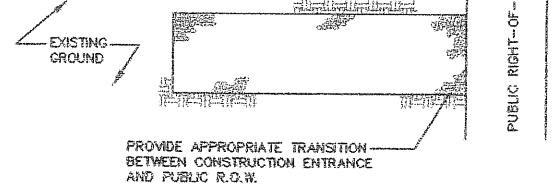
TYPICAL DRIVE APRON DETAIL WITHOUT SIDEWALK
NOT TO SCALE



BITUMINOUS SIDEWALK
NOT TO SCALE



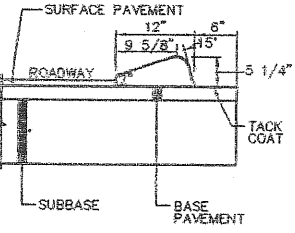
PROFILE



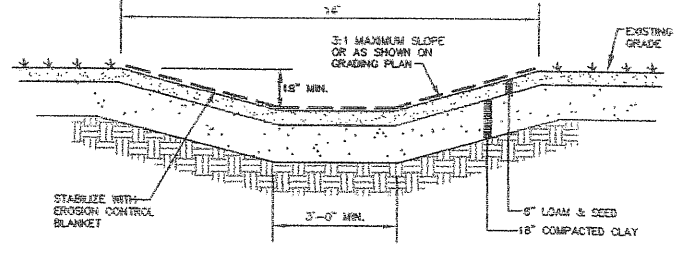
PLAN

- NOTES:
- STONE SIZE- AASHTO DESIGNATION M43, SIZE NO. 2 (2 1/2" TO 1 1/2"). USE CRUSHED STONE.
 - LENGTH- AS SHOWN ON PLANS, MIN. 50 FEET.
 - THICKNESS- NOT LESS THAN EIGHT (8) INCHES.
 - WIDTH- NOT LESS THAN FULL WIDTH OF ALL POINT OF INGRESS OR EGRESS.
 - MAINTENANCE- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

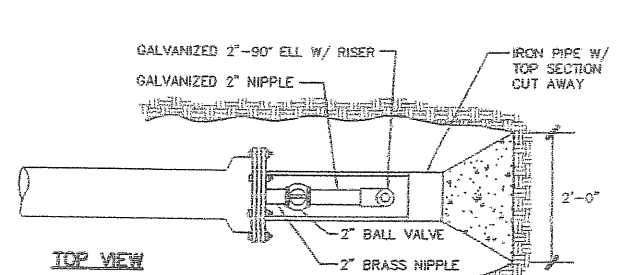
STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



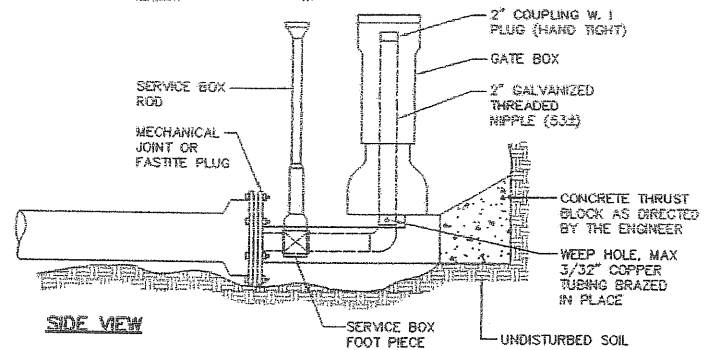
BITUMINOUS CAPE COD CURB
NOT TO SCALE



GRASSSED SWALE
NOT TO SCALE



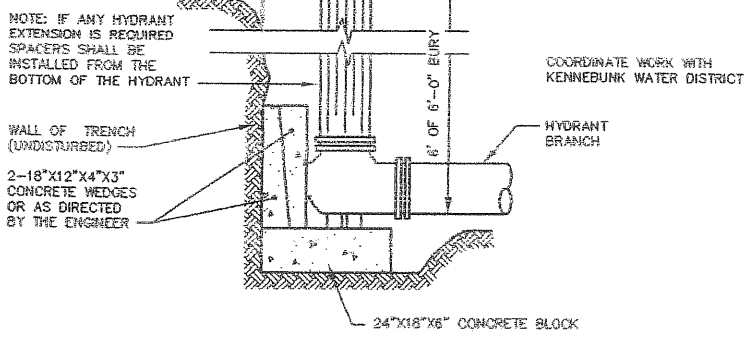
TOP VIEW



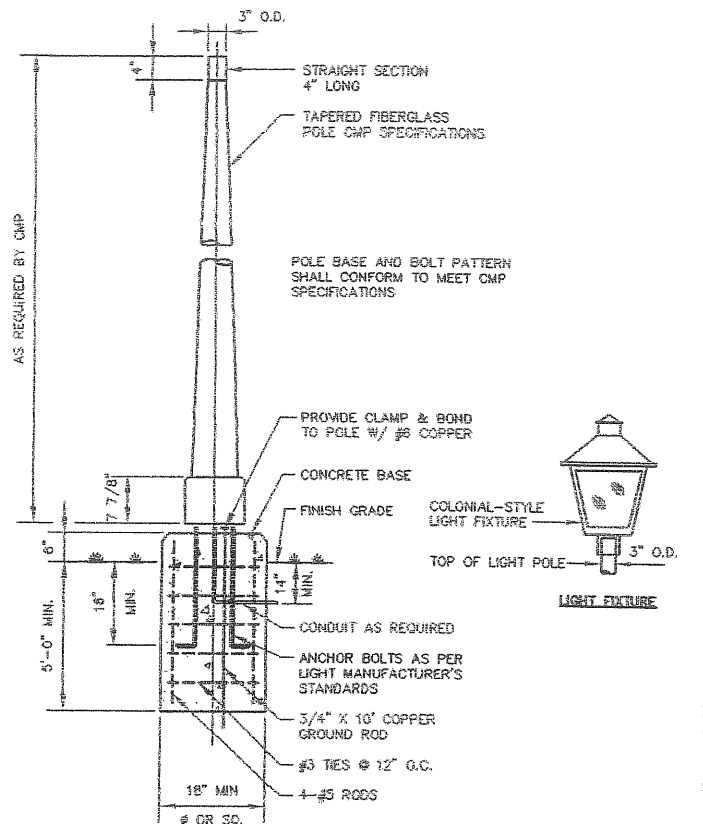
SIDE VIEW

STANDARD 2\"/> NOT TO SCALE

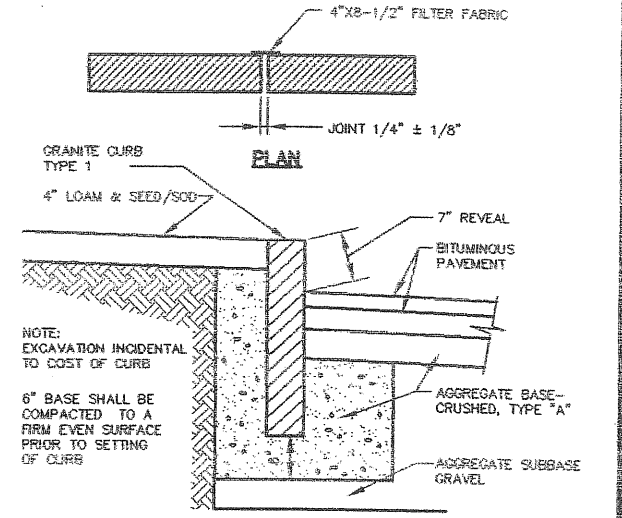
- NOTE: OFFSETS MAY BE USED ONLY IF ACCEPTABLE TO THE ENGINEER
- NOTE: IF ANY HYDRANT EXTENSION IS REQUIRED SPACERS SHALL BE INSTALLED FROM THE BOTTOM OF THE HYDRANT
- NOTE: TAKE CARE IN PLACEMENT OF HYDRANT WITHIN R.O.W. AND ON A PROPERTY



TYPICAL HYDRANT BLOCKING & REPLACEMENT
NOT TO SCALE



TYPICAL LIGHT POLE DETAIL
NOT TO SCALE



GRANITE CURB DETAIL
NOT TO SCALE

C	SMF	4-8-99	REVISE PER PLAN REVIEW COMMENTS
B	SMF	3-25-99	REVISED SITE PLAN SUBMISSION TO CITY
A	SMF	2-5-99	SITE PLAN SUBMISSION TO CITY
REV. BY:	DATE:	STATUS:	

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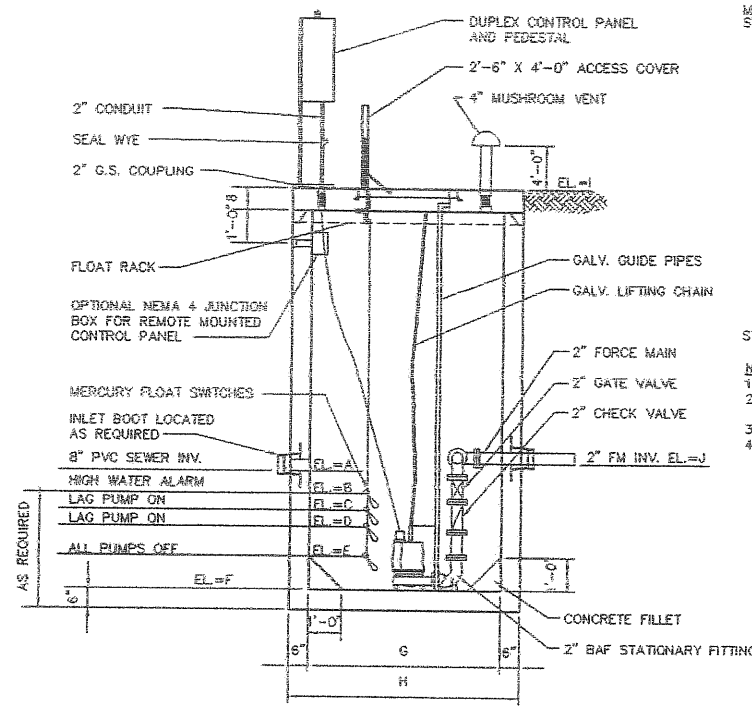
DETAILS 1
OF:
WASHINGTON CROSSING CONDOMINIUMS
ALLEN AVENUE
PORTLAND, MAINE

FOR:
A.L.C. DEVELOPMENT CORP.
258 BLACK POINT ROAD
SCARBOROUGH, MAINE 04074

DESIGN BY: J.W./SMF
DRAWN BY: IFH
CHECKED BY: SMF
DATE: 2-1-99
SCALE: AS SHOWN
FIELD BK: 599
PROJ. NO: 97380
DRAWING: 97380D1

Sebago Technics
Engineering & Planning for the Future
12 WESTBROOK COMMON
WESTBROOK, ME 04098-1339
TEL. (207) 856-0277

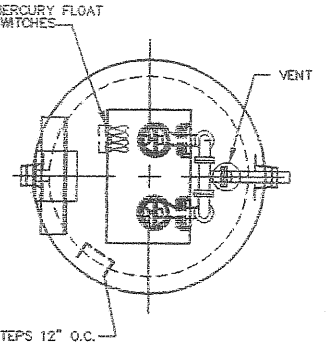
SHEET 9 OF 11



PUMP STATION DETAIL
NOT TO SCALE

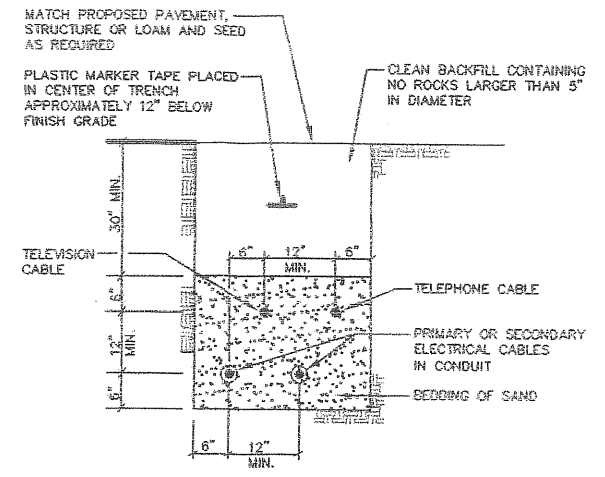
MEASUREMENT (ft.)									
A	B	C	D	E	F	G	H	I	J
77.26	76.26	75.76	75.26	74.26	73.26	8	7	85.0	79.5

PUMP STATION SCHEDULE

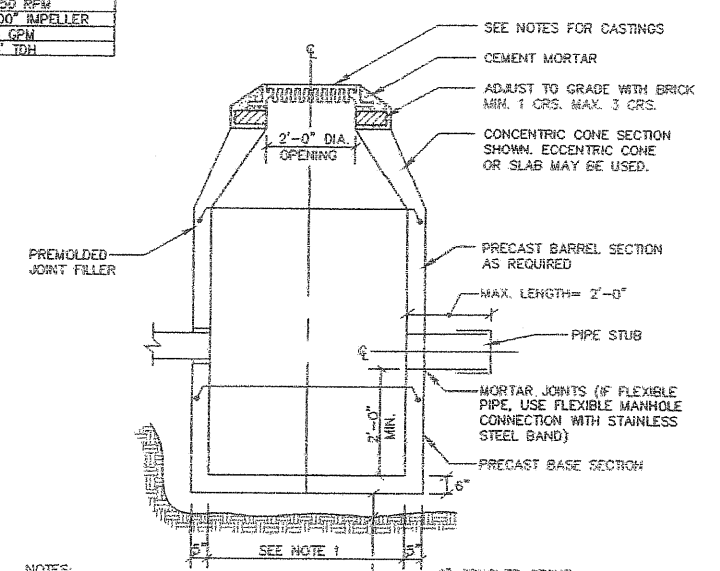


- NOTES:**
1. CONCRETE: 5,000 PSI AFTER 28 DAYS.
 2. REINFORCING: WALLS & FLOOR + X 1/4 X + W.W.M. SLAB TOP #5 @ 8" O.C.
 3. 4" FLANGED PIPING AND VALVES.
 4. AVAILABLE WITH DUAL DISCHARGE FOR PLUMBING INTO SEPARATE FIELDS.

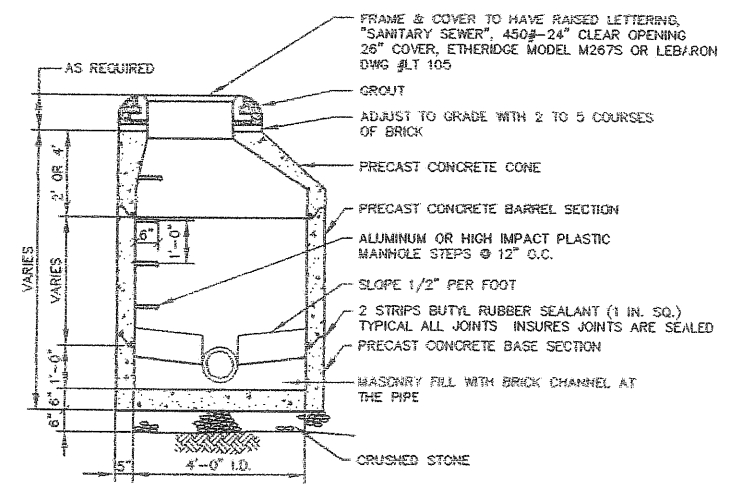
PUMP MODEL
PUMP STA. 1
PEABODY BARNES
SERIES 35E
1.4 BHP
1750 RPM
6.00" IMPELLER
35 GPM
34' TDH



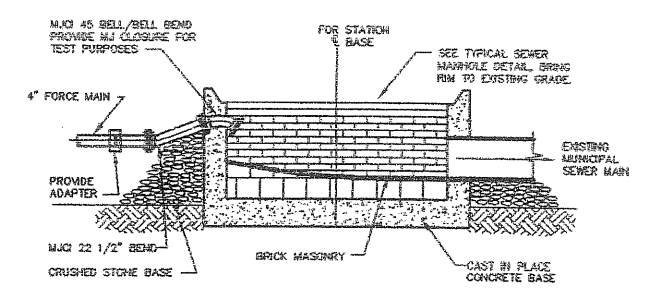
TYPICAL UNDERGROUND CABLE INSTALLATION
NOT TO SCALE



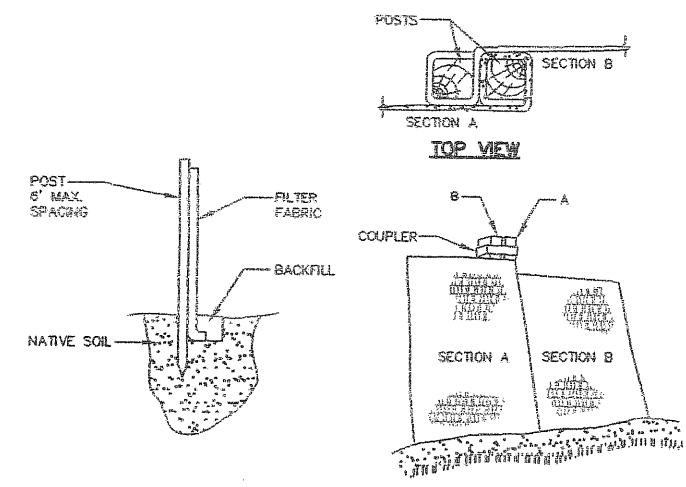
- NOTES:**
1. 4'-0" I.D. TYPICAL. SOME STRUCTURES MAY REQUIRE LARGER I.D. PROVIDE SHOP DRAWINGS.
 2. DRAINAGE STRUCTURES TO BE DESIGNED FOR H=20 LOADING.
 3. PIPE SIZES AND INVERTS AS NOTED ON PLANS.
 4. CATCH BASIN FRAME AND GRATE TO BE ETHERIDGE FOUNDRY M248G OR APPROVED EQUAL.
 5. DRAINAGE MANHOLE FRAME AND COVER TO BE ETHERIDGE FOUNDRY M248S OR APPROVED EQUAL. COVER SHALL BE MARKED "DRAIN".



PRECAST MANHOLE
NOT TO SCALE

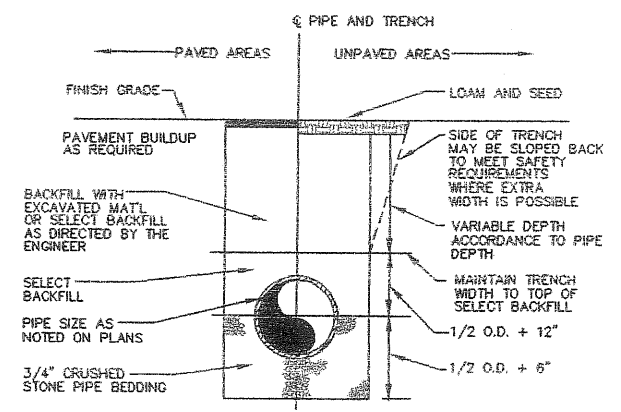


FORCE MAIN TERMINUS MANHOLE
NOT TO SCALE

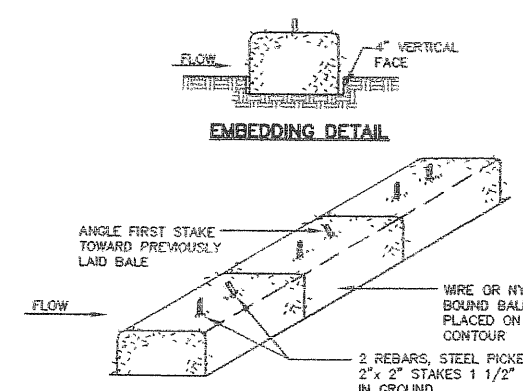


- INSTALLATION:**
1. EXCAVATE A 6" X 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
 2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
 3. DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM.
 4. LAY THE TIE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. TIE-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND PILING AND TAMPING FILL AT THE BASE, BUT MUST BE ACCOMPANIED BY AN INTERCEPTION DITCH.
 5. JOIN SECTION AS SHOWN ABOVE.
 6. BARRIER SHALL BE MIRAFI SILT FENCE OR EQUAL.

SILT FENCE
NOT TO SCALE



TYPICAL TRENCH SECTION
NOT TO SCALE



HAY BALE BARRIER
NOT TO SCALE

- NOTES:**
1. BALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
 2. EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4".
 3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY STAKES OR REBARS DRIVEN THROUGH THE BALES. THE FIRST STAKE IN EACH BALE SHALL BE ANGLED TOWARD PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.
 4. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
 5. BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

REV.	BY:	DATE:	STATUS:
C	SMF	4-8-99	REVISE PER PLAN REVIEW COMMENTS
B	SMF	3-25-99	REVISE SITE PLAN SUBMISSION TO CITY
A	SMF	2-5-99	SITE PLAN SUBMISSION TO CITY

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DETAILS 2
OF:
WASHINGTON CROSSING CONDOMINIUMS
ALLEN AVENUE
PORTLAND, MAINE
FOR:
A.L.C. DEVELOPMENT CORP.
258 BLACK POINT ROAD
SCARBOROUGH, MAINE 04074

Sebago Technics
Engineering & Planning for the Future
12 WESTBROOK COMMON
WESTBROOK, ME 04098-1339
TEL (207) 556-0277

DESIGN BY:	J.W./SMF
DRAWN BY:	IFH
CHECKED BY:	SMF
DATE:	2-1-99
SCALE:	AS SHOWN
FIELD BK:	599
PROJ. NO.:	97380
DRAWING:	97380D2

Att. 16



OVERALL SITE PLAN
SCALE: 1" = 20'

ZONING STANDARDS

RP_ZONE

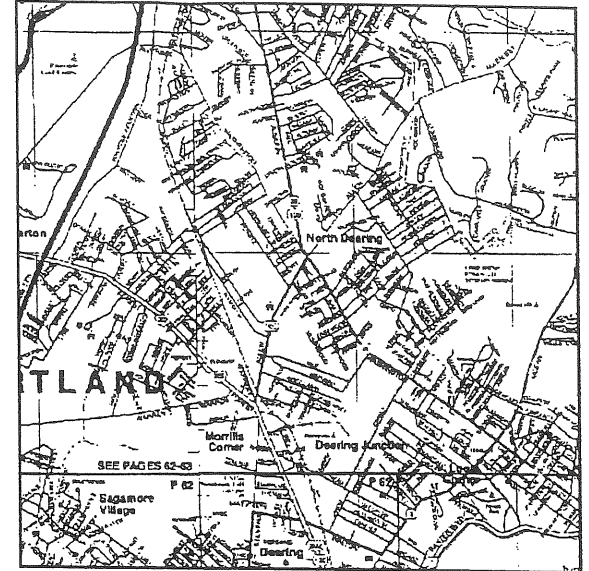
MINIMUM LOT SIZE: 6,000 S.F.
 MINIMUM STREET FRONTAGE: 60'
 MINIMUM YARD DIMENSIONS:
 FRONT YARD SETBACK: 20'
 REAR YARD SETBACK: 20'
 SIDE YARD SETBACK: 10' (ONE STORY)
 12' (TWO STORIES)
 14' (THREE OR MORE STORIES)
 MINIMUM LOT WIDTH: 60'
 MAXIMUM STRUCTURE HEIGHT: 45'
 MAXIMUM IMPERVIOUS SURFACE: 80%

RS_ZONE

MINIMUM LOT AREA/DWELLING AREA: 6,000 S.F.
 MINIMUM STREET FRONTAGE: 50'
 MINIMUM YARD DIMENSIONS:
 FRONT YARD SETBACK: 20'
 REAR YARD SETBACK: 20'
 SIDE YARD SETBACK: 8' (ONE STORY)
 8' (ONE AND ONE HALF STORIES)
 12' (TWO STORIES)
 14' (TWO AND ONE HALF STORIES)
 MINIMUM LOT WIDTH: 60'
 MAXIMUM STRUCTURE HEIGHT: 35'
 MAXIMUM LOT COVERAGE: 40%

IMPERVIOUS SURFACE RATIO

EXISTING LOT AREA: 35,770 S.F.
 IMPERVIOUS SURFACE AREA: 17,650 S.F.
 IMPERVIOUS SURFACE RATIO: 49.3%



LOCUST PLAN

PROJECT INFORMATION

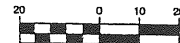
RECORD OWNER/
DEVELOPER:
OPM, INC.
52 BANG'S SHORE ROAD
ORRS ISLAND, ME 04086

ENGINEER:
ENVIRONMENTAL ENGINEERING & REMEDIATION, INC.
222 ST. JOHN STREET SUITE 314
PORTLAND, MAINE 04102
MR. STEPHEN J. BRADSTREET, P.E.

