

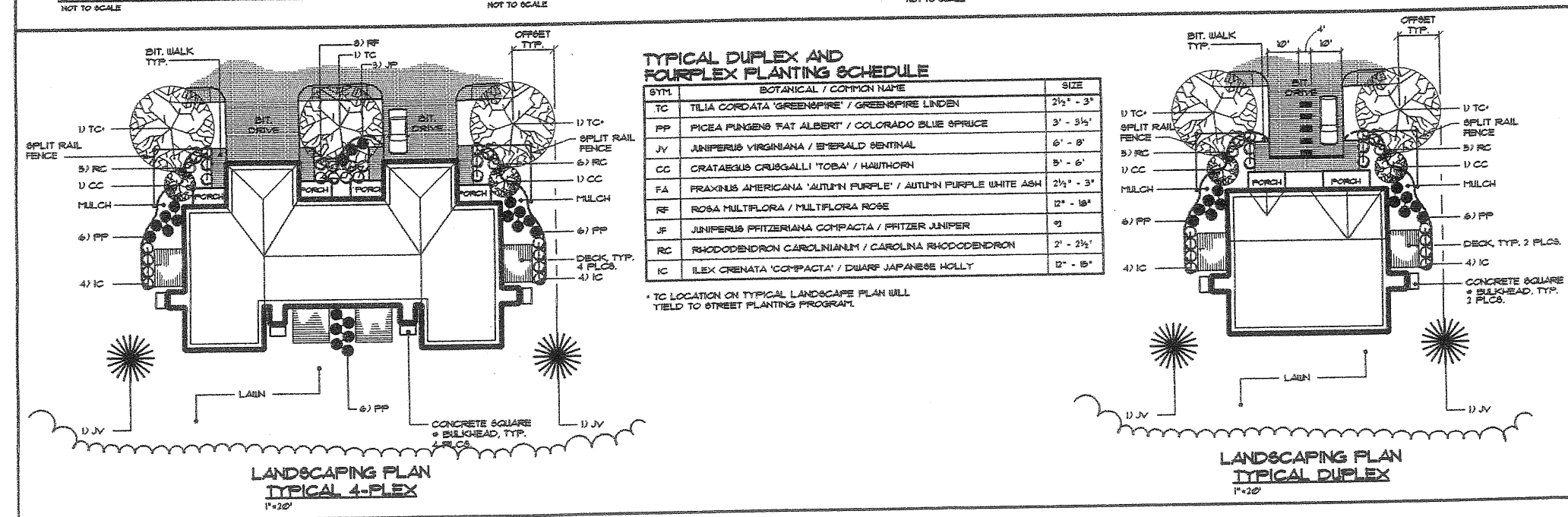
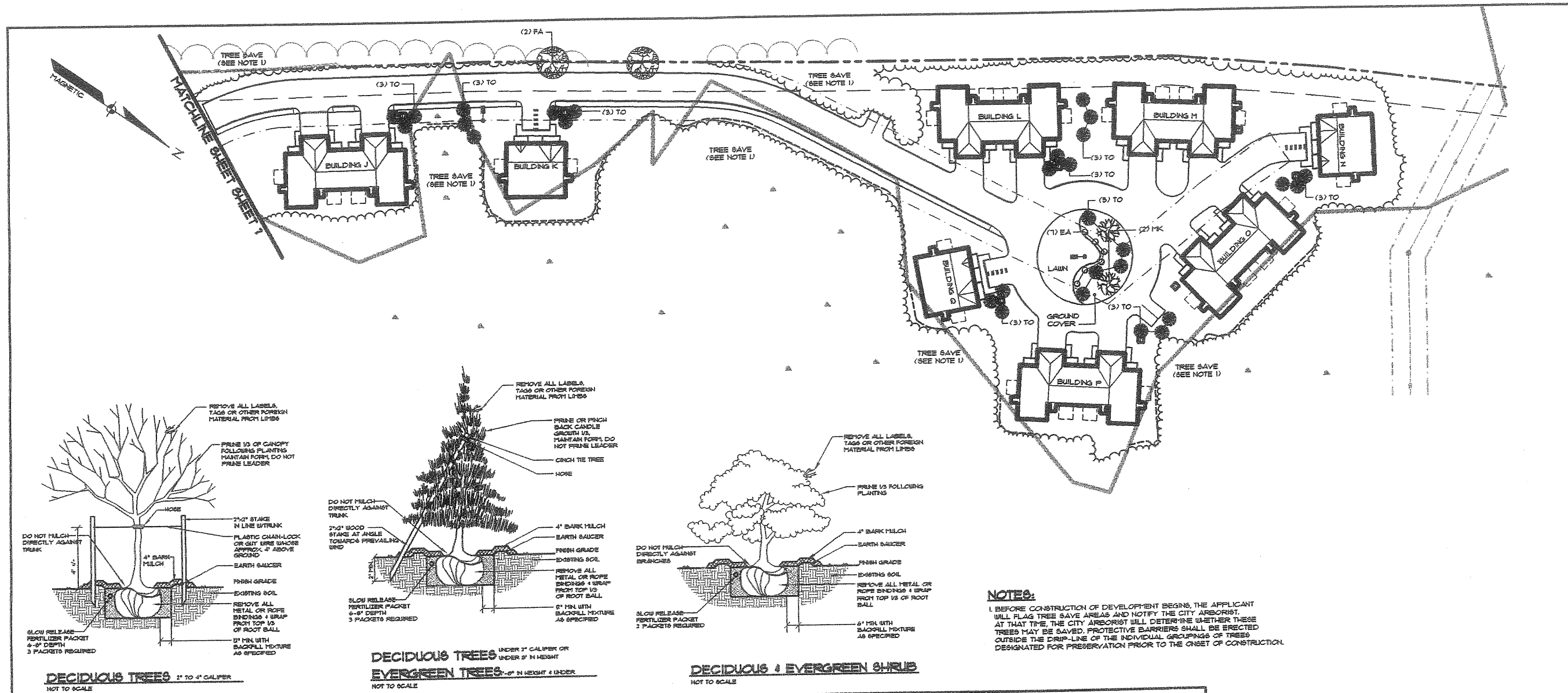
343-C-014