SURVEYOR:
TITCOMB ASSOCIATES
133 GRAY ROAD
FALMOUTH, MAINE 04105
MR. DAVID E. TITCOMB

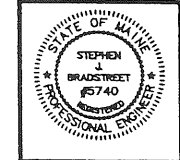
SCALE

SCALE: HOR 1" = 20'



B	SJB	01/22/02	ISSUED FOR PLANNING BOARD APPROVAL	691_d_100
A	SJB	11/20/01	ISSUED FOR PLANNING BOARD REVIEW	691_a_100
REV.	BY	DATE	STATUS	CAD NO.

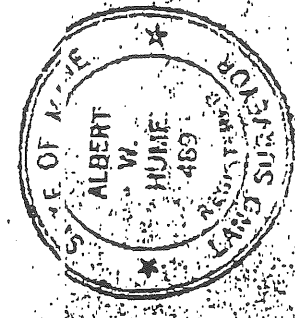
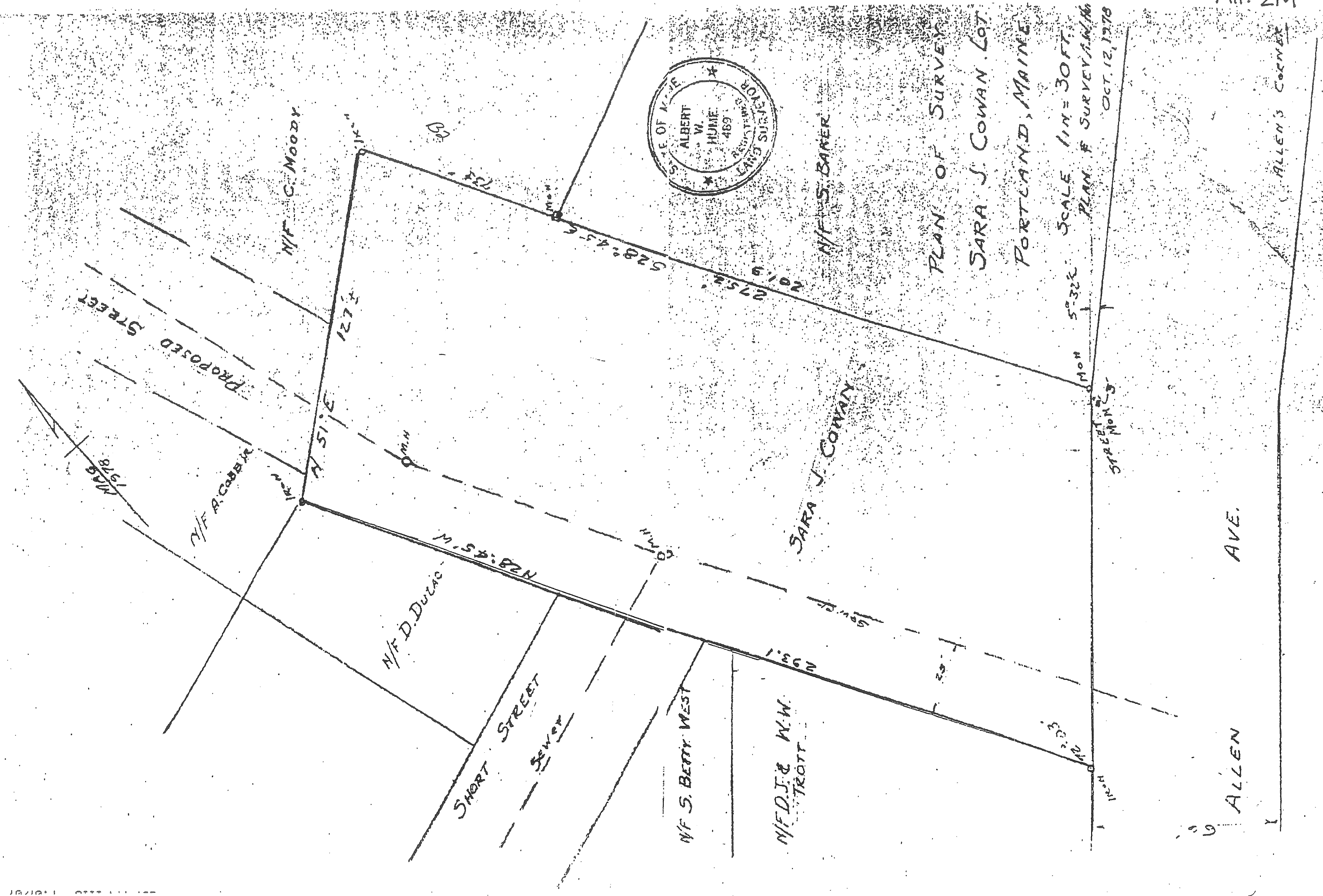
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OPM, INC.
CYRUS B. ABBOTT SITE DEVELOPMENT

OVERALL SITE PLAN

	DESIGN BY: SJB
	DRAWN BY: JAR
	CHECKED BY: SJB
	DATE: 11/14/01
	JOB NO: 661
SCALE: 1" = 20'	
C-100	
SHEET 1 OF 7	



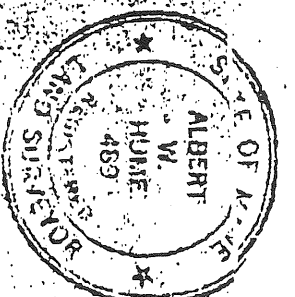
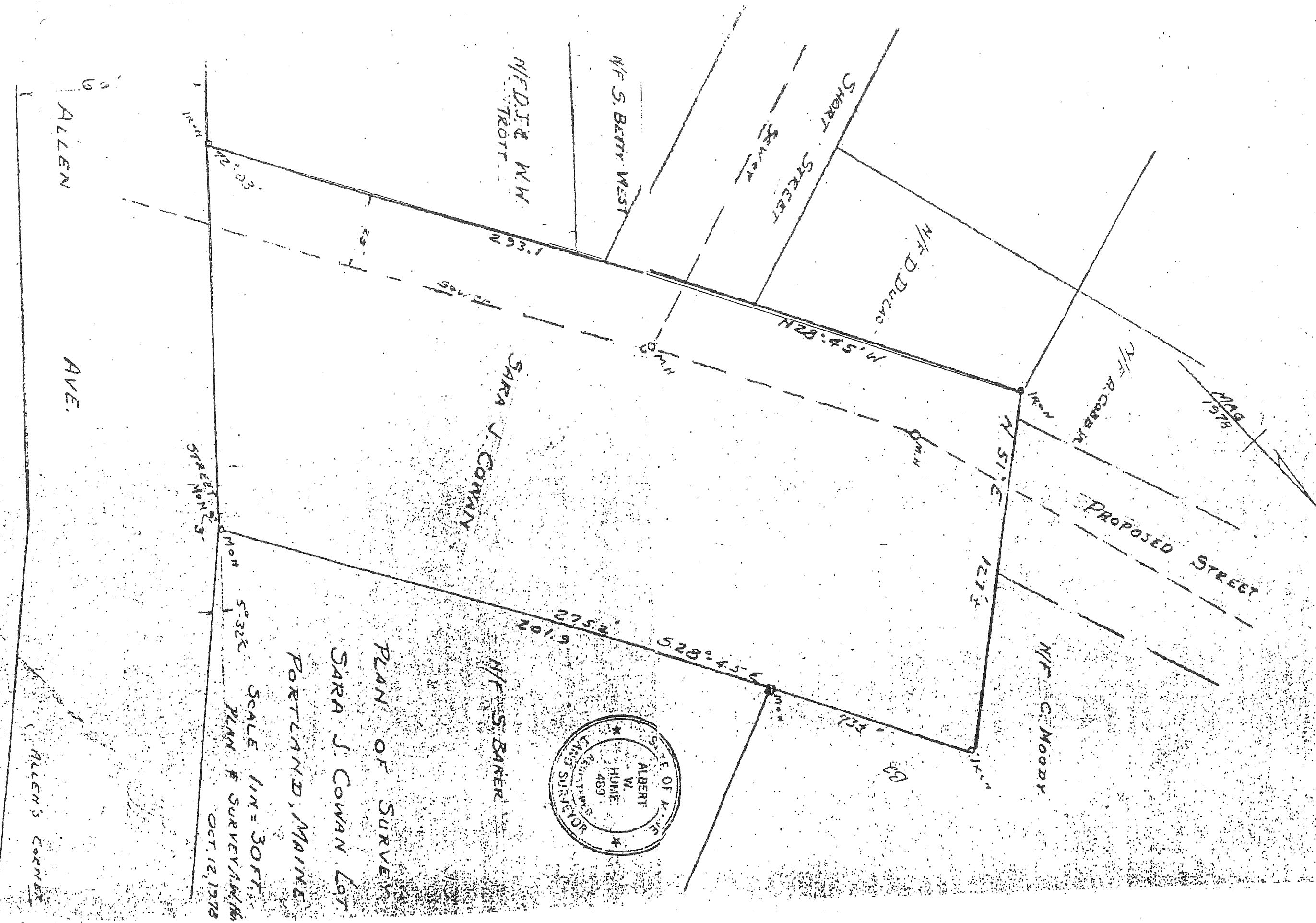
PLAN OF SURVEY
SARA J. COWAN LOT
PORTLAND, MAINE

SCALE 1/4" = 30 FT.
OCT. 12, 1978

MAB 1978
N/F A. CARR
N/F C. MOODY
PROPOSED STREET
N. SIDE
127' ±

M. S. BURN
N/F D. DULAC
SHORT STREET
SEWER
N/F S. BERRY WEST
N/F D. J. & W. W. TROTT
SARA J. COWAN
N/F S. BARER
528' ± 4-5-6
127' ±

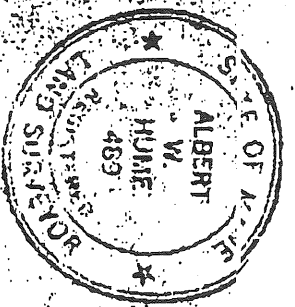
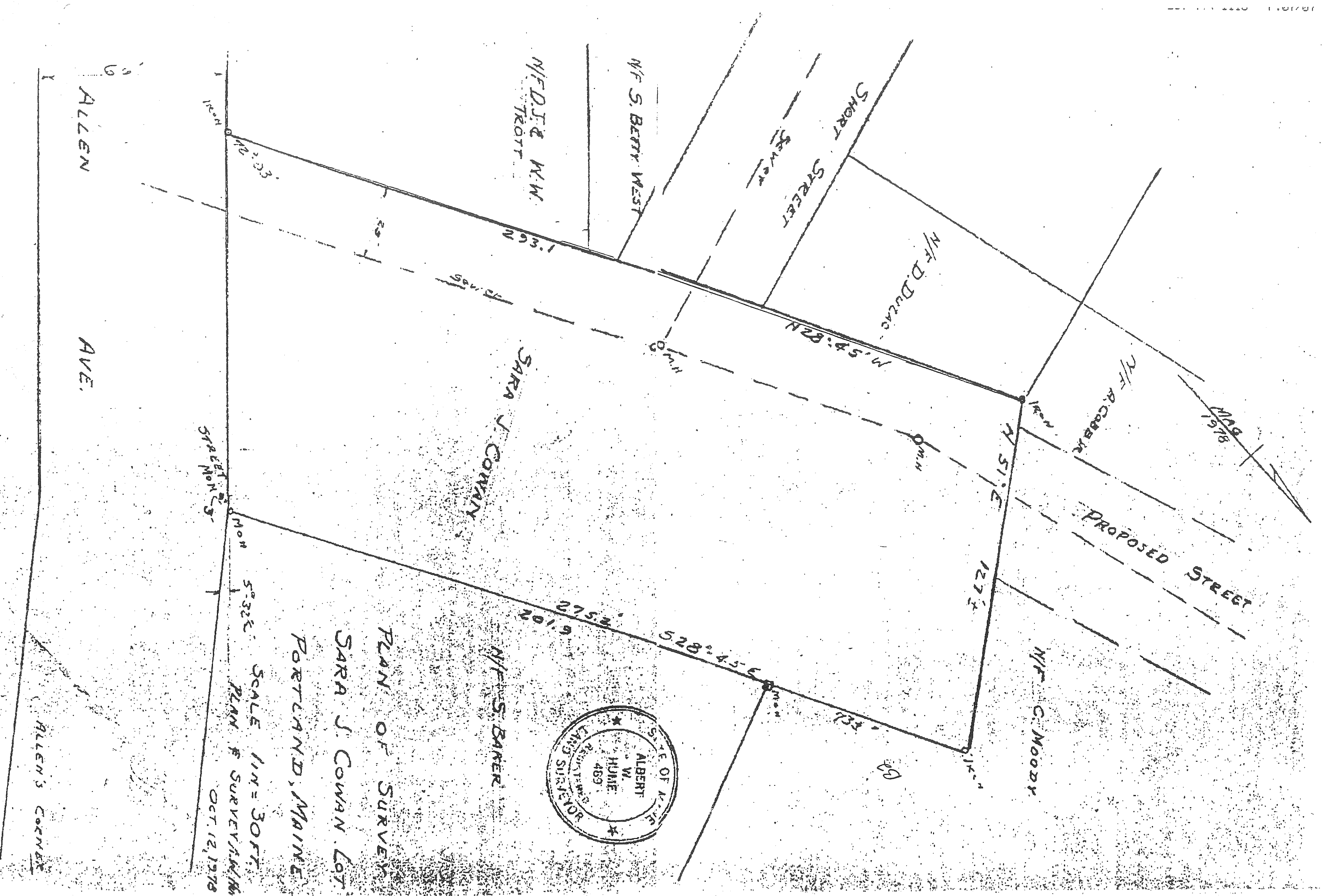
ALLEN AVE.
ALLEN'S CORNER
STREET



PLAN OF SURVEY
 SARA J. COWAN LOT
 PORTLAND, MAINE

SCALE 1" = 30 FT.
 PLAN # SURVEY A.M.M.
 OCT. 12, 1978

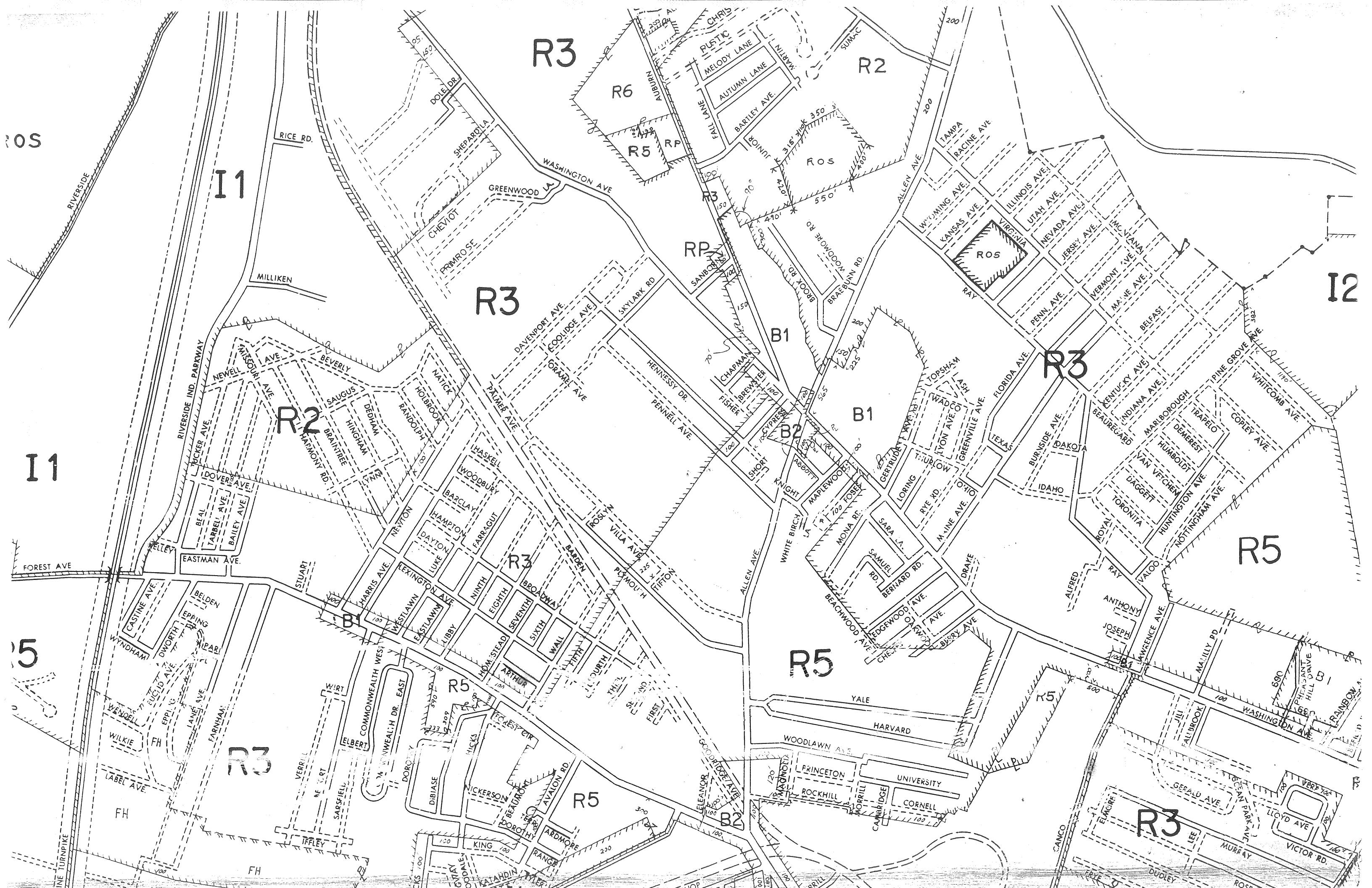
AH. 2M



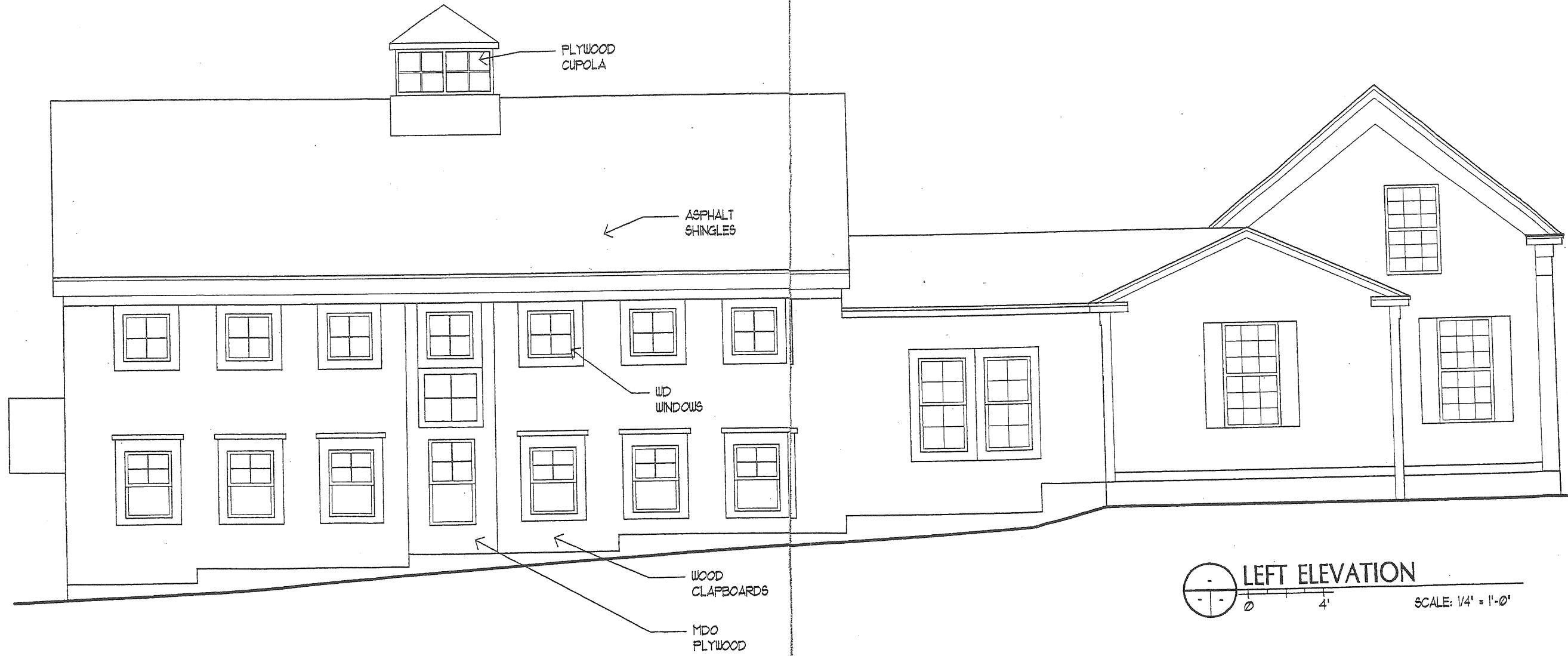
PLAN OF SURVEY
 SARA J. COWAN LOT
 PORTLAND, MAINE

SCALE 1" = 30 FT.
 PLAN # SURVEY/M/M
 OCT. 12, 1978

ALLEN AVE.
 ALLEN'S CORNER



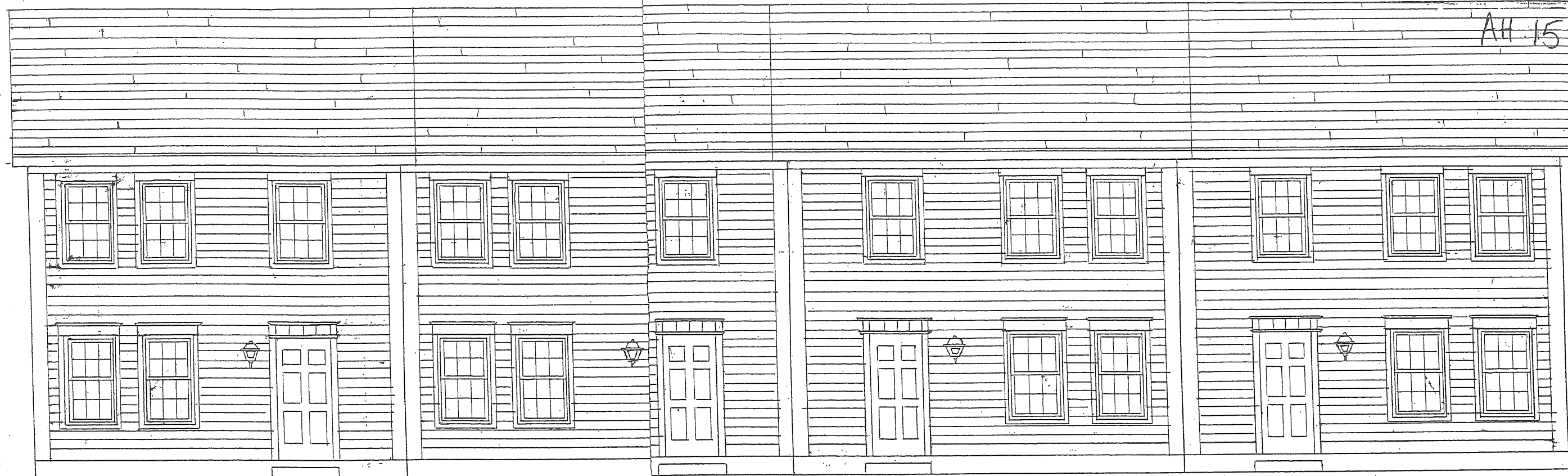
14C



LEFT ELEVATION
0 4' SCALE: 1/4" = 1'-0"

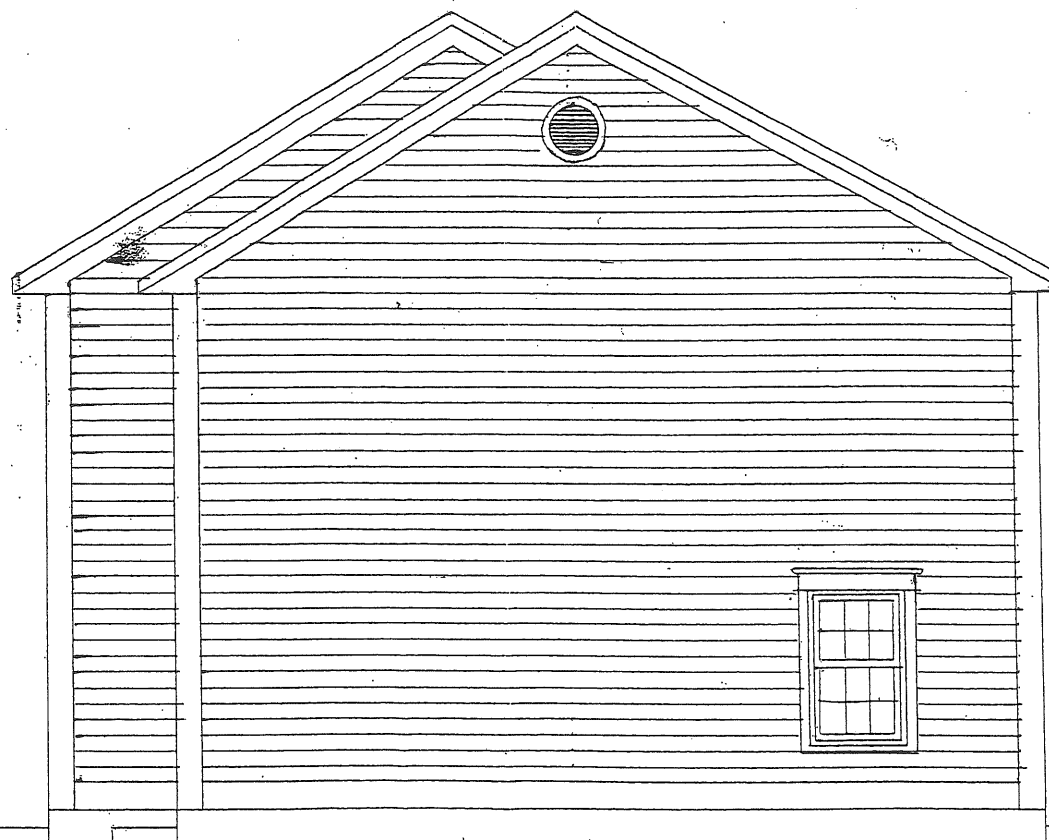
25 year arch. shingles

AH 15



SOUTH ELEVATION

6 Panel Steel Door w/Transom



EAST ELEVATION

PROPOSED MATERIAL LIST:

- * 8" Fluted Vinyl Cornerboard
- * Vinyl Frieze board
- * 6/6 Doublehung vinylclad
- * seamless vinyl clapboard
- * vinylclad molding
- * 10" vinyl freezeboard
- * Concrete foundation wall
- * 4' x 4" x 8" granite or precast slab

"Cyrus B. Abbott" Multifamily Housing P

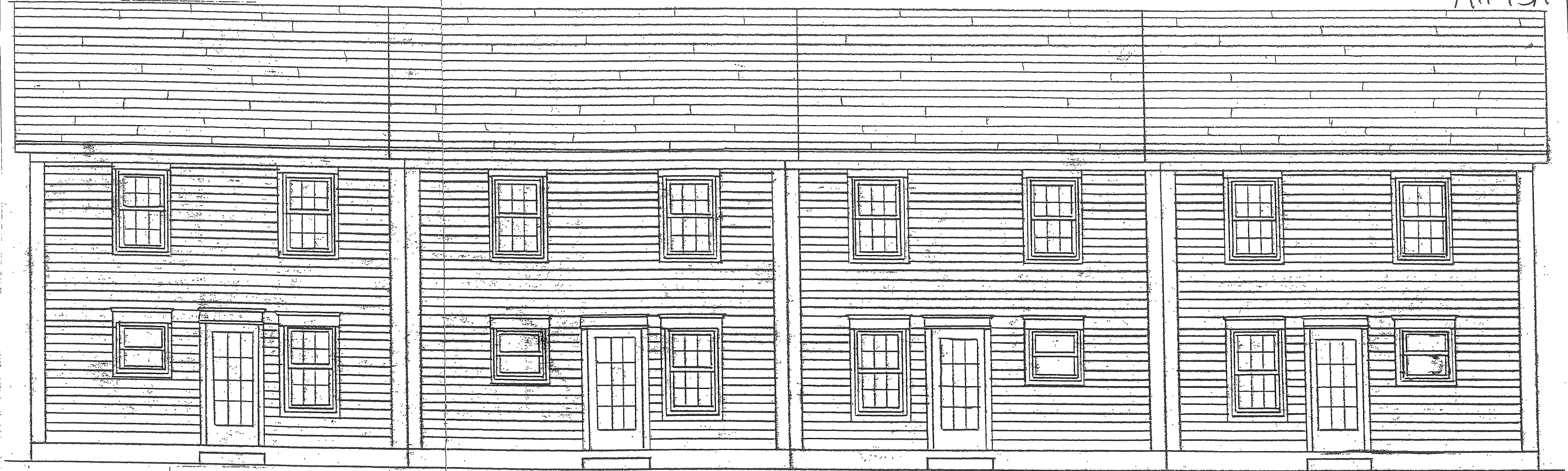
SCALE: 1/4" = 1'-0"
DATE: January 21, 2001

APPROVED BY:
OPM, INC.

DRI
RE:

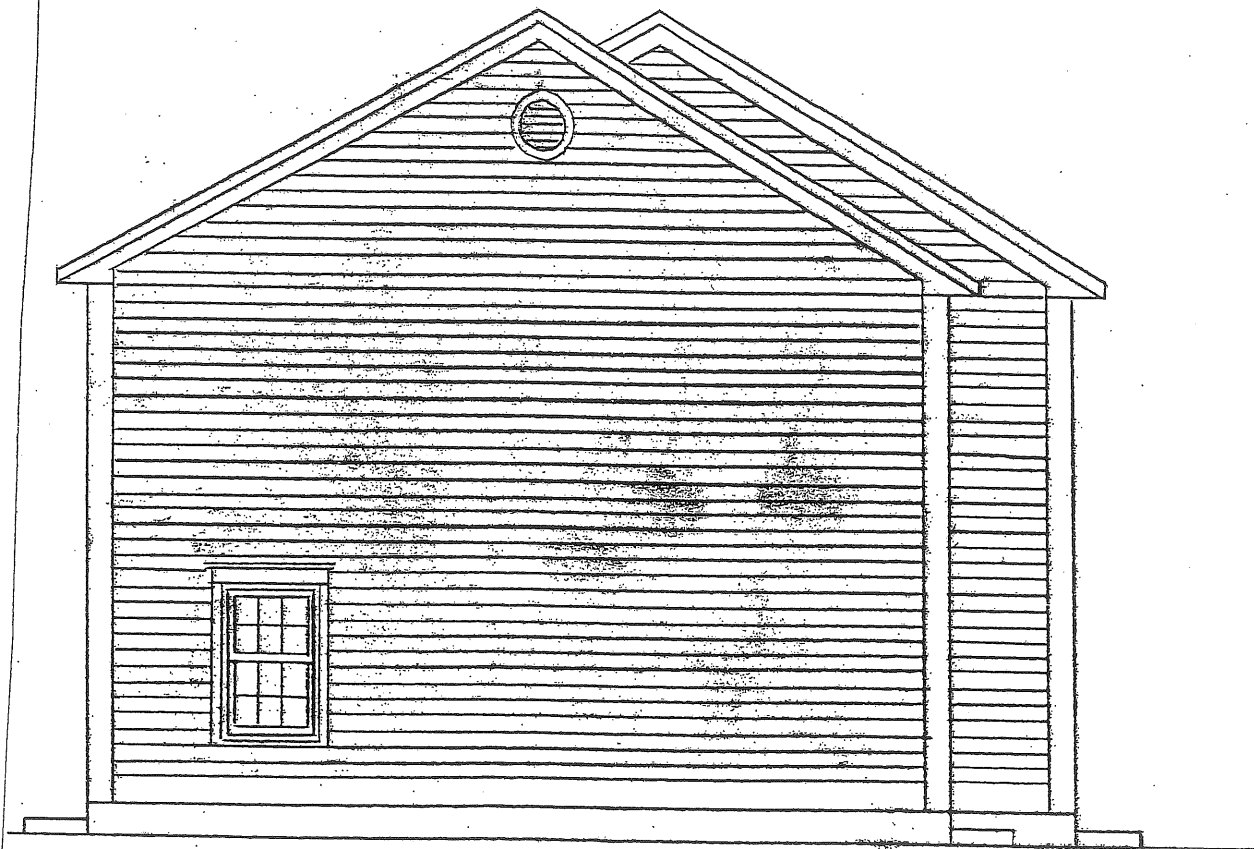
25 year arch. shingles

AH.15A



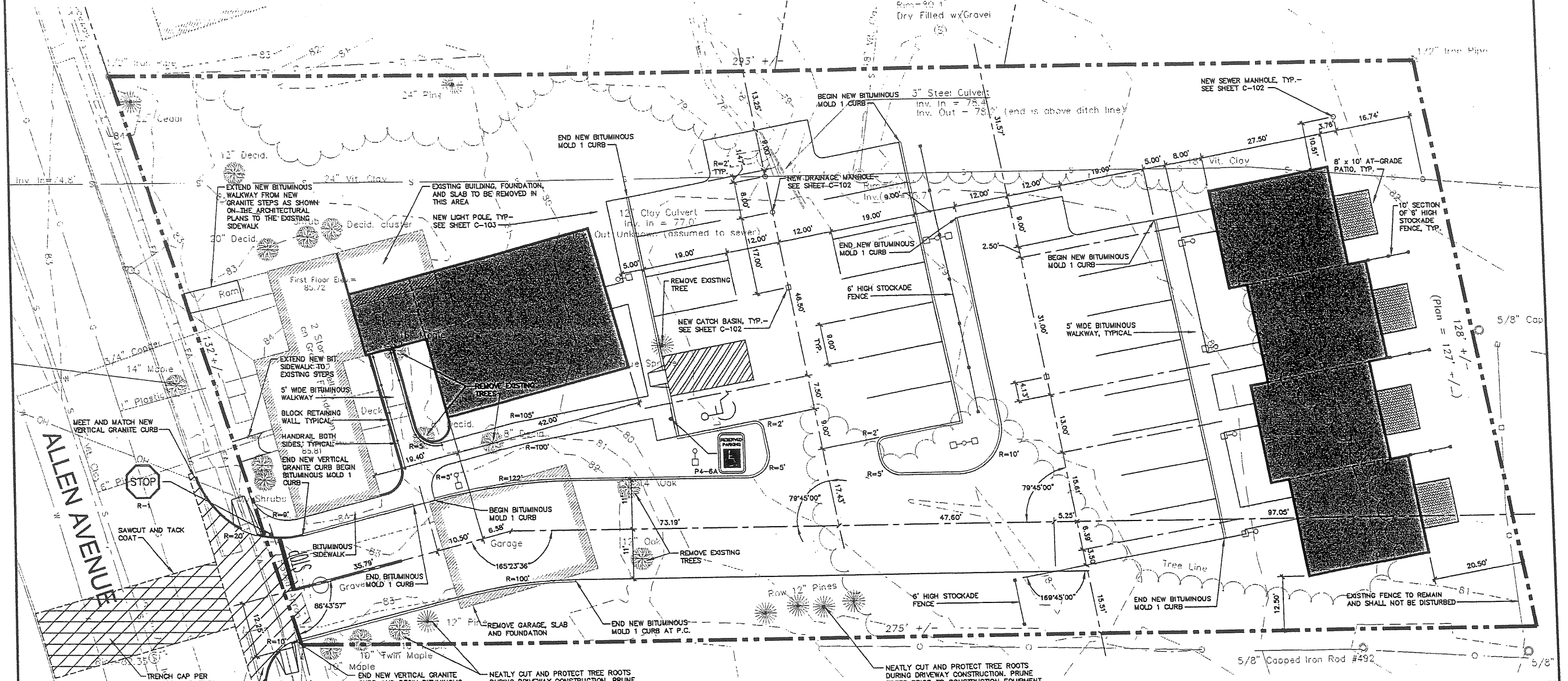
15 Light Entry Door

NORTH ELEVATION



WEST ELEVATION

16A



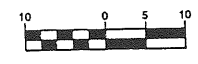
ALLEN AVENUE

NOTES

1. ANY EXISTING GRANITE CURBS REMOVED WITHIN THE CITY'S RIGHT OF WAY SHALL REMAIN THE PROPERTY OF THE CITY AND SHALL BE TRANSPORTED TO A CITY DESIGNATED STOCKYARD.
2. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTING THE BUILDINGS WITHIN THE BUILDING ENVELOPE AND CONTACTING THE CODE ENFORCEMENT FOR PERIODIC INSPECTIONS REQUIRED BY THE CODE ENFORCEMENT DEPARTMENT.

SCALE

SCALE: HOR 1" = 10'



B	SJB	01/22/02	ISSUED FOR: PLANNING BOARD APPROVAL	891_b_c101
A	SJB	11/20/01	ISSUED FOR: PLANNING BOARD REVIEW	661_a_c101
REV.	BY	DATE	STATUS	CAD NO.

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OPM, INC.
CYRUS B. ABBOTT SITE DEVELOPMENT

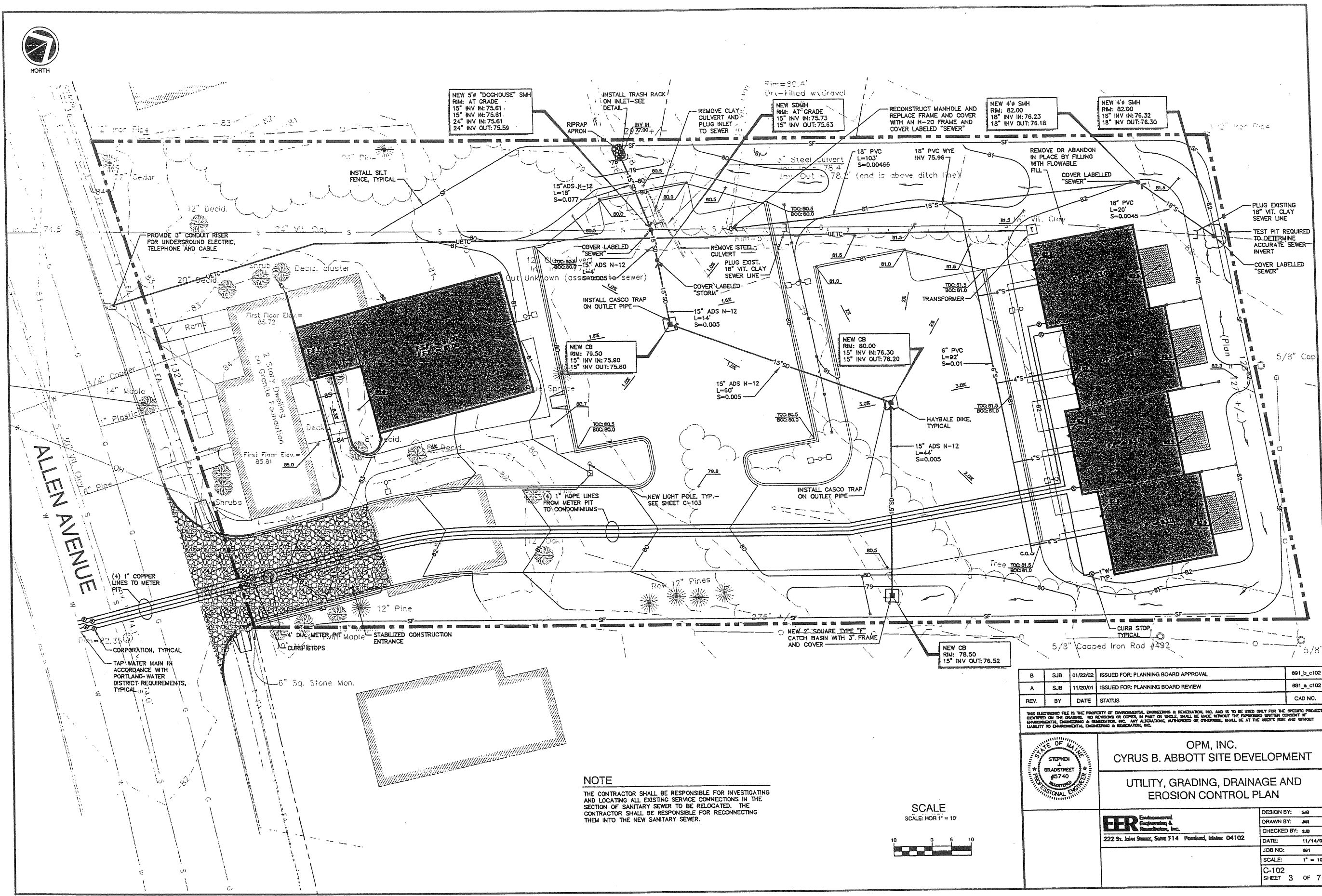
CONSTRUCTION LAYOUT PLAN

DESIGN BY: SJB
DRAWN BY: JAR
CHECKED BY: SJB
DATE: 11/14/01
JOB NO: 891
SCALE: 1" = 10'
C-101
SHEET 2 OF 7

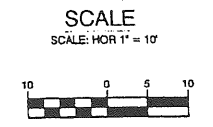
EER Environmental Engineering & Rehabilitation, Inc.
222 St. John Street, Suite 114 Portland, Maine 04102



16B



NOTE
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR INVESTIGATING AND LOCATING ALL EXISTING SERVICE CONNECTIONS IN THE SECTION OF SANITARY SEWER TO BE RELOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECONNECTING THEM INTO THE NEW SANITARY SEWER.

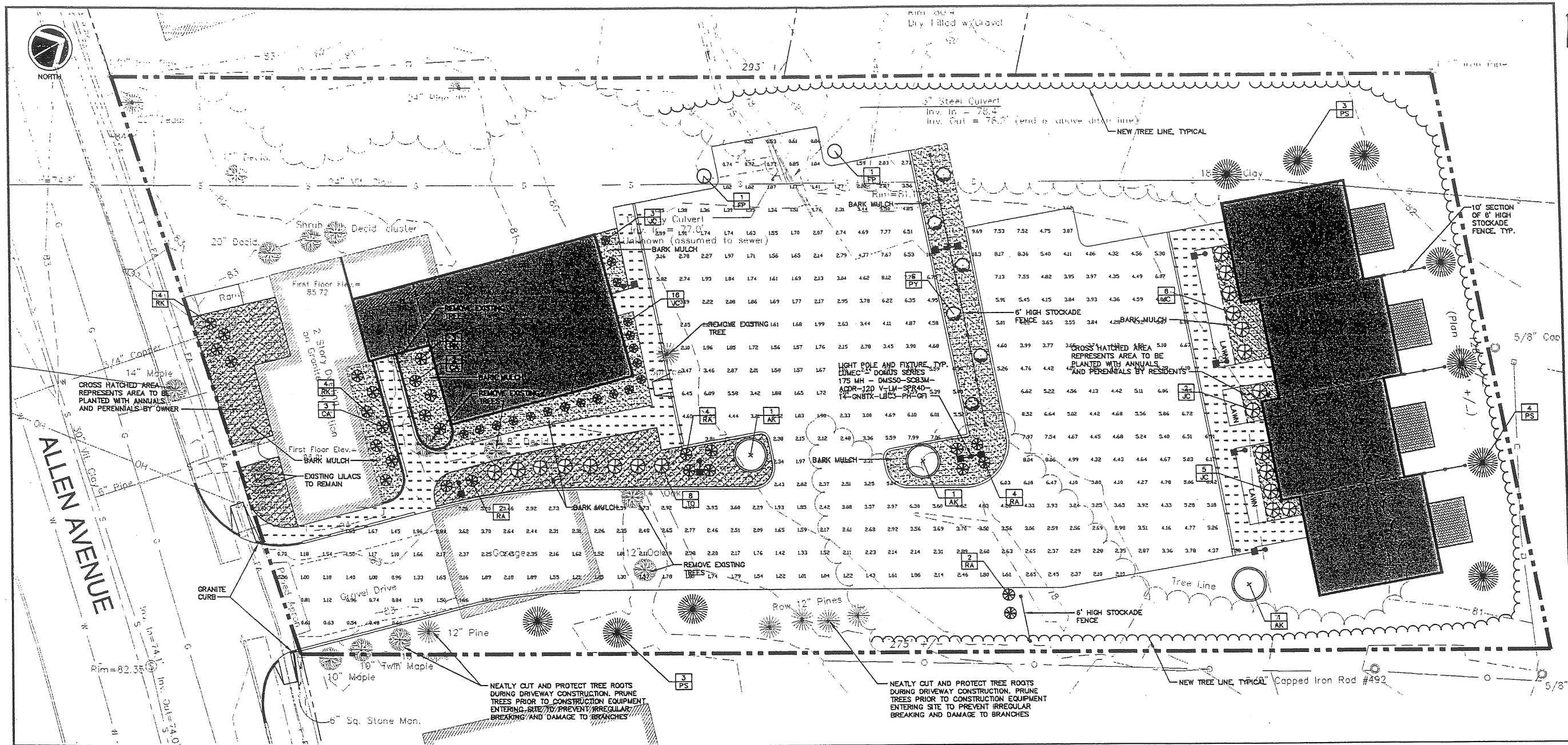


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A	SJB	11/20/01	ISSUED FOR: PLANNING BOARD REVIEW	691_a_c102
REV.	BY	DATE	STATUS	CAD NO.