Allen Ave Apts (60)

Allen Ave

A.L.C Development Co

19980147



GRAPHIC SCALE  
( IN FEET )  
1 inch = 40 ft.

D	SMF	7-23-99	REVISE PER CONDITIONS OF APPROVAL
C	SMF	4-8-99	REVISE PER PLAN REVIEW COMMENTS
B	SMF	3-25-99	REVISE SITE PLAN SUBMISSION TO CITY
A	SMF	2-5-99	SITE PLAN SUBMISSION TO CITY

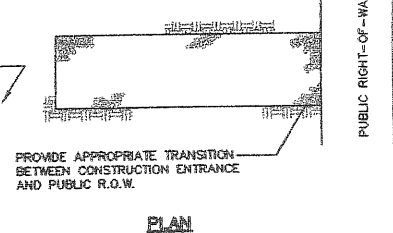
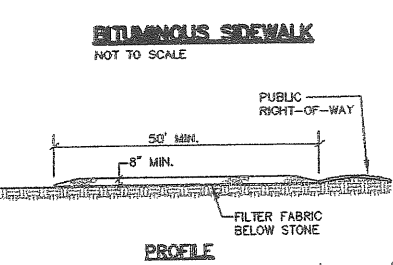
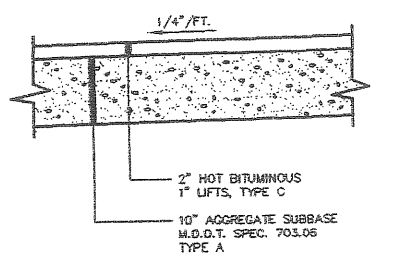