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	OPM, INC. CYRUS B. ABBOTT SITE DEVELOPMENT	
	UTILITY, GRADING, DRAINAGE AND EROSION CONTROL PLAN	
 222 St. John Street, Suite F14, Foxboro, MA 01902	DESIGN BY:	SJB
	DRAWN BY:	SJB
	CHECKED BY:	SJB
	DATE:	11/14/01
JOB NO:	691	
SCALE:	1" = 10'	
C-102		
SHEET 3 OF 7		

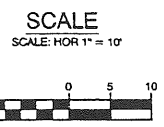
16c



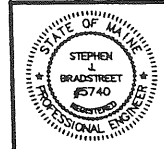
PLANTING NOTES

1. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE POSSIBILITY OF UNDERGROUND UTILITIES. THE LANDSCAPE CONTRACTOR SHALL VERIFY UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
2. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY UTILITIES, WALKS, PAVING, CURBING, ETC., DAMAGED IN THE PERFORMANCE OF THIS JOB AT NO COST TO THE OWNER.
3. PLANTING OF TREES AND SHRUBS SHALL NOT OCCUR UNTIL ALL GRADING AND PAVING IS COMPLETED.
4. ALL PLANTS SHALL HAVE A NORMAL HABIT OF GROWTH FOR THE SPECIES AND SHALL BE SOUND, HEALTHY AND FREE OF DISEASE AND INSECTS. THEY SHALL CONFORM TO THE MEASUREMENTS ON THE PLANT LIST AND SHALL CONFORM TO ANSI Z60.1 - NURSERY STOCK, LATEST REVISION.
5. ALL PLANTS SHALL HAVE ALL NONBIODEGRADABLE MATERIALS (STRING, WIRE, POTS, ETC.) REMOVED AT THE TIME OF PLANTING. CIRCLING ROOTS OR ROOTS THAT WOULD LATER GIRDLE THE PLANT SHALL BE STRAIGHTENED, CUT OR THE ROOT BALL SHALL BE CUT UTILIZING THE "BUTTERFLY METHOD." TOP 1/3 OF WIRE BASKETS AND BURLAP ON TREES SHALL BE CUT AND REMOVED.
6. BACKFILL MIX SHALL BE COMPOSED OF A 80/20 LOAM/PEAT MOSS MIX. PLANTING PITS SHALL BE EXCAVATED TO THREE TIMES THE DIAMETER AND TO THE SAME DEPTH OF THE PLANT ROOT BALL. BACKFILL 1/2 OF THE PIT AT A TIME AND COMPACT. SEE NOTE 7 AND INSTALL SLOW RELEASE FERTILIZER AFTER FIRST BACKFILL LIFT. SETTING THE TREE/SHRUB: EACH TREE/SHRUB SHALL BE PLANTED SUCH THAT THE TRUNK FLARE JUNCTION IS LEVEL WITH OR 1"-2" ABOVE EXISTING GRADE. TREES/SHRUBS WHERE THE PLANTING DEPTH IS INCORRECT SHALL BE REJECTED. ALL PLANTING ISLANDS SHALL HAVE 18" OF TOPSOIL INSTALLED, WITH A FINISHED GRADE AT THE TOP OF CURB, PRIOR TO THE INSTALLATION OF PLANT MATERIAL.
7. ALL PLANTINGS SHALL HAVE SLOW RELEASE FERTILIZER TABLETS INSTALLED. TABLETS SHALL BE AGRIFORM 21 GRAM 20-10-5 PLANTING TABLETS OR AN APPROVED EQUAL. APPLICATION RATE: PERENNIALS-1 TABLET/PLANT, WOODY SHRUBS TO 3'-0"-2 TABLETS/PLANT, SHRUBS AND TREES 3'-0" TO 6'-0"-3 TABLETS/PLANT AND TREES 6'-0" AND ABOVE-4 TABLETS/PLANT. AFTER PLANTS ARE INSTALLED, LIQUID FEED ALL PLANTS WITH ROOTS OR AN APPROVED EQUAL MIX MIX ACCORDING TO MANUFACTURER'S INSTRUCTIONS. APPLICATION RATE: PERENNIALS-2 OZ'S/PLANT, WOODY SHRUBS TO 4'-0"-1.5 GAL./PLANT, TREES AND SHRUBS 4'-0" TO 10'-0"-3.0 GAL./PLANT AND TREES 10' AND ABOVE-4.0 GAL./PLANT.
8. TREES WILL NOT BE STAKED UNLESS IN THE OPINION OF THE LANDSCAPE CONTRACTOR THAT IT IS REQUIRED. IN THOSE CASES THE PARTICULAR TREES SHOULD BE REPORTED TO THE OWNER FOR THEIR APPROVAL. IN NO CASES SHALL A TREE BE STAKED BECAUSE THE ROOT BALL CRUMPLED. IN THOSE CASES THE TREE SHALL BE REMOVED AND REPLACED WITH A TREE OF THE SAME SPECIES AND SIZE WITH A SOLID AND INTACT ROOT BALL. IF STAKES ARE USED, THEY SHALL BE REMOVED BY THE CONTRACTOR AFTER ONE YEAR.
9. MULCH TO BE INSTALLED TO A DEPTH OF 3" AFTER NORMAL SETTLING. MULCH SHALL BE MEDIUM SHREDDED HEDLOCK BARK. DO NOT PLACE MULCH IN CONTACT WITH THE TREE OR SHRUB TRUNK. ALL SHRUB BEDS AND ISLANDS SHALL BE MULCHED. IN SHRUB BEDS THE EXTENT OF MULCH WILL BE 3" FROM THE CENTER OF THE PLANT TO THE EDGE OF THE BED.
10. ALL PLANTS SHALL BE ORIENTED FOR BEST APPEARANCE. PLANT SPECIES SUBSTITUTIONS WILL NOT BE ALLOWED UNLESS APPROVED BY THE OWNER.
11. ALL PLANTS SHALL BE GUARANTEED FOR ONE GROWING SEASON (ONE YEAR FROM DATE OF ACCEPTANCE). ANY PLANTS THAT DIE DURING THE GUARANTEE, SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE OWNER.
12. ALL AREAS NOT IDENTIFIED WITH OTHER SURFACE TREATMENTS SHALL BE LAWN. THE LAWN ARE SHALL BE SEEDED WITH (LOFTS TRI-PLEX GENERAL OR APPROVED EQUAL) AND STRAW MULCHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAWN MAINTENANCE. MAINTENANCE SHALL COMMENCE AT THE TIME OF PLANTING AND LAST UNTIL A GOOD FULL CATCH OR GRASS IS ESTABLISHED.
13. IF QUANTITIES OF PLANTS LISTED IN THE PLANT SPECIES LIST DO NOT CORRELATE WITH THE PLANTINGS INDICATED ON THE PLAN, THE QUANTITIES ON THE PLAN SHALL GOVERN.

PLANTING SCHEDULE			
SYM. QTY.	BOTANICAL NAME	COMMON NAME	SIZE REMARKS
AK 3	AZER RUBRUM 'KARPOK'	KARPOK RED MAPLE	2.5'-3' CAL. BAG
CA 5	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SUMMERSWEET	18"-24" 4' O.C.
JC 32	J. CHEN. VAR. SARGENTI GLAUCA	BLUE SARGENT	2'-2.5' HT. BAG, 4' O.C.
RA 12	R. 'AGLO'	AGLO RHODODENDRON	15'-18' HT. 4' O.C.
RK 11	R. KURAME HYBRID 'HERSEY'S RED'	HERSEY'S RED AZALEA	15'-18' HT. 4' O.C.
TO 8	T. OCC. 'SMARGARD'	EMERALD GREEN	3'-4' HT. BAG, 4' O.C.
PY 6	PYRUS CALLERYANA 'ARISTOCRAT'	ARISTOCRAT ORNAMENTAL PEAR	2.5'-3' CAL. BAG
PS 10	PRUNUS STROBUS	WHITE PINE	5'-6' HT. BAG
FP 2	FRAXINUS PENNSYLVANICA 'SUMMIT'	SUMMIT ASH	2.5'-3' CAL. BAG



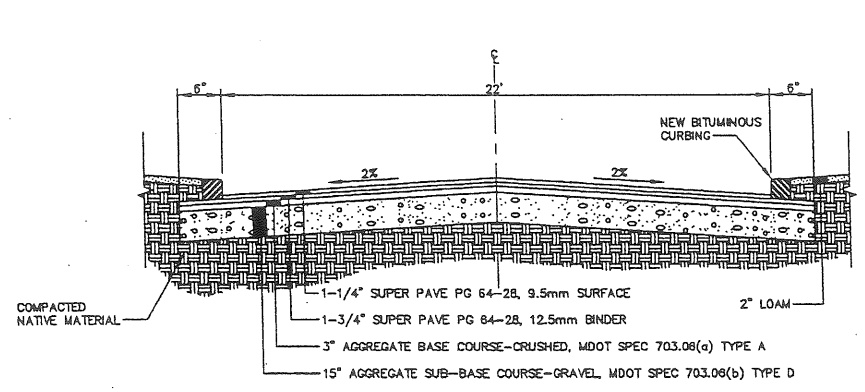
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A	SJB	11/20/01	ISSUED FOR: PLANNING BOARD REVIEW	091_b_c103
REV.	BY	DATE	STATUS	CAD NO.



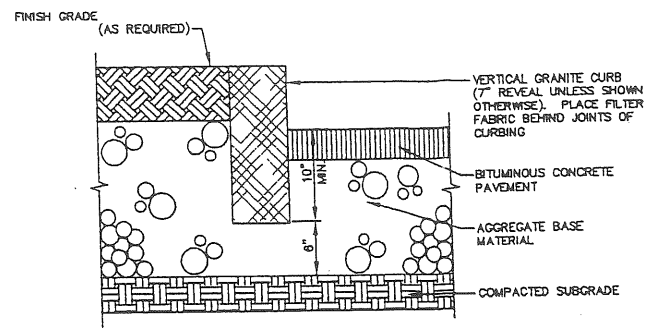
OPM, INC.
CYRUS B. ABBOTT SITE DEVELOPMENT

SITE LANDSCAPING
AND LIGHTING PLAN

		DESIGN BY: SJB
222 St. John Street, Suite 314, Pikesville, MD 21112		DRAWN BY: JMB
		CHECKED BY: SJB
		DATE: 11/14/01
		JOB NO: 091
		SCALE: 1" = 10'
		C-103
		SHEET 4 OF 7



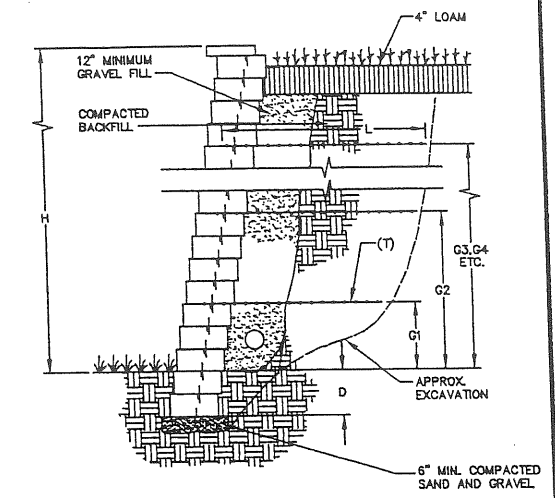
TYPICAL ROADWAY SECTION
NOT TO SCALE



VERTICAL GRANITE CURBING
NOT TO SCALE

VARIABLES:
H - WALL HEIGHT ABOVE GRADE
D - DEPTH BASE UNIT BELOW GRADE
G# - DISTANCE OF GRID LAYER# ABOVE GRADE
L - GRID LENGTH

- GENERAL NOTES:
1. FACTOR OF SAFETY FOR SLIDING: 1.5
 2. FACTOR OF SAFETY FOR OVERTURNING: 2.0
 3. UNIT WEIGHT SOIL: 125 PCF
 4. GEGRID DESIGN BASED ON TENSAR SYSTEM.
 5. GLOBAL STABILITY HAS NOT BEEN CHECKED.
 6. ALLOWABLE BEARING PRESSURE: 3,000 PSF
 7. DIMENSIONS SHOWN IN CHART ARE IN FEET.
 8. DESIGN OF WALL SHALL BE PROVIDED BY THE MANUFACTURER.

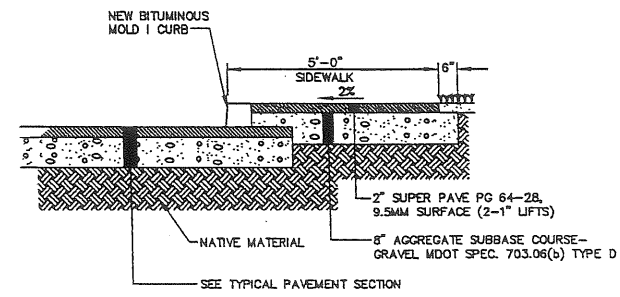


DESIGN CHART

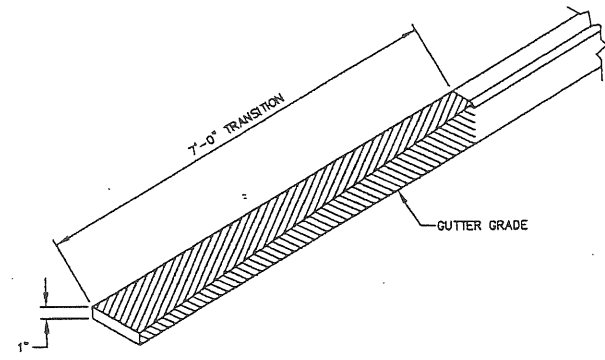
SLOPING FILL 2.5H : 1V SANDS/GRAVEL $\phi = 34^\circ$

H	D	GRID TYPE	GRID LENGTH	GRID LOCATION				
				G1	G2	G3	G4	G5
2	.5							
3	.5	SS2	2.6	1.5				
4	.5	SS2	3.5	1.0	2.5			
5	1.0	SR1	4.1	1.0	3.0			
6	1.0	SR1	5.1	1.0	2.5	4.5		
7	1.0	SR1	6.0	1.0	3.0	5.0		
8	1.0	SR1	6.5	1.0	3.0	5.0	7.0	

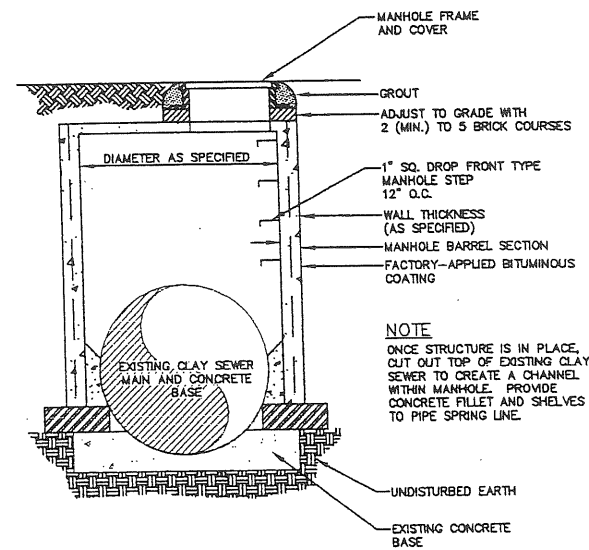
CONCRETE BLOCK RETAINING WALL
NOT TO SCALE



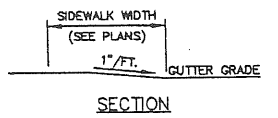
TYPICAL SIDEWALK SECTION
NOT TO SCALE



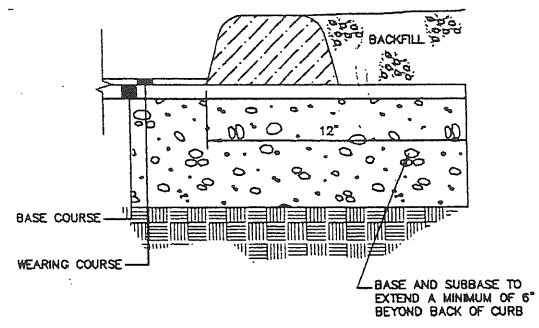
BITUMINOUS TRANSITION CURB
NOT TO SCALE



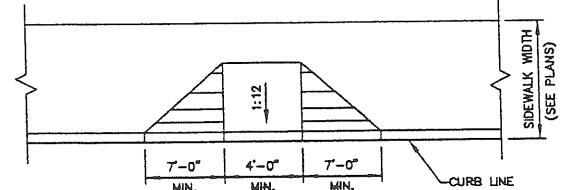
DOGHOUSE SANITARY MANHOLE
NOT TO SCALE



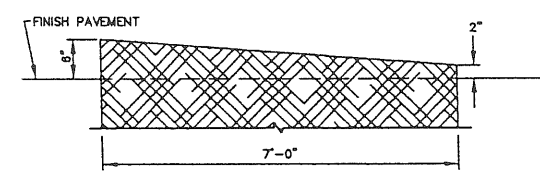
SECTION



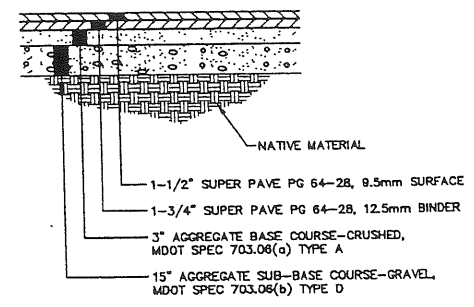
BITUMINOUS CURB-MOLD 1
NOT TO SCALE



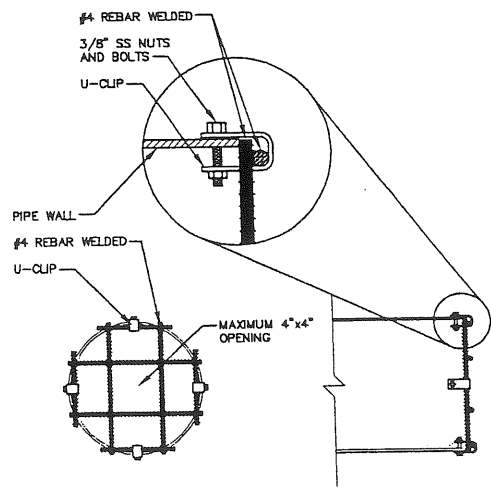
SIDEWALK RAMP
NOT TO SCALE



TYPICAL TIPDOWN CURB INSTALLATION
NOT TO SCALE



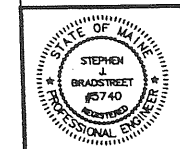
TYPICAL PAVEMENT SECTION
NOT TO SCALE



INLET TRASH RACK
NOT TO SCALE

B	SJB	01/22/02	ISSUED FOR: PLANNING BOARD APPROVAL	691_b_c105
A	SJB	11/20/01	ISSUED FOR: PLANNING BOARD REVIEW	691_b_c105
REV.	BY	DATE	STATUS	CAD NO.

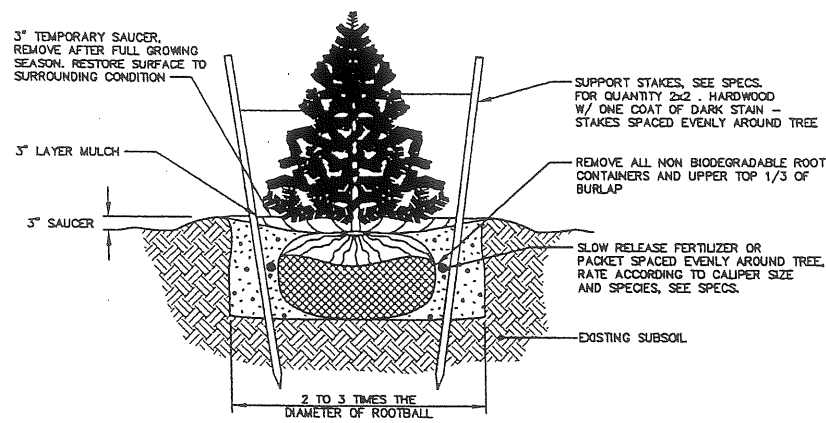
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OPM, INC.
CYRUS B. ABBOTT SITE DEVELOPMENT

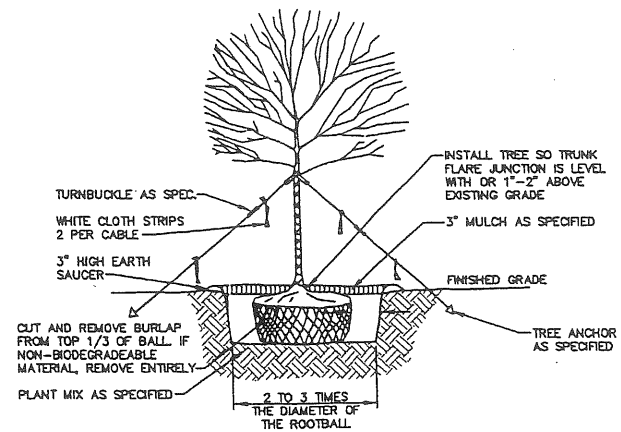
CONSTRUCTION
DETAILS

EER Environmental Engineering & Rehabilitation, Inc. 222 St. John Street, Suite F14 Portland, Maine 04102	DESIGN BY: SJB DRAWN BY: JAR CHECKED BY: SJB DATE: 11/14/01 JOB NO: 691 SCALE: AS NOTED C-105 SHEET 6 OF 7
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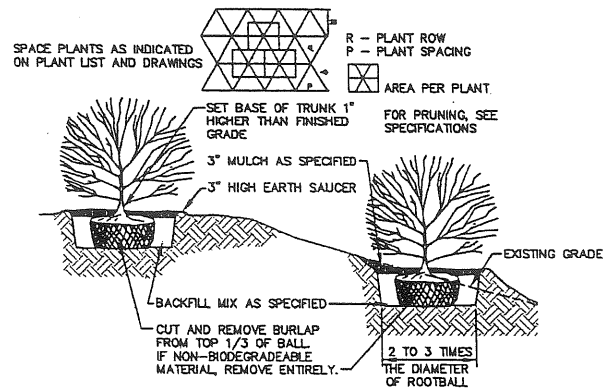
- NOTES:**
1. NEVER CUT OUT CENTRAL LEADER, PRUNE OUT BROKEN, DEAD, OR CONFLICTING BRANCHES
 2. SEE SPECS. FOR ADDITIONAL REQUIREMENTS
 3. TREE GUYS SHALL BE GUYING CHAIN OR WEB STRAPPING.
 4. INSTALL TREE SO TRUNK FLARE JUNCTION IS LEVEL WITH OR 1"-2" ABOVE EXISTING GRADE.
 5. WATER AT TIME OF PLANTING—SEE NOTES AND SPECS.

EVERGREEN TREE PLANTING & STAKING DETAIL
NOT TO SCALE



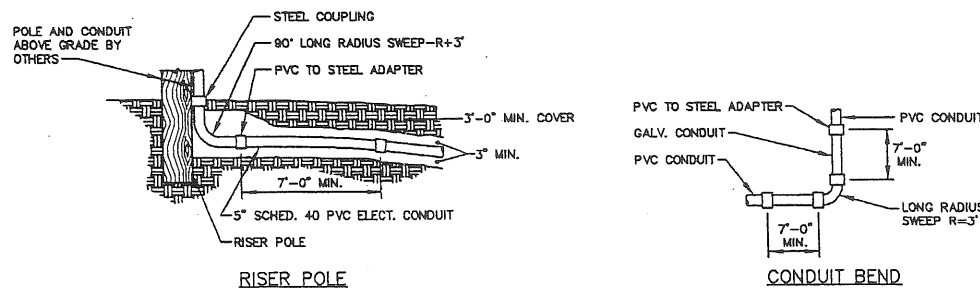
- NOTES:**
1. ON TREES LESS THAN 4" CAL. USE WOOD STAKES.
 2. ON TREES 3" CAL. OR GREATER USE GUYING CABLES (3) EVENLY SPACED.
 3. FOR PRUNING, SEE SPECIFICATIONS.
 4. NEVER CUT OUT CENTRAL LEADER, PRUNE OUT BROKEN, DEAD, OR CONFLICTING BRANCHES
 5. SEE SPECS. FOR ADDITIONAL REQUIREMENTS
 6. WATER AT TIME OF PLANTING—SEE NOTES AND SPECS.

TYPICAL TREE PLANTING DETAIL
NOT TO SCALE 4" CALIPER AND GREATER

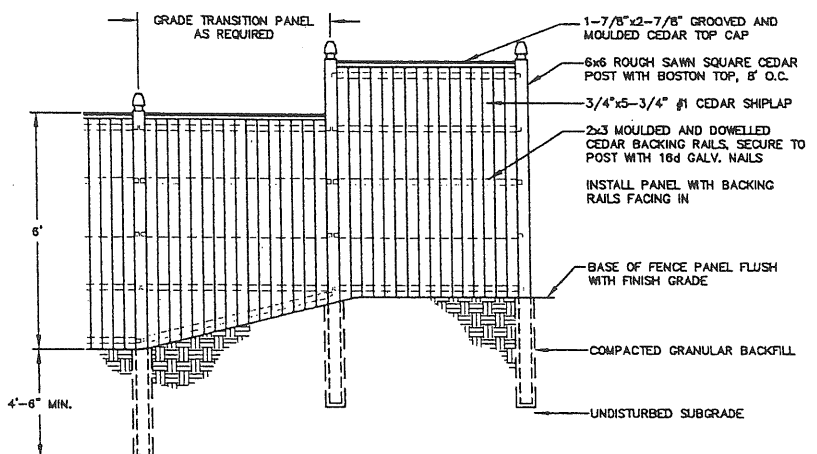


- NOTES:**
1. SEE SPECS. FOR ADDITIONAL REQUIREMENTS
 2. INSTALL SHRUB SO TRUNK ROOT JUNCTION IS LEVEL WITH OR 1"-2" ABOVE EXISTING GRADE.

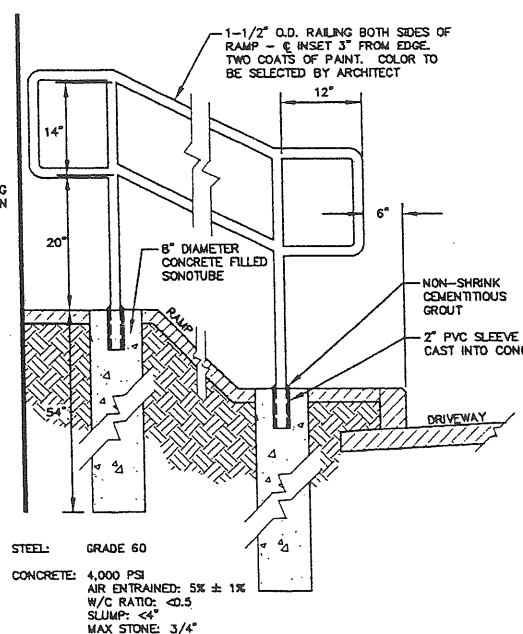
TYPICAL SHRUB PLANTING DETAIL
NOT TO SCALE



CONDUIT BEND AND RISER POLE DETAIL
NOT TO SCALE



STOCKADE FENCE DETAIL
NOT TO SCALE



RAILING DETAIL
SCALE: 1" = 1' 0"

EROSION CONTROL NOTES

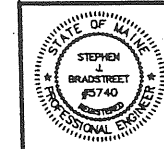
1. APPLICATION OF TEMPORARY AND PERMANENT EROSION CONTROL MEASURES FOR THE PROJECT SHALL BE IN ACCORDANCE WITH PROCEDURES AND SPECIFICATIONS OF THE "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES," MARCH 1991 (BMP HANDBOOK).
2. SILTATION FENCE SHALL BE INSTALLED BEFORE GRUBBING OR EARTH MOVING OPERATIONS.
3. PERMANENT SEEDING SHALL BE APPLIED WITHIN 15 DAYS OF FINAL GRADING FROM APRIL 15 TO SEPTEMBER 1.
4. PERMANENT SEEDING SHALL BE:

	LBS/1,000 S.F.
BIRDFOOT TREFOIL	.18
CROWN VETCH	.34
CREeping RED FESCUE OR TALL FESCUE	.46
5. TEMPORARY SEEDING SHALL BE APPLIED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL IF PERMANENT SEEDING IS NOT APPLIED. TEMPORARY SEEDING SHALL BE:

SEED	LB/1,000 SQ. FT.	SEEDING DEPTH	RECOMMENDED SEEDING DATES
WINTER RYE	2.6	1-1.5"	8/15-10/1
OATS	1.8	1-1.5"	4/1-7/1 8/15-9/15
ANNUAL RYEGRASS	0.9	.25"	4/1-7/1
SUDANGRASS	0.9	.5-1"	5/15-8/15
PERENNIAL	0.9	.25"	8/15-9/15
6. FERTILIZER SHALL BE 10-20-20 GRANULAR GAREN FERTILIZER AND APPLIED AT 18.4 LBS/1,000 S.F.
7. LIMESTONE SHALL BE GROUND WITH 50% CALCIUM PLUS MAGNESIUM OXIDE AND APPLIED AT 138 LBS/1,000 S.F.
8. MULCH SHALL BE HAY OR STRAW APPLIED AT 70-90 LBS/1,000 S.F.
9. WINTER MULCH SHALL BE APPLIED BETWEEN OCTOBER 1 AND APRIL 1 AND SHALL BE HAY OR STRAW APPLIED AT 300 LBS/1,000 S.F.
10. ALL EROSION CONTROL MEASURES, SEEDING AND MULCHING SHALL BE INSPECTED WEEKLY, AFTER RAINSTORMS AND DURING RUNOFF EVENTS. ALL MEASURES SHALL BE REPAIRED OR REPLACED WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DAMAGE.
11. SEEDED AND MULCHED AREAS SHALL BE MAINTAINED UNTIL FINAL ACCEPTANCE OF THE WORK. SEED CATCH SHALL BE ACCEPTABLE WHEN 75 PERCENT CATCH IS ESTABLISHED. MAINTENANCE SHALL CONSIST OF PROVIDING PROTECTION AGAINST TRAFFIC AND REPAIRING ANY AREAS TO RE-ESTABLISHED THE CONDITION AND GRADE OF THE SOIL PRIOR TO SEEDING AND SHALL THEN BE REFERTILIZED, RESEEDED AND REMULCHED.
12. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED UPON COMPLETION OF GRADING OPERATIONS AND ESTABLISHMENT OF A 75 PERCENT CATCH OF GRASS.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL MEASURES DURING CONSTRUCTION.
14. EROSION CONTROL INSPECTION SHALL BE PERFORMED BY: ENVIRONMENTAL ENGINEERING AND REMEDIATION, INC. STEPHEN J. BRADSTREET, P.E. 222 ST. JOHN STREET SUITE 314 (207) 828-1272
15. EROSION CONTROL AND CONSTRUCTION SEQUENCE:
 - a) INSTALL ALL TEMPORARY EROSION CONTROL AS SHOWN ON THE PLAN SHEET IN ACCORDANCE WITH THE DETAILS AND BMP'S.
 - b) CONSTRUCT THE DRIVE AND PARKING LOTS. IMMEDIATELY UPON INSTALLATION OF STORMDRAINS CONSTRUCT RIPRAP INLET PROTECTION.
 - c) REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE IMPROVEMENTS ARE COMPLETE AND THERE IS 75 PERCENT CATCH OF GRASS.
 - d) INSTALL PERMANENT EROSION CONTROL MEASURES.
16. CONSTRUCTION SCHEDULE

REMOVE EXISTING GARAGE	FEBRUARY 2002
EXISTING HOME RENOVATIONS	FEBRUARY TO JUNE 2002
PROPOSED BUILDING ADDITION	MARCH TO JUNE 2002
SITE CONSTRUCTION	MARCH TO AUGUST 2002
RESIDENTIAL APARTMENT CONSTRUCTION	MARCH TO AUGUST 2002

B	SJB	01/22/02	ISSUED FOR: PLANNING BOARD APPROVAL	001_b_c100
A	SJB	11/20/01	ISSUED FOR: PLANNING BOARD REVIEW	001_a_c100
REV.	BY	DATE	STATUS	CAD NO.



OPM, INC.
CYRUS B. ABBOTT SITE DEVELOPMENT

CONSTRUCTION
DETAILS

EER Environmental Engineering & Remediation, Inc. 222 St. John Street, Suite 314 Portland, Maine 04102	DESIGN BY: SJB DRAWN BY: JAR CHECKED BY: SJB DATE: 11/14/01 JOB NO: 001 SCALE: AS NOTED C-106 SHEET 7 OF 7
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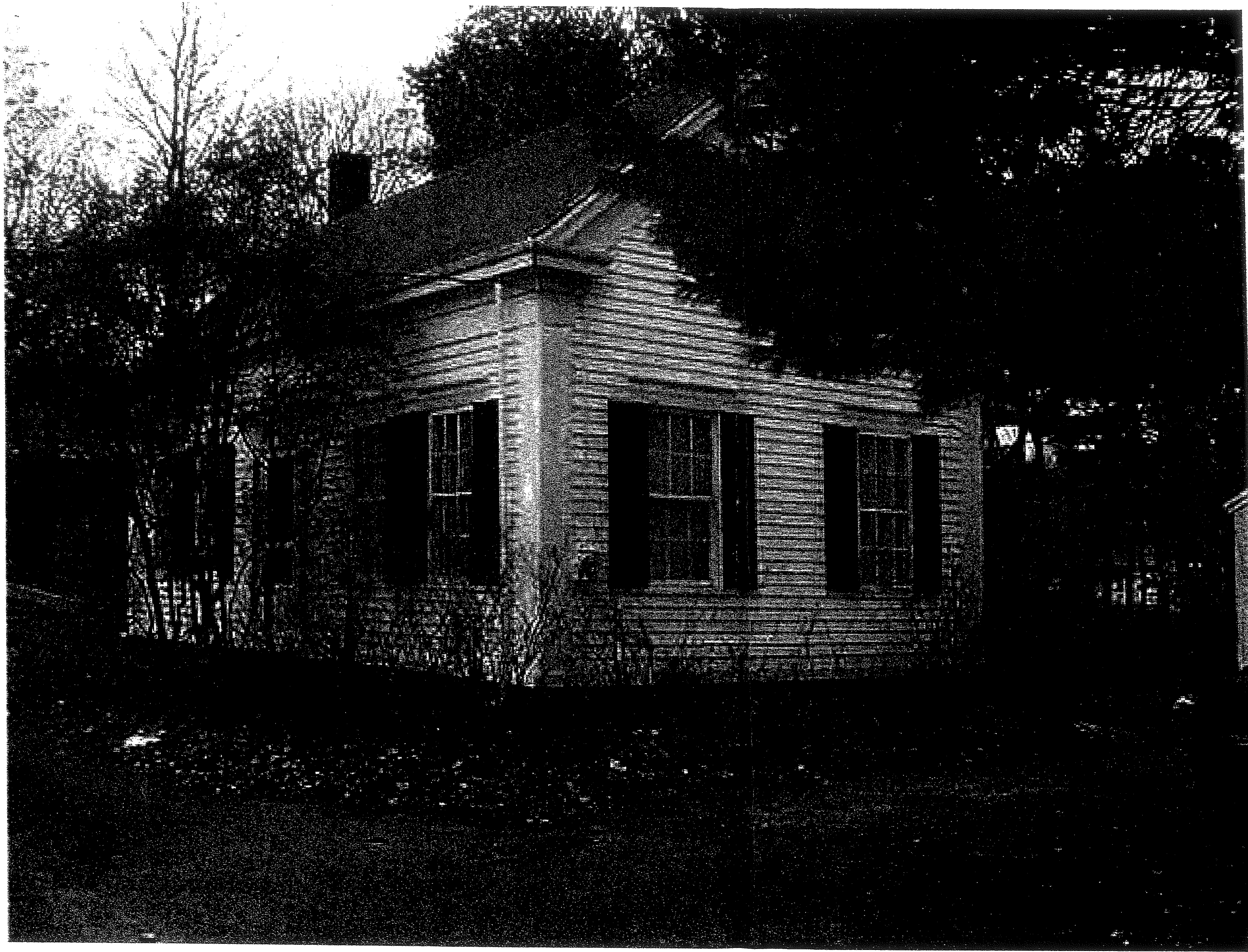
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13A

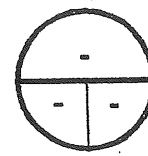


13B



13C



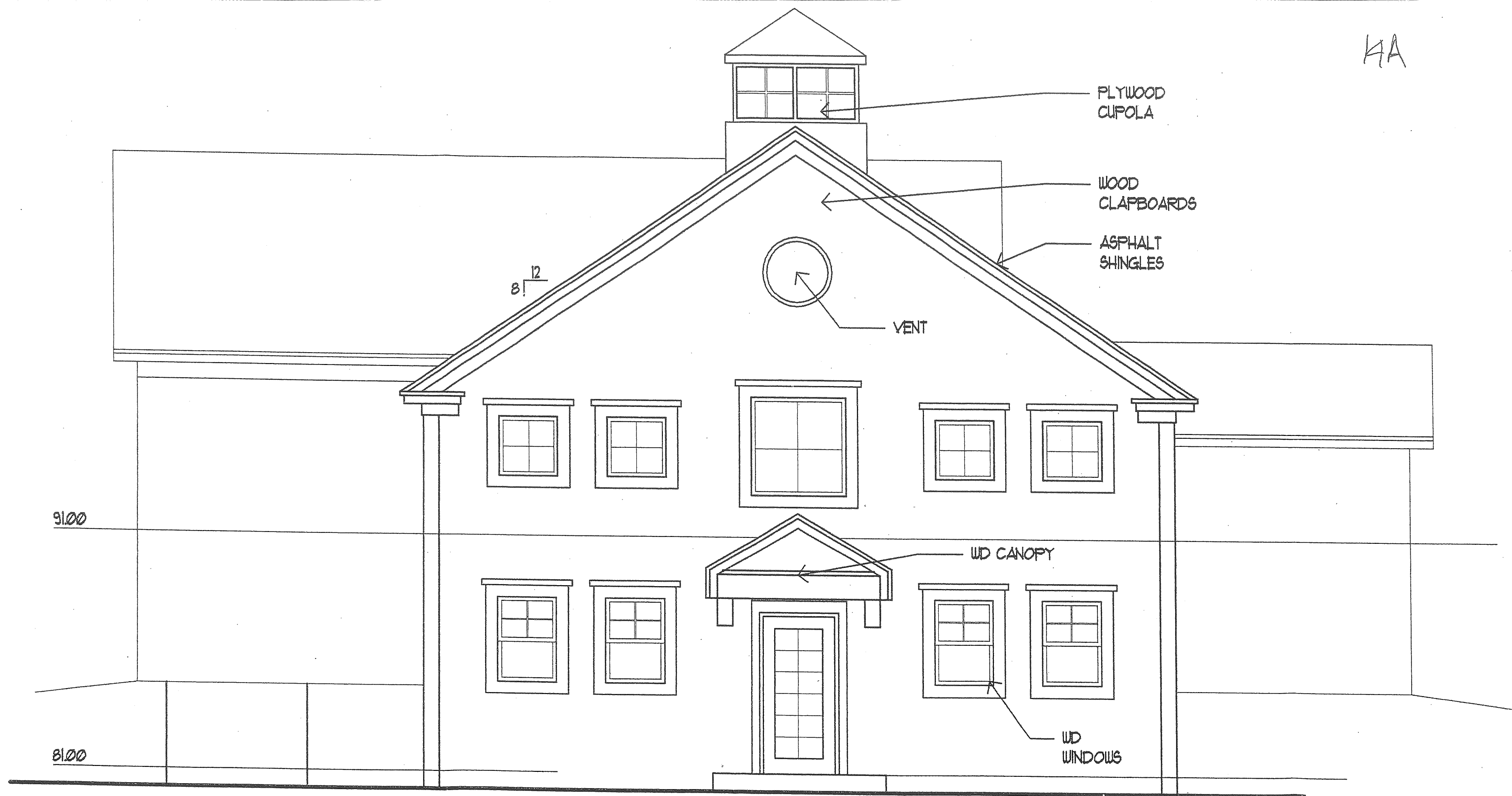


FRONTELEVATION



SCALE: 1/4" = 1'-0"

KA



 **REAR ELEVATION**
0 4' SCALE: 1/4" = 1'-0"



91.00

85.81

81.00

RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

ASPHALT SHINGLES

PLYWOOD CUPOLA

ASPHALT SHINGLES

WOOD WINDOWS

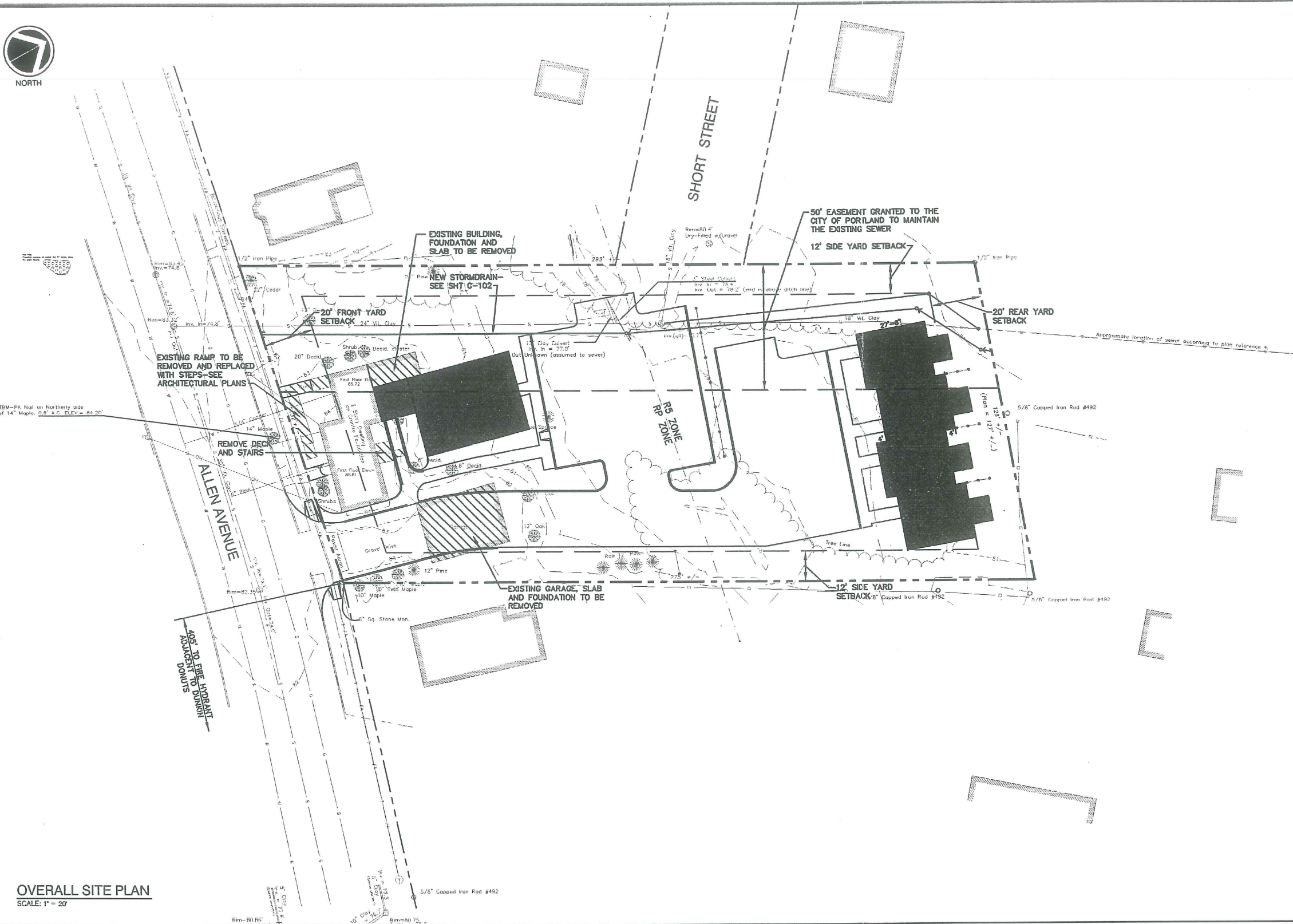
WOOD CLAPBOARDS

WOOD CLAPBOARDS

MDO PLYWOOD



NORTH



OVERALL SITE PLAN
SCALE: 1" = 20'

ZONING STANDARDS

RP_ZONE

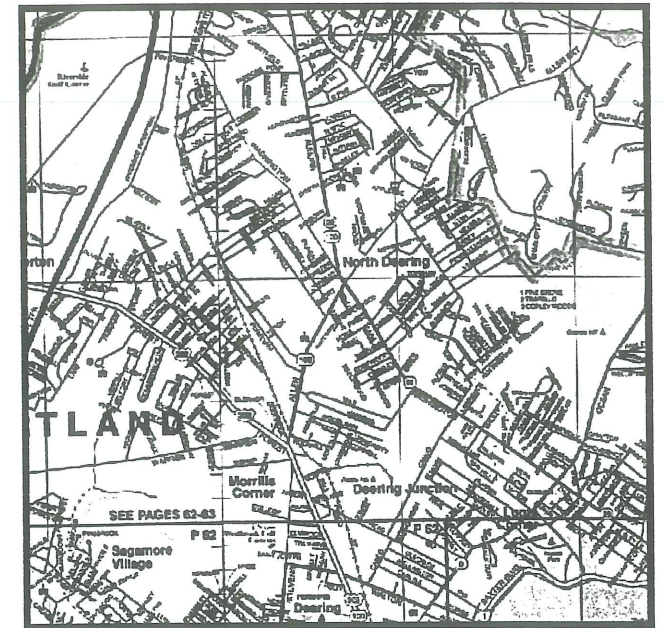
MINIMUM LOT SIZE: 6,000 S.F.
 MINIMUM STREET FRONTAGE: 60'
 MINIMUM YARD DIMENSIONS:
 FRONT YARD SETBACK: 20'
 REAR YARD SETBACK: 20'
 SIDE YARD SETBACK: 10' (ONE STORY)
 12' (TWO STORIES)
 14' (THREE OR MORE STORIES)
 MINIMUM LOT WIDTH: 60'
 MAXIMUM STRUCTURE HEIGHT: 45'
 MAXIMUM IMPERVIOUS SURFACE: 80%

R5_ZONE

MINIMUM LOT AREA/DWELLING AREA: 6,000 S.F.
 MINIMUM STREET FRONTAGE: 50'
 MINIMUM YARD DIMENSIONS:
 FRONT YARD SETBACK: 20'
 REAR YARD SETBACK: 8' (ONE AND ONE HALF STORIES)
 12' (TWO STORIES)
 14' (TWO AND ONE HALF STORIES)
 MINIMUM LOT WIDTH: 60'
 MAXIMUM STRUCTURE HEIGHT: 35'
 MAXIMUM LOT COVERAGE: 40%

IMPERVIOUS SURFACE RATIO

EXISTING LOT AREA: 35,779 S.F.
 IMPERVIOUS SURFACE AREA: 17,650 S.F.
 IMPERVIOUS SURFACE RATIO: 49.3%



LOCUST PLAN

Att. 19

PROJECT INFORMATION

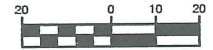
RECORD OWNER/ DEVELOPER:
OPM, INC.
52 BANG'S SHORE ROAD
ORRS ISLAND, ME 04066

ENGINEER:
ENVIRONMENTAL ENGINEERING & REMEDIATION, INC.
222 ST. JOHN STREET SUITE 314
PORTLAND, MAINE 04102
MR. STEPHEN J. BRADSTREET, P.E.

SURVEYOR:
TITCOMB ASSOCIATES
133 GRAY ROAD
FALMOUTH, MAINE 04105
MR. DAVID E. TITCOMB

SCALE

SCALE: HOR 1" = 20'



C	SJB	02/26/02	ISSUED FOR: RESPONSE TO PLANNING STAFF COMMENTS	691_c_c100
B	SJB	01/22/02	ISSUED FOR: PLANNING BOARD APPROVAL	691_b_c100
A	SJB	11/20/01	ISSUED FOR: PLANNING BOARD REVIEW	691_a_c100
REV.	BY	DATE	STATUS	CAD NO.

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OPM, INC.
CYRUS B. ABBOTT SITE DEVELOPMENT

OVERALL SITE PLAN

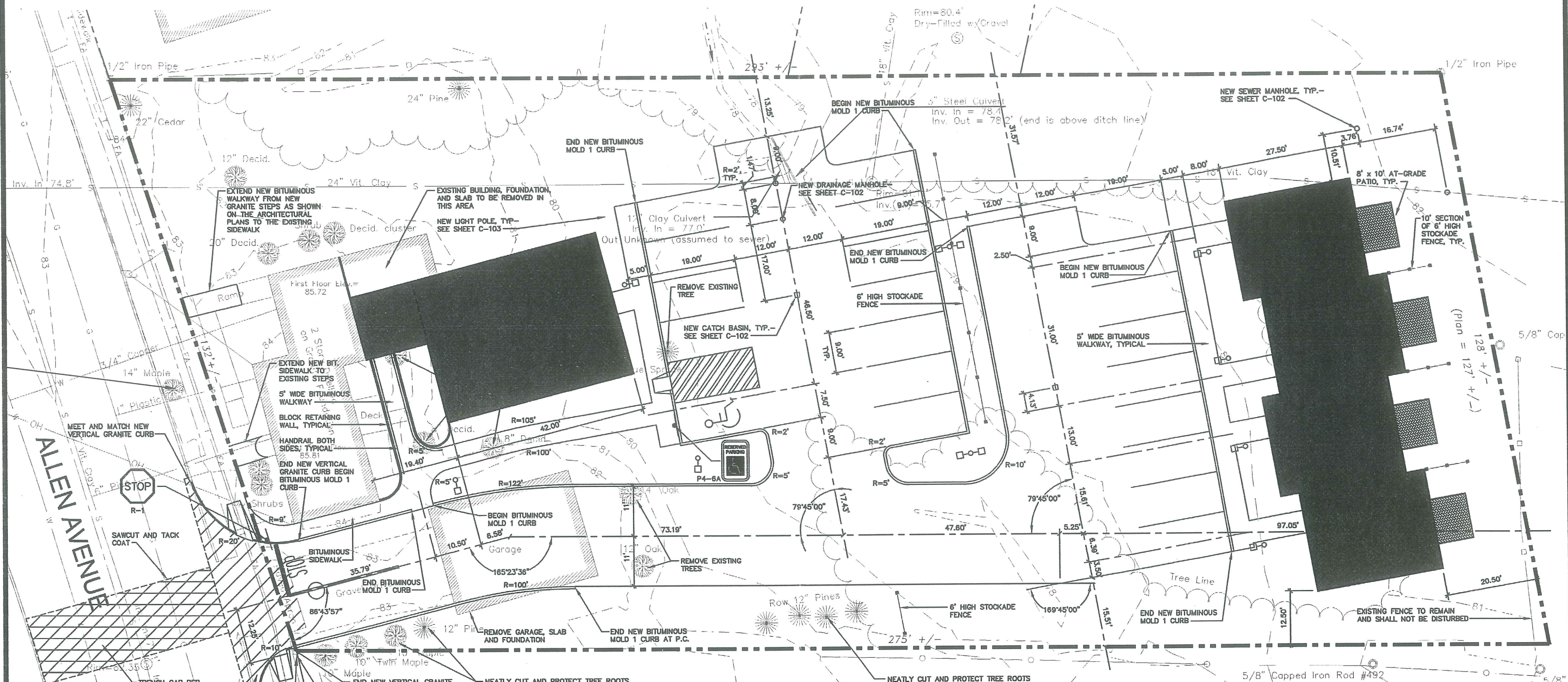
DESIGN BY: SJB
 DRAWN BY: JAR
 CHECKED BY: SJB
 DATE: 11/14/01
 JOB NO: 001
 SCALE: 1" = 20'
 C-100
 SHEET 1 OF 7

EER Environmental Engineering & Remediation, Inc.
 222 St. John Street, Suite 314 Portland, Maine 04102



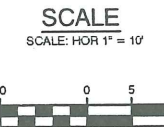
NORTH

19a




NOTES

1. ANY EXISTING GRANITE CURB REMOVED WITHIN THE CITY'S RIGHT OF WAY SHALL REMAIN THE PROPERTY OF THE CITY AND SHALL BE TRANSPORTED TO A CITY DESIGNATED STOCKYARD.
2. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTING THE BUILDINGS WITHIN THE BUILDING ENVELOPE AND CONTACTING THE CODE ENFORCEMENT FOR PERIODIC INSPECTIONS REQUIRED BY THE CODE ENFORCEMENT DEPARTMENT.



REV.	BY	DATE	STATUS	CAD NO.
C	SJB	02/26/02	ISSUED FOR: RESPONSE TO PLANNING STAFF COMMENTS	691_c_c101
B	SJB	01/22/02	ISSUED FOR: PLANNING BOARD APPROVAL	691_b_c101
A	SJB	11/20/01	ISSUED FOR: PLANNING BOARD REVIEW	691_a_c101

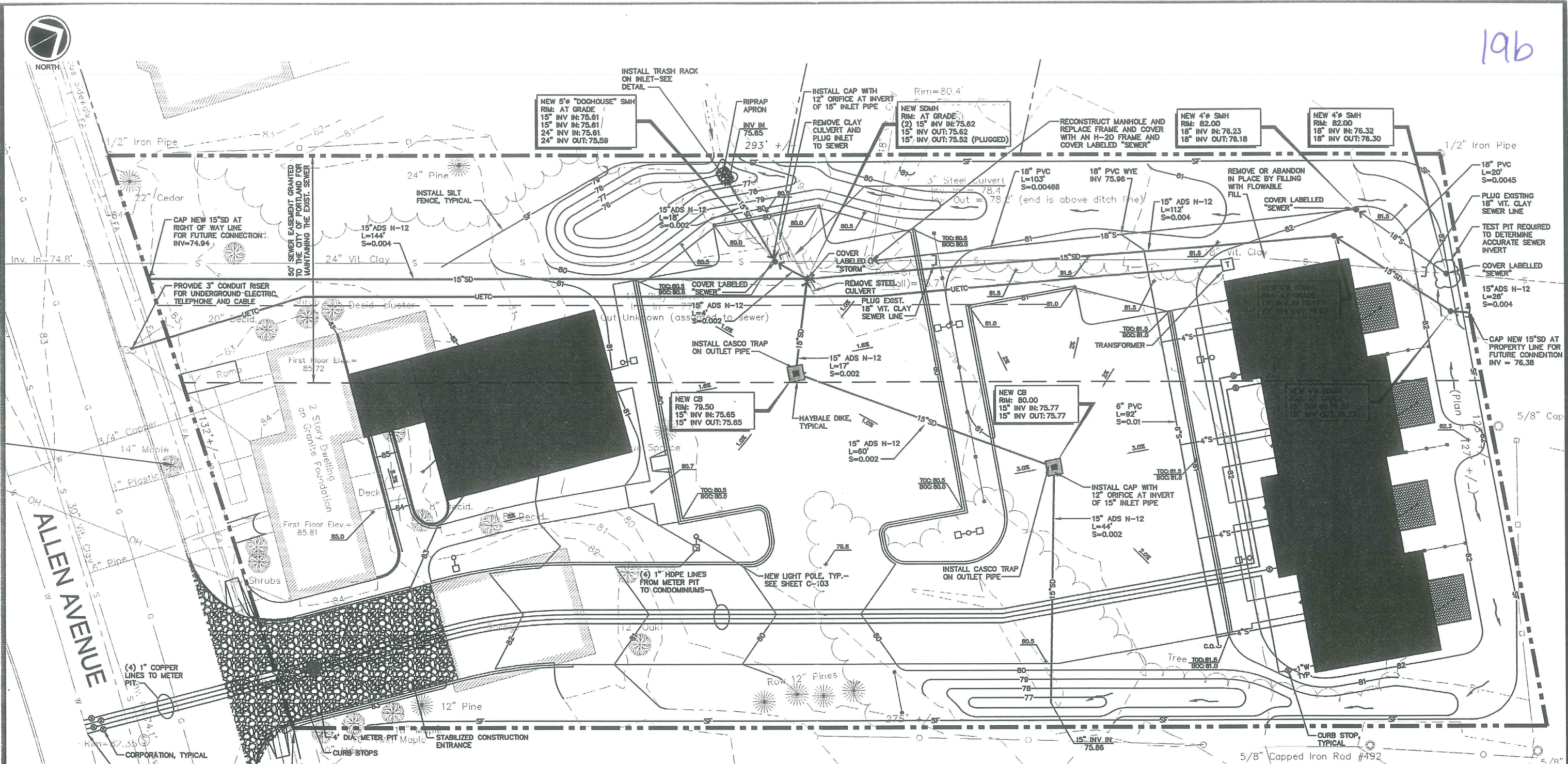
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OPM, INC.
CYRUS B. ABBOTT SITE DEVELOPMENT

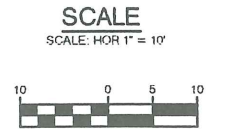
CONSTRUCTION LAYOUT PLAN

EER Environmental Engineering & Remediation, Inc. 222 St. John Street, Suite 314 Portland, Maine 04102	DESIGN BY: SJB DRAWN BY: JAR CHECKED BY: SJB DATE: 11/14/01 JOB NO: 691 SCALE: 1" = 10' C-101 SHEET 2 OF 7
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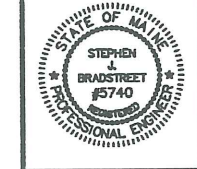
ALLEN AVENUE

NOTE
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR INVESTIGATING AND LOCATING ALL EXISTING SERVICE CONNECTIONS IN THE SECTION OF SANITARY SEWER TO BE RELOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECONNECTING THEM INTO THE NEW SANITARY SEWER.



C	SJB	02/26/02	ISSUED PER: RESPONSE TO PLANNING STAFF COMMENTS	601_c_c102
B	SJB	01/22/02	ISSUED FOR: PLANNING BOARD APPROVAL	601_b_c102
A	SJB	11/20/01	ISSUED FOR: PLANNING BOARD REVIEW	601_a_c102
REV.	BY	DATE	STATUS	CAD NO.

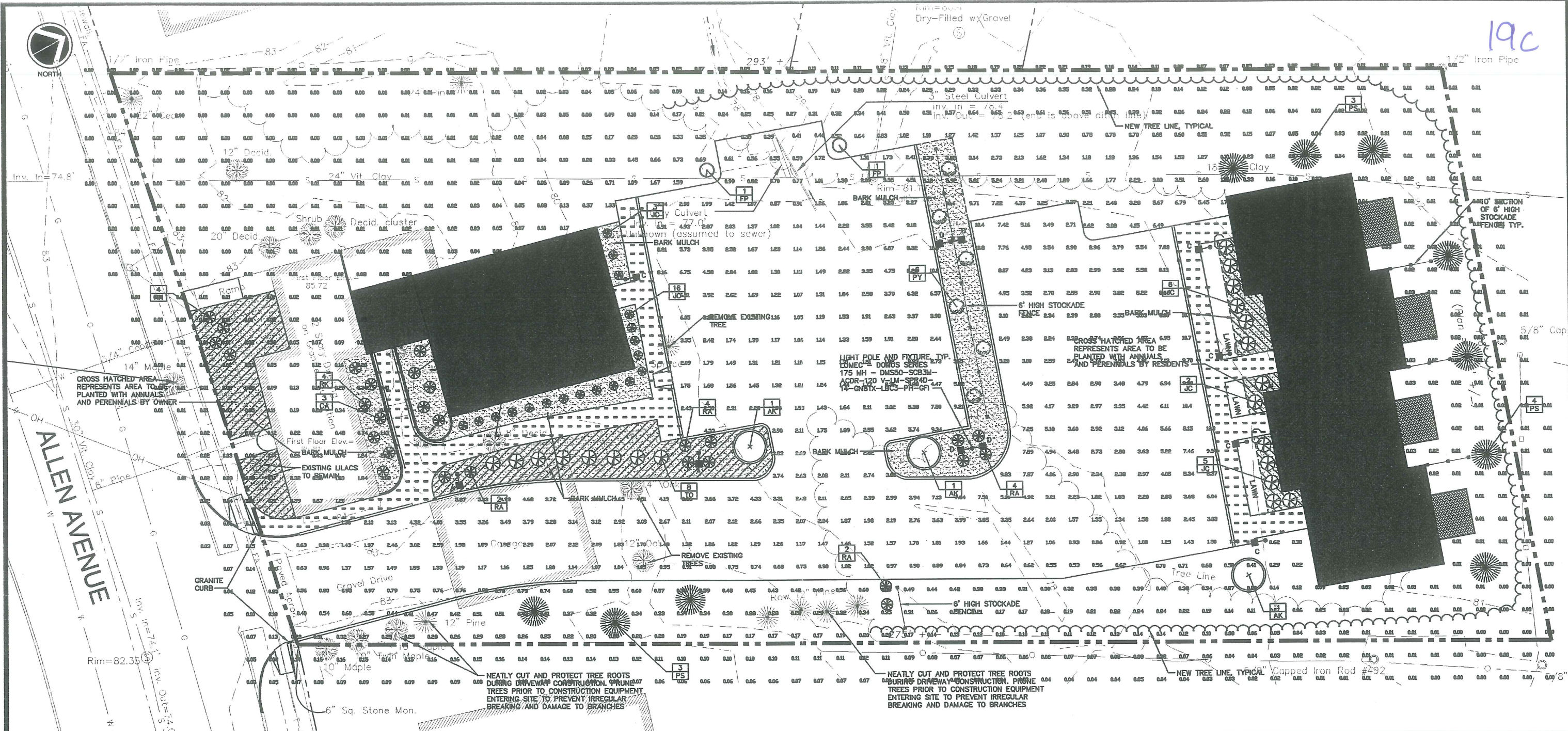
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OPM, INC.
 CYRUS B. ABBOTT SITE DEVELOPMENT
 UTILITY, GRADING, DRAINAGE AND
 EROSION CONTROL PLAN

EER Environmental Engineering & Remediation, Inc. 222 St. John Street, Suite 314 Portland, Maine 04102	DESIGN BY: SJB DRAWN BY: JAR CHECKED BY: SJB DATE: 11/14/01 JOB NO: 001 SCALE: 1" = 10' C-102 SHEET 3 OF 7
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19c



PLANTING NOTES

1. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE POSSIBILITY OF UNDERGROUND UTILITIES. THE LANDSCAPE CONTRACTOR SHALL VERIFY UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
2. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY UTILITIES, WALKS, PAVING, CURBING, ETC., DAMAGED IN THE PERFORMANCE OF THIS JOB AT NO COST TO THE OWNER.
3. PLANTING OF TREES AND SHRUBS SHALL NOT OCCUR UNTIL ALL GRADING AND PAVING IS COMPLETED.
4. ALL PLANTS SHALL HAVE A NORMAL HABIT OF GROWTH FOR THE SPECIES AND SHALL BE SOUND, HEALTHY AND FREE OF DISEASE AND INSECTS. THEY SHALL CONFORM TO THE MEASUREMENTS ON THE PLANT LIST AND SHALL CONFORM TO ANSI Z60.1 - NURSERY STOCK, LATEST REVISION.
5. ALL PLANTS SHALL HAVE ALL NONBIODEGRADABLE MATERIALS (STRING, WIRE, POTS, ETC.) REMOVED AT THE TIME OF PLANTING. CIRCLING ROOTS OR ROOTS THAT WOULD LATER GIRDLING THE PLANT SHALL BE STRAIGHTENED, CUT OR THE ROOT BALL SHALL BE CUT UTILIZING THE "BUTTERFLY METHOD." TOP 1/3 OF WIRE BASKETS AND BURLAP ON TREES SHALL BE CUT AND REMOVED.
6. BACKFILL MIX SHALL BE COMPOSED OF A 80/20, LOAM/PEAT MOSS MIX. PLANTING PITS SHALL BE EXCAVATED TO THREE TIMES THE DIAMETER AND TO THE SAME DEPTH OF THE PLANT ROOT BALL. BACKFILL 1/2 OF THE PIT AT A TIME AND COMPACT. SEE NOTE 7 AND INSTALL SLOW RELEASE FERTILIZER AFTER FIRST BACKFILL LIFT. SETTING THE TREE/SHRUB: EACH TREE/SHRUB SHALL BE PLANTED SUCH THAT THE TRUNK FLARE JUNCTION IS LEVEL WITH OR 1-2" ABOVE EXISTING GRADE. TREES/SHRUBS WHERE THE PLANTING DEPTH IS INCORRECT SHALL BE REJECTED. ALL PLANTING ISLANDS SHALL HAVE 18" OF TOPSOIL INSTALLED, WITH A FINISHED GRADE AT THE TOP OF CURB, PRIOR TO THE INSTALLATION OF PLANT MATERIAL.
7. ALL PLANTINGS SHALL HAVE SLOW RELEASE FERTILIZER TABLETS INSTALLED. TABLETS SHALL BE AGRIFORM 21 GRAM 20-10-5 PLANTING TABLETS OR AN APPROVED EQUAL. APPLICATION RATE: PERENNIALS-1 TABLET/PLANT, WOODY SHRUBS TO 3'-0"-2 TABLETS/PLANT, SHRUBS AND TREES 3'-0" TO 6'-0"-3 TABLETS/PLANT AND TREES 6'-0" AND ABOVE-4 TABLETS/PLANT. AFTER PLANTS ARE INSTALLED, LIQUID FEED ALL PLANTS WITH ROOTS OR AN APPROVED EQUAL MIX MIX ACCORDING TO MANUFACTURER'S INSTRUCTIONS. APPLICATION RATE: PERENNIALS-2 QT'S/PLANT, WOODY SHRUBS TO 4'-0"-1.5 GAL./PLANT, TREES AND SHRUBS 4'-0" TO 10'-0"-3.0 GAL./PLANT AND TREES 10' AND ABOVE-4.0 GAL./PLANT.
8. TREES WILL NOT BE STAKED UNLESS IN THE OPINION OF THE LANDSCAPE CONTRACTOR THAT IT IS REQUIRED. IN THOSE CASES THE PARTICULAR TREES SHOULD BE REPORTED TO THE OWNER FOR THEIR APPROVAL. IN NO CASES SHALL A TREE BE STAKED BECAUSE THE ROOT BALL CRUMPLED. IN THOSE CASES THE TREE SHALL BE REMOVED AND REPLACED WITH A TREE OF THE SAME SPECIES AND SIZE WITH A SOLID AND INTACT ROOT BALL. IF STAKES ARE USED, THEY SHALL BE REMOVED BY THE CONTRACTOR AFTER ONE YEAR.
9. MULCH TO BE INSTALLED TO A DEPTH OF 3" AFTER NORMAL SETTLING. MULCH SHALL BE MEDIUM SHREDDED HEMLOCK BARK. DO NOT PLACE MULCH IN CONTACT WITH THE TREE OR SHRUB TRUNK. ALL SHRUB BEDS AND ISLANDS SHALL BE MULCHED. IN SHRUB BEDS THE EXTENT OF MULCH WILL BE 3" FROM THE CENTER OF THE PLANT TO THE EDGE OF THE BED.
10. ALL PLANTS SHALL BE ORIENTED FOR BEST APPEARANCE. PLANT SPECIES SUBSTITUTIONS WILL NOT BE ALLOWED UNLESS APPROVED BY THE OWNER.
11. ALL PLANTS SHALL BE GUARANTEED FOR ONE GROWING SEASON (ONE YEAR FROM DATE OF ACCEPTANCE). ANY PLANTS THAT DIE DURING THE GUARANTEE, SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE OWNER.

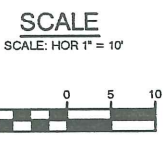
12. ALL AREAS NOT IDENTIFIED WITH OTHER SURFACE TREATMENTS SHALL BE LAWN. THE LAWN ARE SHALL BE SEEDED WITH (LOFTS TRI-FLUX GENERAL OR APPROVED EQUAL) AND STRAW MULCHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAWN MAINTENANCE. MAINTENANCE SHALL COMMENCE AT THE TIME OF PLANTING AND LAST UNTIL A GOOD FULL CATCH OR GRASS IS ESTABLISHED.
13. IF QUANTITIES OF PLANTS LISTED IN THE PLANT SPECIES LIST DO NOT CORRELATE WITH THE PLANTINGS INDICATED ON THE PLAN, THE QUANTITIES ON THE PLAN SHALL GOVERN.

PLANTING SCHEDULE

SYM. QTY.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
AK 3	ACER RUBRUM "KARPOK"	KARPOK RED MAPLE	2.5"-3" CAL.	B&B
CA 5	CLETHRA ALNIFOLIA "HUMMINGBIRD"	HUMMINGBIRD SUMMERSWEET	18"-24"	4' O.C.
JC 32	J. CHN. VAR. SARGENTII GLAUCA	BLUE SARGENT	2'-2.5' HT.	B&B, 4' O.C.
RA 12	R. "AGLO"	AOLO RHODODENDRON	16"-18" HT.	4' O.C.
RK 11	R. KURUME HYBRID "HERSEY'S RED"	HERSEY'S RED AZALEA	16"-18" HT.	4' O.C.
TO 8	T. OCC. "SMARGARD"	EMERALD GREEN	3'-4' HT.	B&B, 4' O.C.
PY 6	PYRUS CALLERYANA "ARISTOCRAT"	ARISTOCRAT ORNAMENTAL PEAR	2.5"-3" CAL.	B&B
PS 10	PINUS STROBUS	WHITE PINE	5'-6" HT.	B&B
FP 2	FRAXINUS PENNSYLVANICA "SUMMIT"	SUMMIT ASH	2.5"-3" CAL.	B&B

LIGHTING SCHEDULE

SYM.	DESCRIPTION
A	LIGHT POLE AND FIXTURE LUMEC DOMUS SERIES 175 MH-DMS-SG3 ACOR-120 V-LM-SPR4D 14 GN8TX-LBC3-PH-GFI
C	LIGHT POLE AND FIXTURE LUMEC DOMUS SERIES 175 MH-DMS-SGFM ACOR-120 V-LM-SPR4D 14 GN8TX-LBC3-PH-GFI
D	LIGHT POLE AND FIXTURE LUMEC DOMUS SERIES 2X 175 MH-DMS-SGFM ACOR-120 V-LM-SPR4D 14 GN8TX-LBC3-PH-GFI



REV.	BY	DATE	STATUS	CAD NO.
C	SJB	02/26/02	ISSUED PER: RESPONSE TO PLANNING STAFF COMMENTS	691_c_c103
B	SJB	01/22/02	ISSUED FOR: PLANNING BOARD APPROVAL	691_b_c103
A	SJB	11/20/01	ISSUED FOR: PLANNING BOARD REVIEW	691_a_c103

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STATE OF MAINE
STEPHEN J. BRADSTREET
#5740
PROFESSIONAL ENGINEER

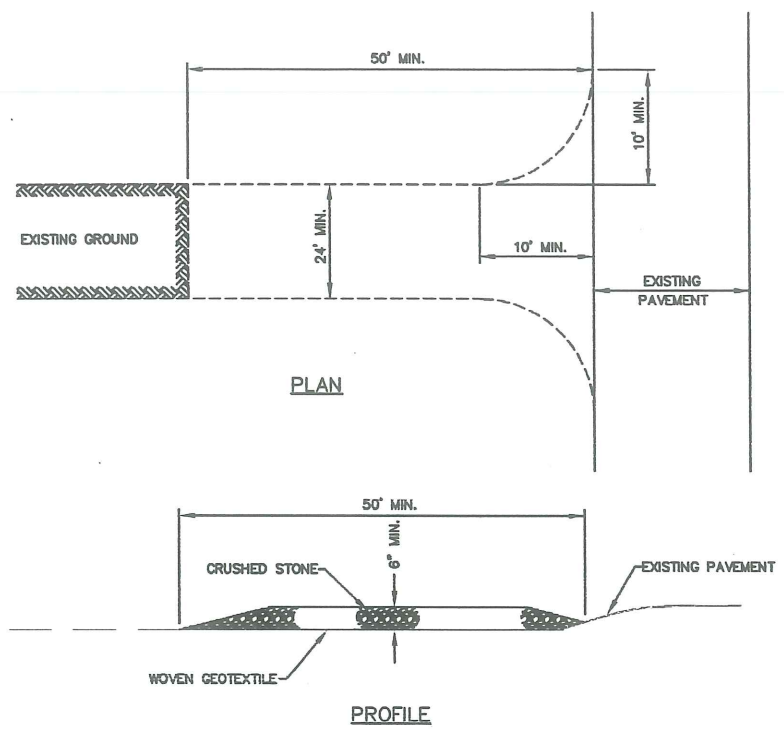
OPM, INC.
CYRUS B. ABBOTT SITE DEVELOPMENT

SITE LANDSCAPING AND LIGHTING PLAN

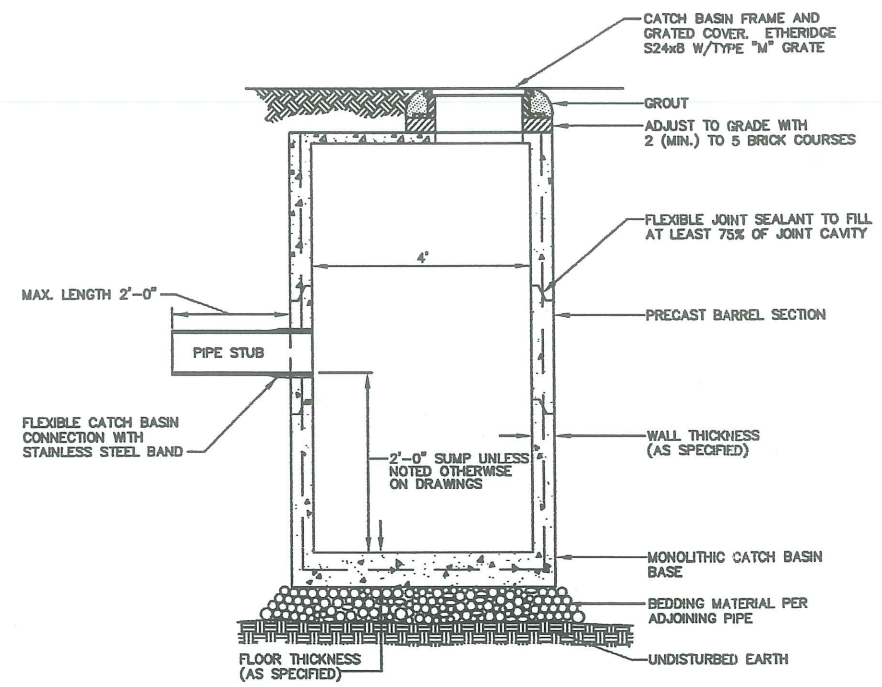
EER Environmental Engineering & Remediation, Inc.
222 St. John Street, Suite 314 Portland, Maine 04102

DESIGN BY: SJB
DRAWN BY: JAR
CHECKED BY: SJB
DATE: 11/14/01
JOB NO: 691
SCALE: 1" = 10'
C-103
SHEET 4 OF 7

19d

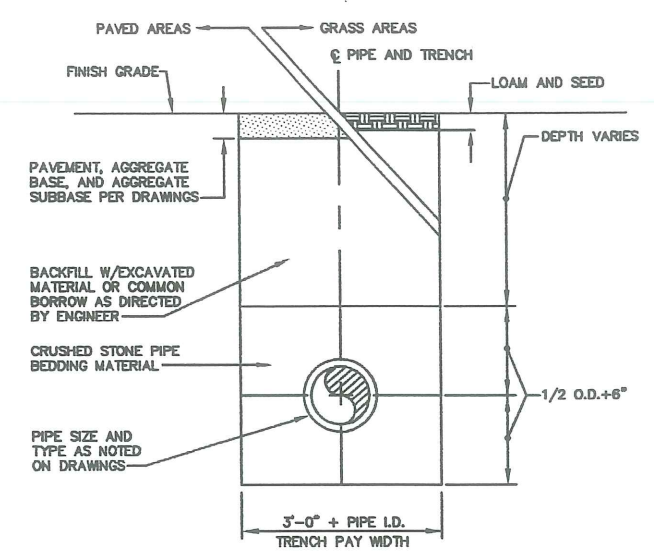


STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

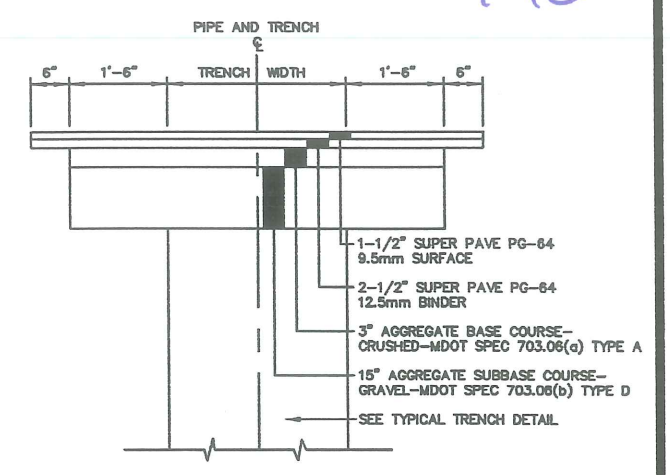


I.D.	WALL WIDTH	FLOOR THICKNESS
4'-0"	5"	6"
5'-0"	6"	6"
6'-0"	7"	6"
8'-0"	8"	6"
10'-0"	10"	9"

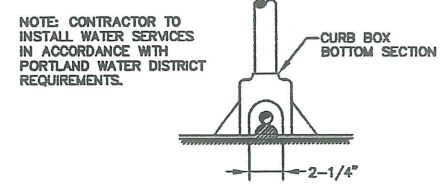
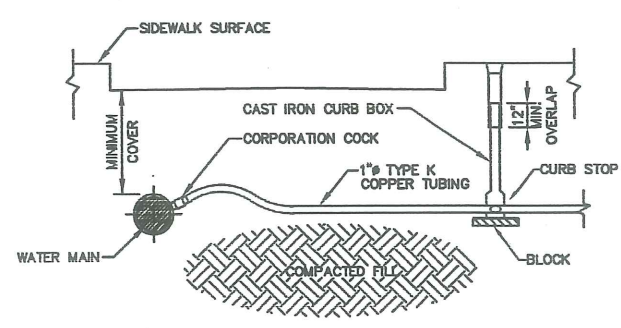
PRECAST CONCRETE CATCH BASIN/MANHOLE
NOT TO SCALE



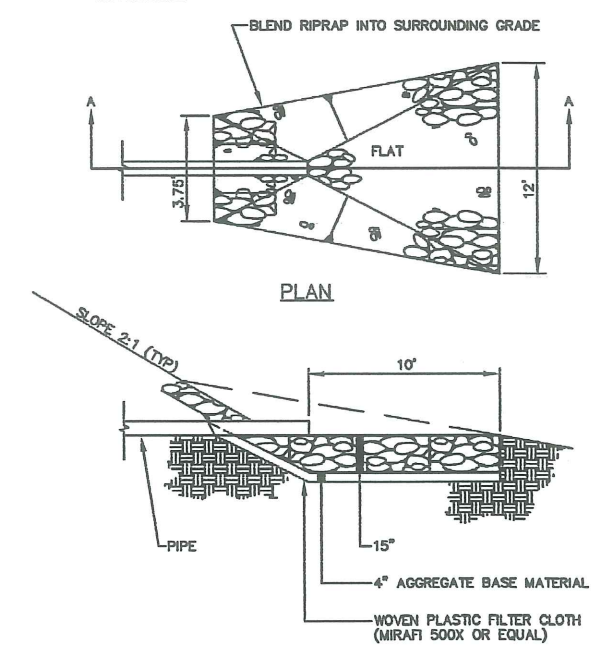
TYPICAL TRENCH DETAIL
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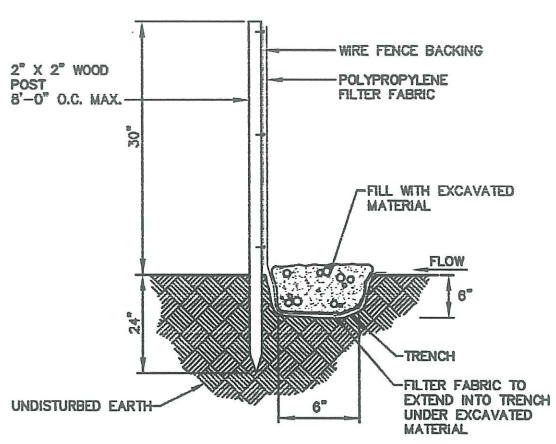
TYPICAL TRENCH PAVING DETAIL
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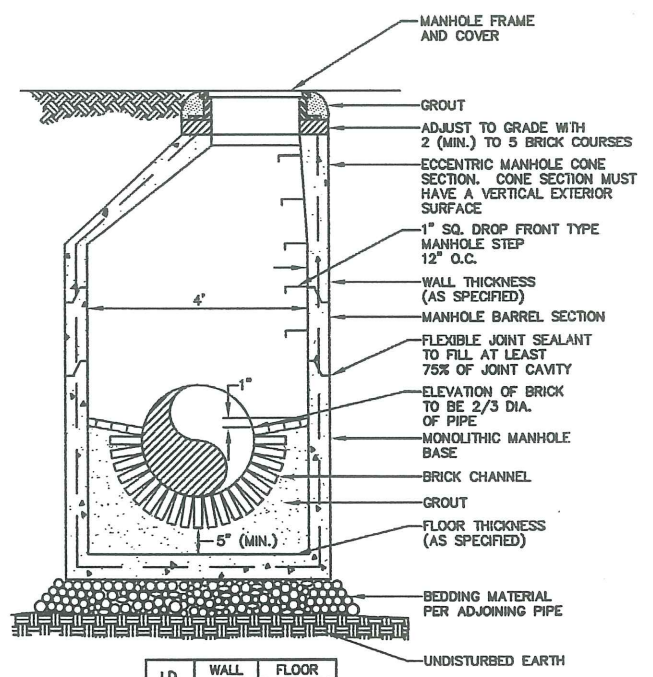
TYPICAL COPPER HOUSE SERVICE DETAIL
NOT TO SCALE



**SECTION A-A
RIPRAP APRON DETAIL**
NOT TO SCALE

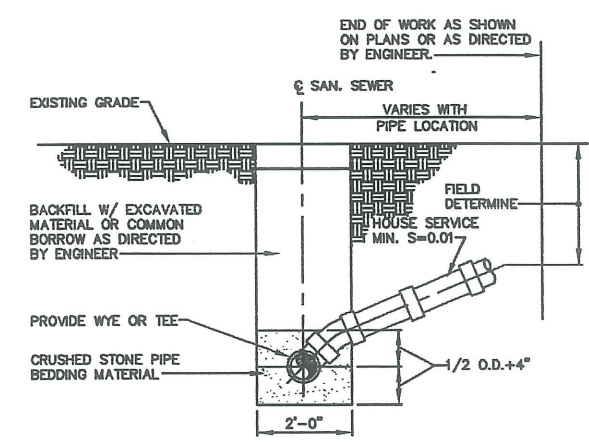


EROSION CONTROL FENCE DETAIL
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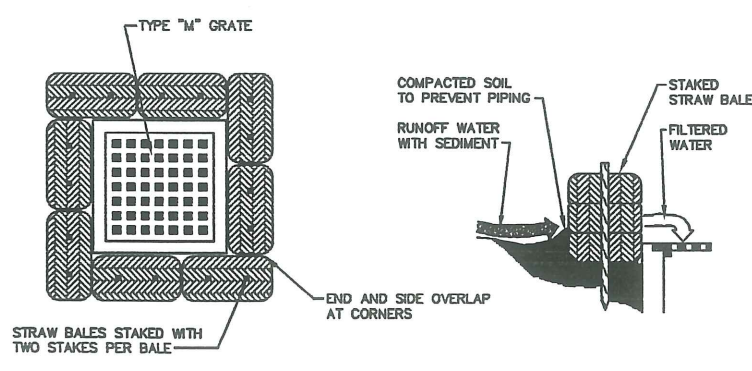
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5'-0"	6"	6"
6'-0"	7"	6"
8'-0"	8"	6"
10'-0"	10"	9"

PRECAST CONCRETE MANHOLE
NOT TO SCALE



NOTE: WHERE TRENCHES FOR HOUSE CONNECTIONS EXTEND INTO STREET, SEE TYPICAL TRENCH DETAIL FOR DETAILS.

TYPICAL TRENCH SECTION BUILDING CONSTRUCTION
NOT TO SCALE



HAYBALE DIKE DETAIL
NOT TO SCALE

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STEPHEN J. BRADSTREET
#5740
PROFESSIONAL ENGINEER

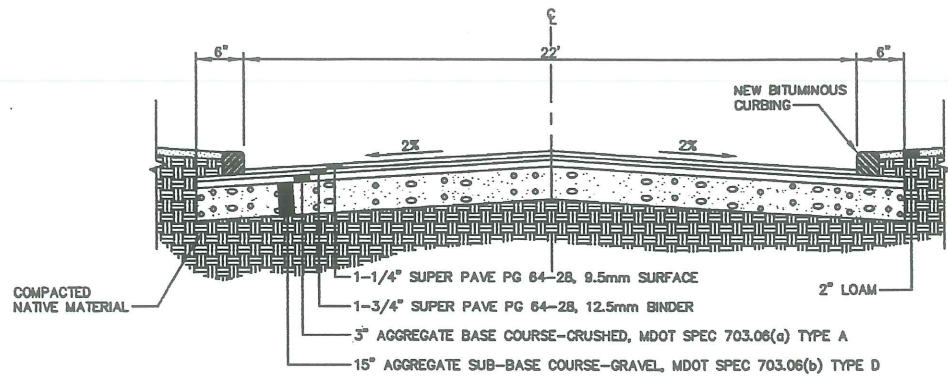
OPM, INC.
CYRUS B. ABBOTT SITE DEVELOPMENT

**CONSTRUCTION
DETAILS**

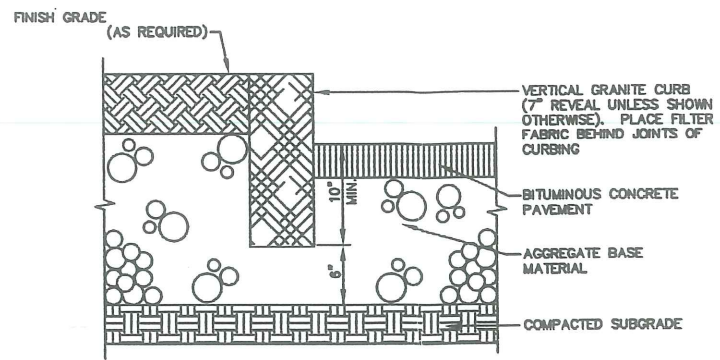
DESIGN BY: SJB
DRAWN BY: JWR
CHECKED BY: SJB
DATE: 11/14/01
JOB NO: 691
SCALE: AS NOTED
C-104
SHEET 5 OF 7

222 St. John Street, Suite F14 Portland, Maine 04102

19e



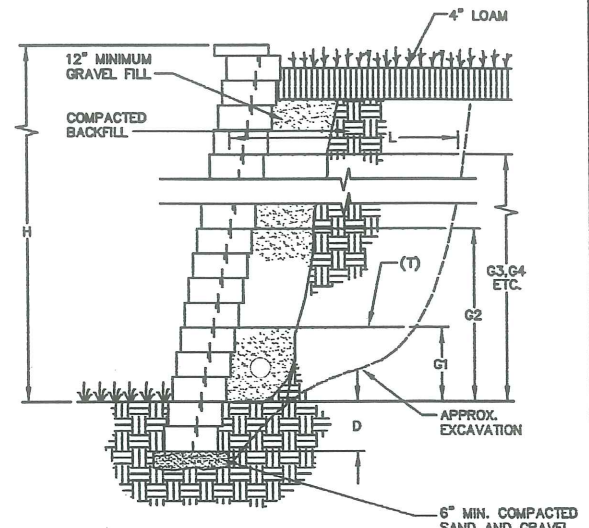
TYPICAL ROADWAY SECTION
NOT TO SCALE



VERTICAL GRANITE CURBING
NOT TO SCALE

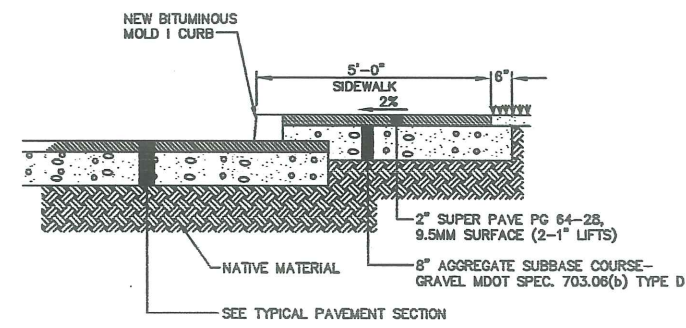
- VARIABLES:
 H - WALL HEIGHT ABOVE GRADE
 D - DEPTH BASE UNIT BELOW GRADE
 G# - DISTANCE OF GRID LAYER# ABOVE GRADE
 L - GRID LENGTH

- GENERAL NOTES:
 1. FACTOR OF SAFETY FOR SLIDING: 1.5
 2. FACTOR OF SAFETY FOR OVERTURNING: 2.0
 3. UNIT WEIGHT SOIL: 125 PCF
 4. GEOGRID DESIGN BASED ON TENSAR SYSTEM.
 5. GLOBAL STABILITY HAS NOT BEEN CHECKED.
 6. ALLOWABLE BEARING PRESSURE: 3,000 PSF
 7. DIMENSIONS SHOWN IN CHART ARE IN FEET.
 8. DESIGN OF WALL SHALL BE PROVIDED BY THE MANUFACTURER.

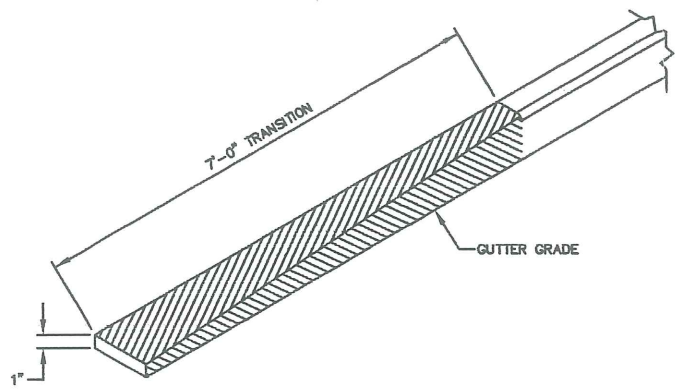


DESIGN CHART		SANDS/GRAVEL $\phi = 34'$							
H	D	GRID TYPE	GRID LENGTH	GRID LOCATION					
				G1	G2	G3	G4	G5	
2	.5								
3	.5	SS2	2.6	1.5					
4	.5	SS2	3.5	1.0	2.5				
5	1.0	SR1	4.1	1.0	3.0				
6	1.0	SR1	5.1	1.0	2.5	4.5			
7	1.0	SR1	6.0	1.0	3.0	5.0			
8	1.0	SR1	6.5	1.0	3.0	5.0	7.0		

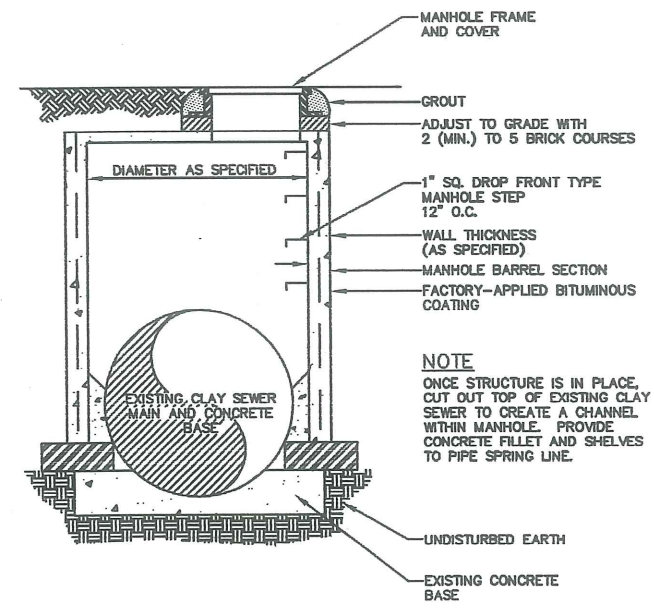
CONCRETE BLOCK RETAINING WALL
NOT TO SCALE



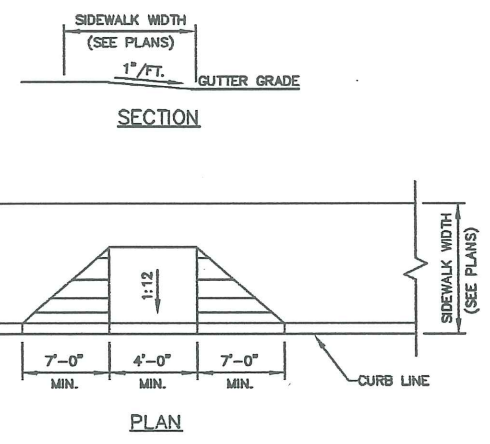
TYPICAL SIDEWALK SECTION
NOT TO SCALE



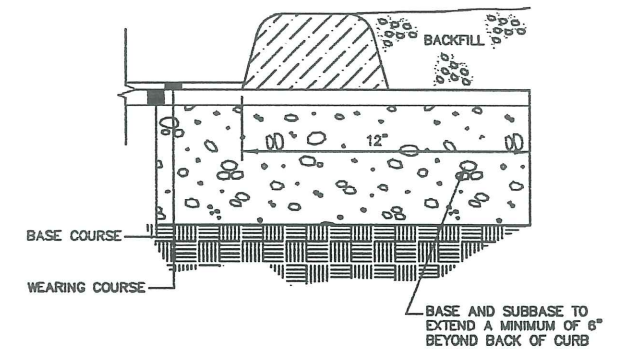
BITUMINOUS TRANSITION CURB
NOT TO SCALE



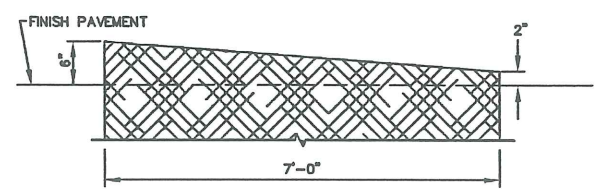
DOGHOUSE SANITARY MANHOLE
NOT TO SCALE



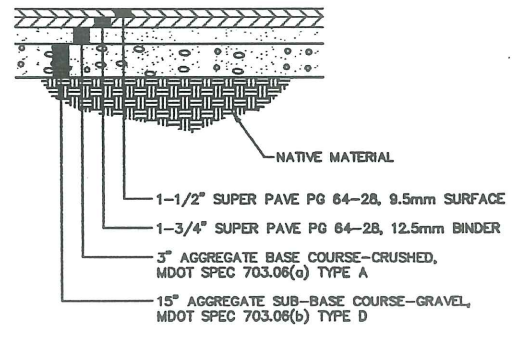
SIDEWALK RAMP
NOT TO SCALE



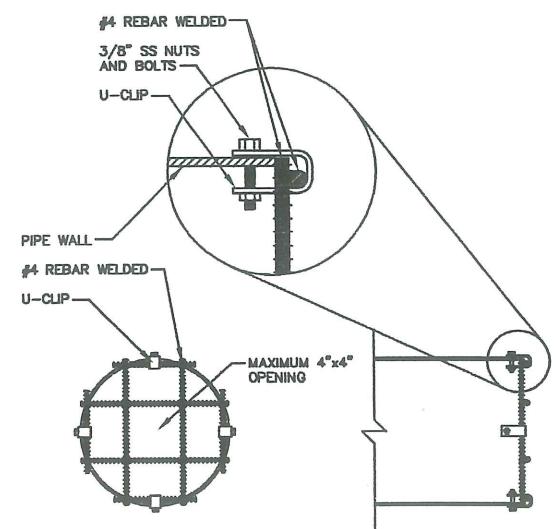
BITUMINOUS CURB-MOLD 1
NOT TO SCALE



TYPICAL TIPDOWN CURB INSTALLATION
NOT TO SCALE



TYPICAL PAVEMENT SECTION
NOT TO SCALE

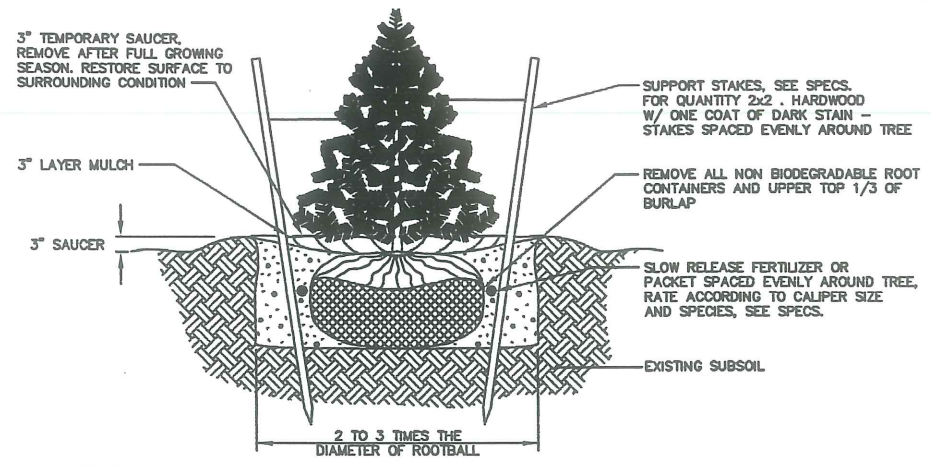


INLET TRASH RACK
NOT TO SCALE

C	SJB	02/28/02	ISSUED PER: RESPONSE TO PLANNING STAFF COMMENTS	691_c_c105
B	SJB	01/22/02	ISSUED FOR: PLANNING BOARD APPROVAL	691_b_c105
A	SJB	11/20/01	ISSUED FOR: PLANNING BOARD REVIEW	691_a_c105
REV.	BY	DATE	STATUS	CAD NO.

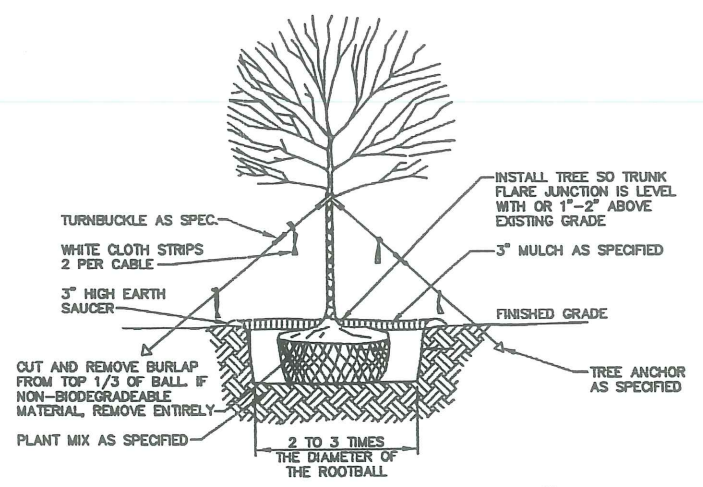
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	OPM, INC. CYRUS B. ABBOTT SITE DEVELOPMENT	
	CONSTRUCTION DETAILS	
	DESIGN BY: SJB	DRAWN BY: JAR
	CHECKED BY: SJB	DATE: 11/14/01
	JOB NO: 691	SCALE: AS NOTED
	C-105	SHEET 6 OF 7



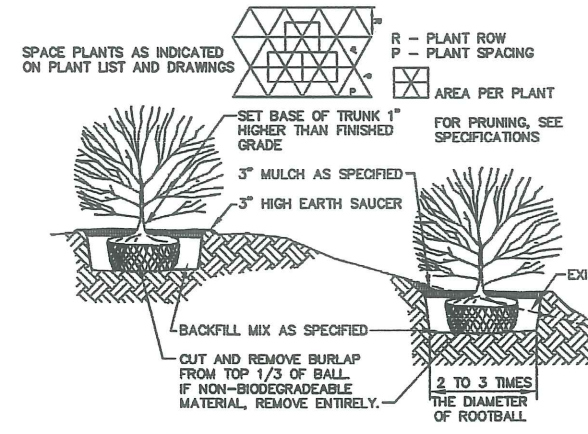
- NOTES:**
1. NEVER CUT OUT CENTRAL LEADER, PRUNE OUT BROKEN, DEAD, OR CONFLICTING BRANCHES
 2. SEE SPECS. FOR ADDITIONAL REQUIREMENTS
 3. TREE GUYS SHALL BE GUYING CHAIN OR WEB STRAPPING.
 4. INSTALL TREE SO TRUNK FLARE JUNCTION IS LEVEL WITH OR 1"-2" ABOVE EXISTING GRADE.
 5. WATER AT TIME OF PLANTING—SEE NOTES AND SPECS.

EVERGREEN TREE PLANTING & STAKING DETAIL
NOT TO SCALE



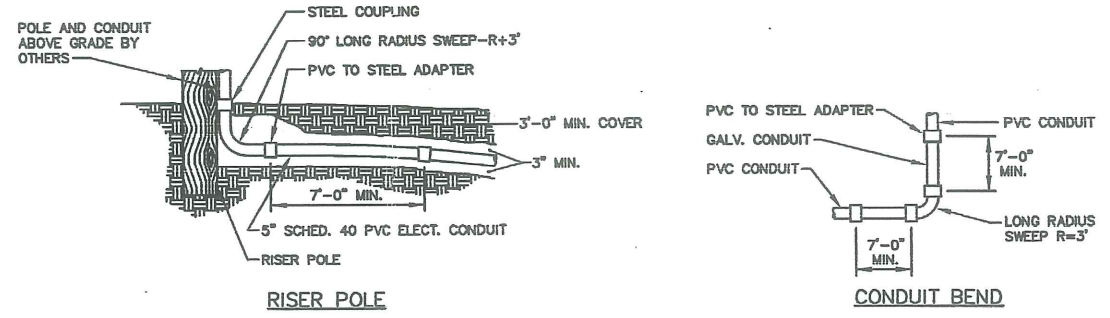
- NOTES:**
1. ON TREES LESS THAN 4" CA. USE WOOD STAKES.
 2. ON TREES 3" CA. OR GREATER USE GUYING CABLES (3) EVENLY SPACED.
 3. FOR PRUNING, SEE SPECIFICATIONS.
 4. NEVER CUT OUT CENTRAL LEADER, PRUNE OUT BROKEN, DEAD, OR CONFLICTING BRANCHES
 5. SEE SPECS. FOR ADDITIONAL REQUIREMENTS
 6. WATER AT TIME OF PLANTING—SEE NOTES AND SPECS.

TYPICAL TREE PLANTING DETAIL
NOT TO SCALE

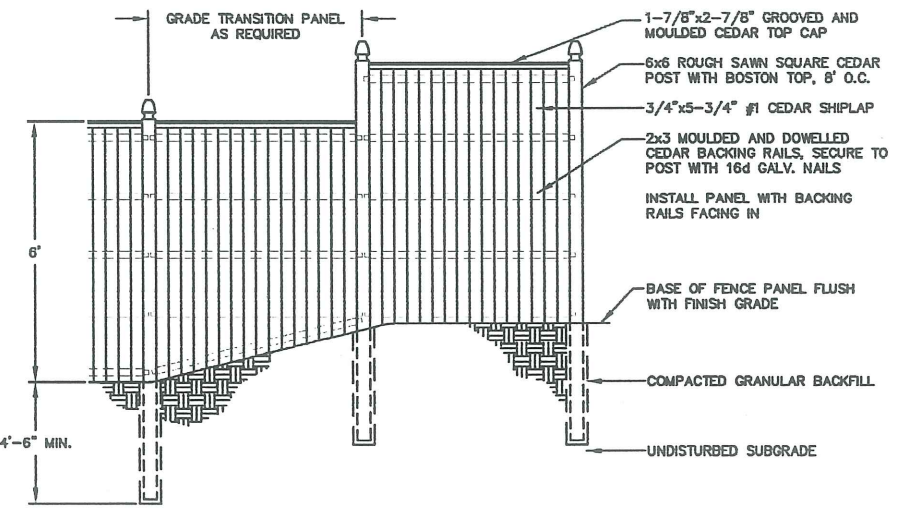


- NOTES:**
1. SEE SPECS. FOR ADDITIONAL REQUIREMENTS
 2. INSTALL SHRUB SO TRUNK ROOT JUNCTION IS LEVEL WITH OR 1"-2" ABOVE EXISTING GRADE.

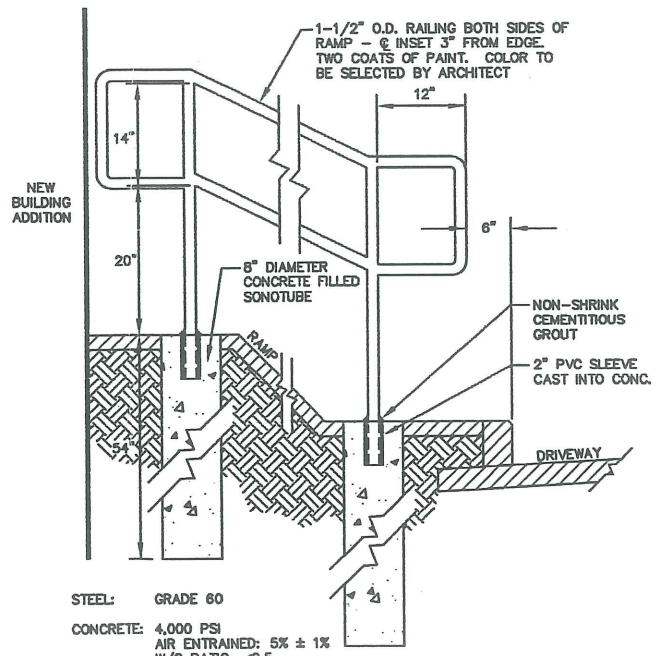
TYPICAL SHRUB PLANTING DETAIL
NOT TO SCALE



CONDUIT BEND AND RISER POLE DETAIL
NOT TO SCALE



STOCKADE FENCE DETAIL
NOT TO SCALE



STEEL: GRADE 60
CONCRETE: 4,000 PSI
AIR ENTRAINED: 5% ± 1%
W/C RATIO: <math>< .5</math>
SLUMP: <math>< 4</math>
MAX STONE: 3/4"

RAILING DETAIL
SCALE 1" = 1'-0"

EROSION CONTROL NOTES

1. APPLICATION OF TEMPORARY AND PERMANENT EROSION CONTROL MEASURES FOR THE PROJECT SHALL BE IN ACCORDANCE WITH PROCEDURES AND SPECIFICATIONS OF THE "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES," MARCH 1991 (BMP HANDBOOK).
2. SILTATION FENCE SHALL BE INSTALLED BEFORE GRUBBING OR EARTH MOVING OPERATIONS.
3. PERMANENT SEEDING SHALL BE APPLIED WITHIN 15 DAYS OF FINAL GRADING FROM APRIL 15 TO SEPTEMBER 1.
4. PERMANENT SEEDING SHALL BE:

	LBS/1,000 S.F.
BIRDSFOOT TREFLOIL	.18
CROWNVECH	.34
CREeping RED FESCUE OR TALL FESCUE	.46
5. TEMPORARY SEEDING SHALL BE APPLIED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL IF PERMANENT SEEDING IS NOT APPLIED. TEMPORARY SEEDING SHALL BE:

SEED	LB/1,000 SQ. FT.	SEEDING DEPTH	RECOMMENDED SEEDING DATES
WINTER RYE	2.6	1-1.5"	8/15-10/1
OATS	1.8	1-1.5"	4/1-7/1 8/15-9/15
ANNUAL RYEGRASS	0.9	.25"	4/1-7/1
SUDANGRASS	0.9	.5-1"	5/15-8/15
PERENNIAL	0.9	.25"	8/15-9/15
6. FERTILIZER SHALL BE 10-20-20 GRANULAR GAREN FERTILIZER AND APPLIED AT 18.4 LBS/1,000 S.F.
7. LIMESTONE SHALL BE GROUND WITH 50% CALCIUM PLUS MAGNESIUM OXIDE AND APPLIED AT 138 LBS/1,000 S.F.
8. MULCH SHALL BE HAY OR STRAW APPLIED AT 70-90 LBS/1,000 S.F.
9. WINTER MULCH SHALL BE APPLIED BETWEEN OCTOBER 1 AND APRIL 1 AND SHALL BE HAY OR STRAW APPLIED AT 300 LBS/1,000 S.F.
10. ALL EROSION CONTROL MEASURES, SEEDING AND MULCHING SHALL BE INSPECTED WEEKLY AFTER RAINSTORMS AND DURING RUNOFF EVENTS. ALL MEASURES SHALL BE REPAIRED OR REPLACED WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DAMAGE.
11. SEEDED AND MULCHED AREAS SHALL BE MAINTAINED UNTIL FINAL ACCEPTANCE OF THE WORK. SEED CATCH SHALL BE ACCEPTABLE WHEN 75 PERCENT CATCH IS ESTABLISHED. MAINTENANCE SHALL CONSIST OF PROVIDING PROTECTION AGAINST TRAFFIC AND REPAIRING ANY AREAS TO RE-ESTABLISHED THE CONDITION AND GRADE OF THE SOIL PRIOR TO SEEDING AND SHALL THEN BE REFERTILIZED, RESEEDED AND REMULCHED.
12. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED UPON COMPLETION OF GRADING OPERATIONS AND ESTABLISHMENT OF A 75 PERCENT CATCH OF GRASS.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL MEASURES DURING CONSTRUCTION.
14. EROSION CONTROL INSPECTION SHALL BE PERFORMED BY: ENVIRONMENTAL ENGINEERING AND REMEDIATION, INC. STEPHEN J. BRADSTREET, P.E. 222 ST. JOHN STREET SUITE 314 (207) 828-1272
15. EROSION CONTROL AND CONSTRUCTION SEQUENCE:
 - a) INSTALL ALL TEMPORARY EROSION CONTROL AS SHOWN ON THE PLAN SHEET IN ACCORDANCE WITH THE DETAILS AND BMP'S.
 - b) CONSTRUCT THE DRIVE AND PARKING LOTS. IMMEDIATELY UPON INSTALLATION OF STORMDRAINS CONSTRUCT RIPRAP INLET PROTECTION.
 - c) REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE IMPROVEMENTS ARE COMPLETE AND THERE IS 75 PERCENT CATCH OF GRASS.
 - d) INSTALL PERMANENT EROSION CONTROL MEASURES.
16. CONSTRUCTION SCHEDULE

REMOVE EXISTING GARAGE	FEBRUARY TO JUNE 2002
EXISTING HOME RENOVATIONS	FEBRUARY TO JUNE 2002
PROPOSED BUILDING ADDITION	MARCH TO JUNE 2002
SITE CONSTRUCTION	MARCH TO AUGUST 2002
RESIDENTIAL APARTMENT CONSTRUCTION	MARCH TO AUGUST 2002

REV.	BY	DATE	STATUS	CAD NO.
C	SJB	02/26/02	ISSUED FOR: RESPONSE TO PLANNING STAFF COMMENTS	691_c_c106
B	SJB	01/22/02	ISSUED FOR: PLANNING BOARD APPROVAL	691_b_c106
A	SJB	11/20/01	ISSUED FOR: PLANNING BOARD REVIEW	691_a_c106

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STEPHEN J. BRADSTREET
#5740
PROFESSIONAL ENGINEER

OPM, INC.
CYRUS B. ABBOTT SITE DEVELOPMENT

CONSTRUCTION DETAILS

EER Environmental Engineering & Remediation, Inc. 222 St. John Street, Suite 314 Portland, Maine 04102	DESIGN BY: SJB DRAWN BY: JAR CHECKED BY: SJB DATE: 11/14/01 JOB NO: 691 SCALE: AS NOTED C-106 SHEET 7 OF 7
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Att. 13





13B



13C



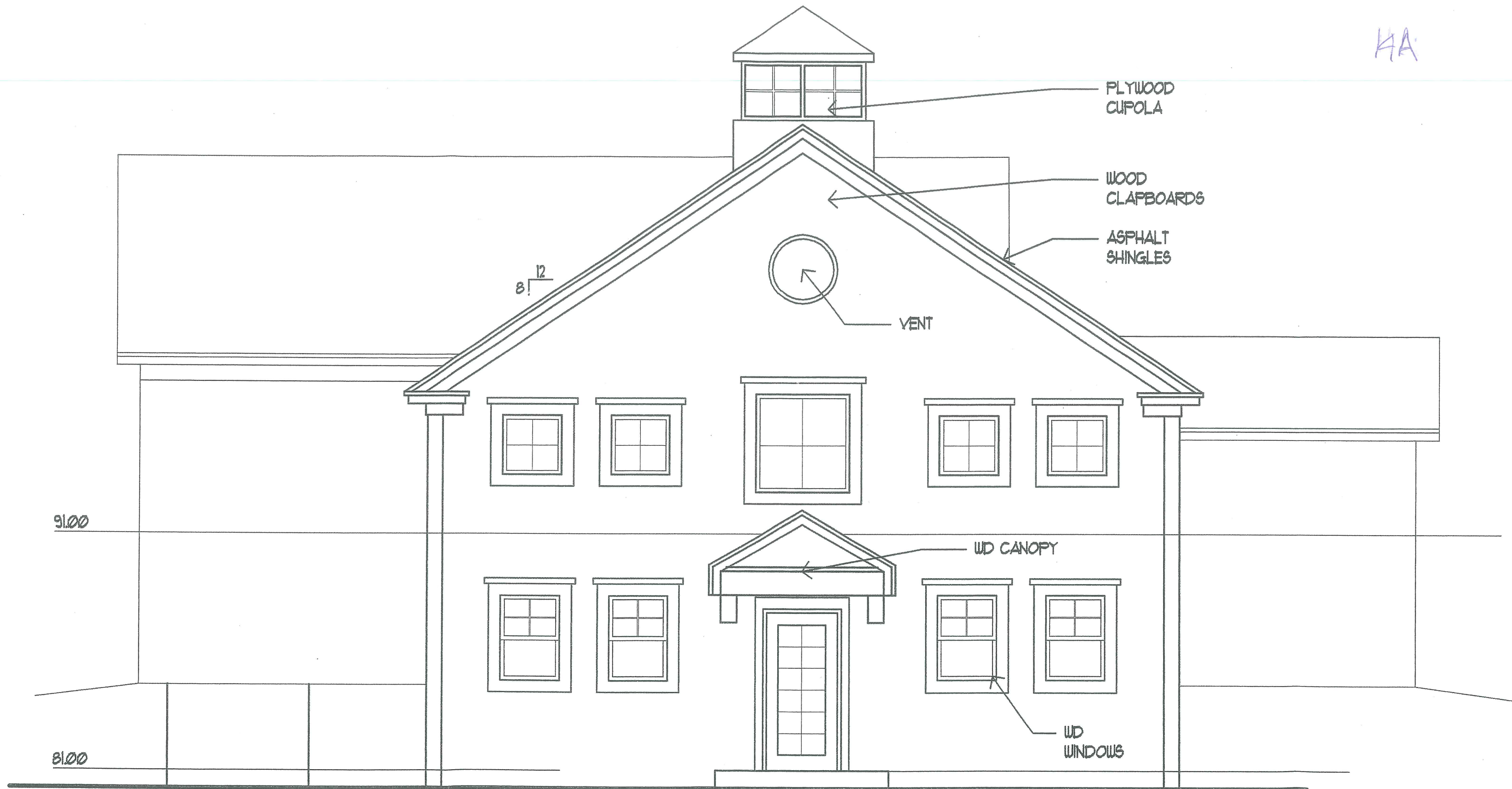


FRONTELEVATION

0 4'

SCALE: 1/4" = 1'-0"

HA



 **REAR ELEVATION**
0 4' SCALE: 1/4" = 1'-0"



91.00

85.81

81.00

ASPHALT SHINGLES

PLYWOOD CUPOLA

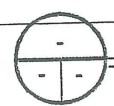
ASPHALT SHINGLES

WOOD WINDOWS

WOOD CLAPBOARDS

WOOD CLAPBOARDS

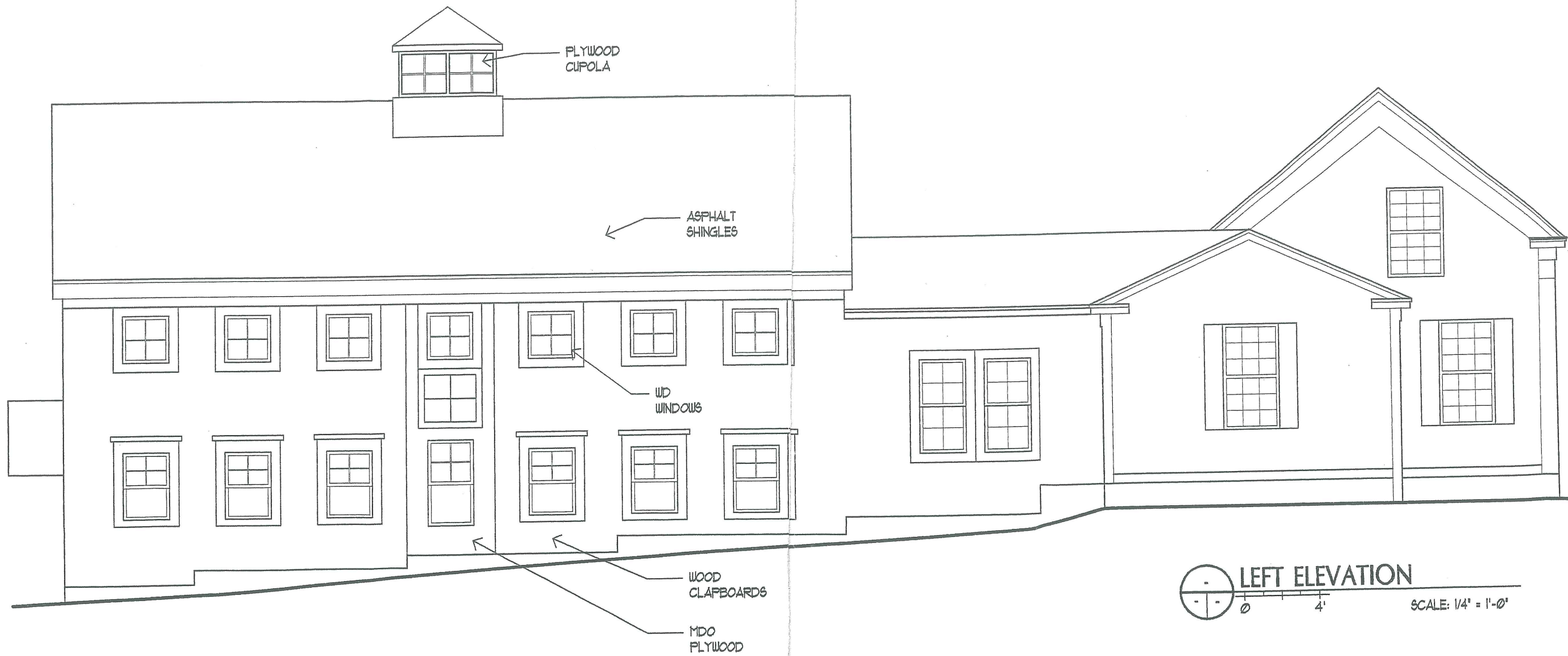
MDO PLYWOOD



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

14C



LEFT ELEVATION
0 4' SCALE: 1/4" = 1'-0"

15a

A11.15

25 year arch. shingles



SOUTH ELEVATION

6 Panel Steel Door w/Transom



EAST ELEVATION

PROPOSED MATERIAL LIST:

- * 8" Fluted Vinyl Cornerboard
- * Vinyl Frieze board
- * 6/6 Doublehung vinylclad
- * seamless vinyl clapboard
- * vinylclad molding
- * 10" vinyl freezeboard
- * Concrete foundation wall
- * 4' x 4" x 8" granite or precast slab

"Cyrus B. Abbott" Multifamily Housing Project

SCALE: 1/4" = 1'-0"	APPROVED BY:	DRAWN BY: D.Kingsley
DATE: January 21, 2001	OPM, INC.	REVISED

Proposed Front and Side Elevations

FOR PLANNING BOARD APPROVAL	DRAWING NUMBER A - 01
-----------------------------	---------------------------------

25 year arch. shingles



15 Light Entry Door

NORTH ELEVATION

15d

PROPOSED MATERIAL LIST:

- 8" Fluted Vinyl Cornerboard *
- Vinyl Frieze board *
- 6/6 Doublehung vinylclad *
- seamless vinyl clapboard *
- vinylclad molding *
- 10" vinyl freezeboard *
- Concrete foundation wall *
- 4' x 4" x 8" granite or precast slab *



WEST ELEVATION