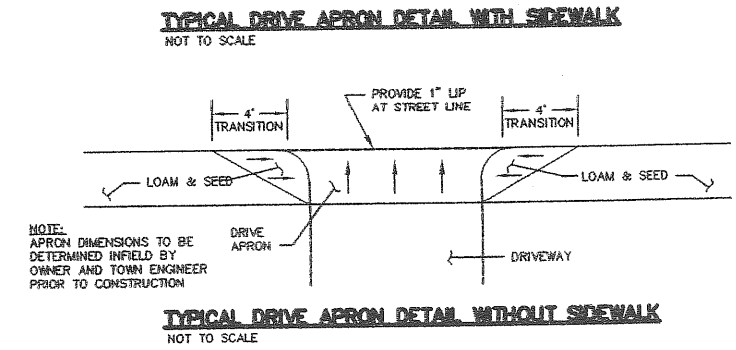
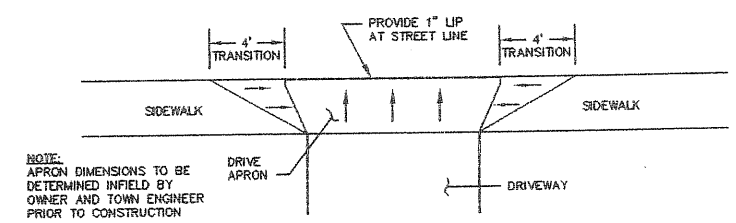
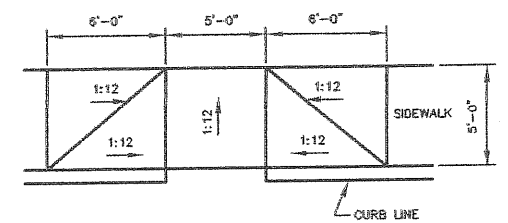
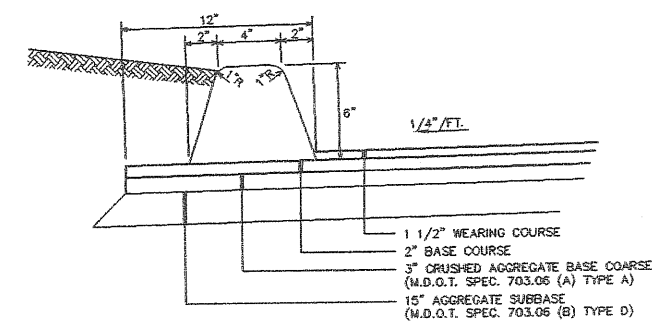
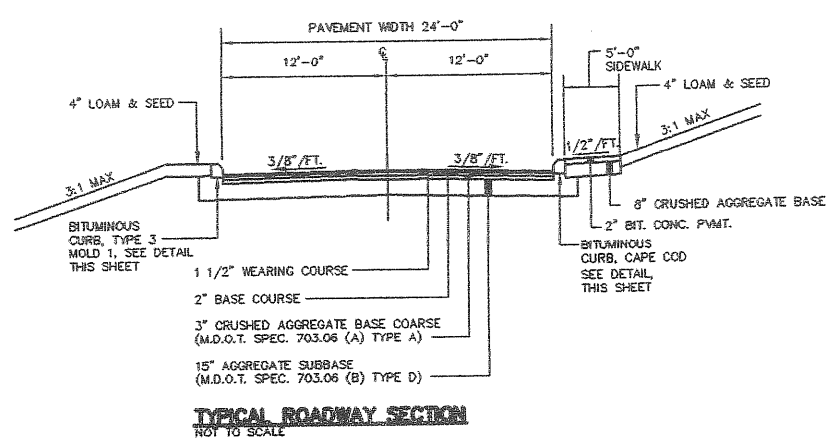
REV: BY: DATE: STATUS:

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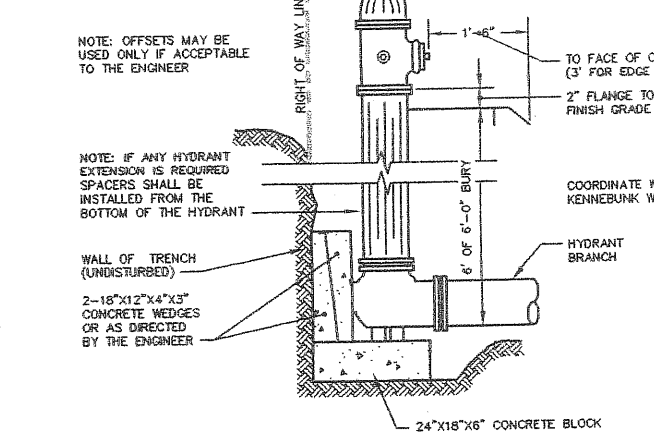
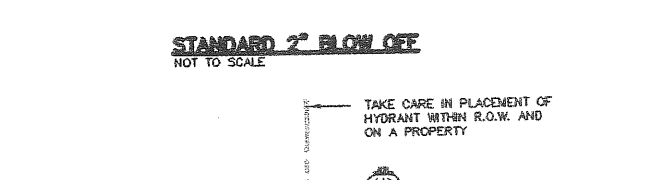
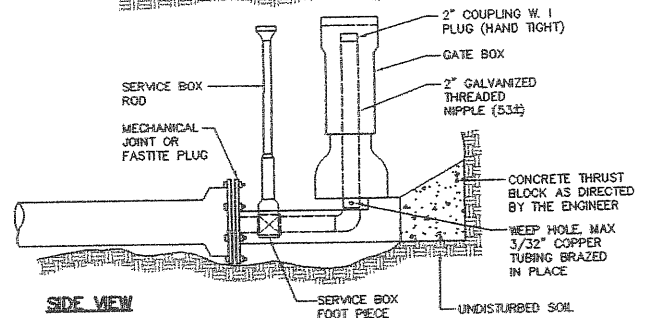
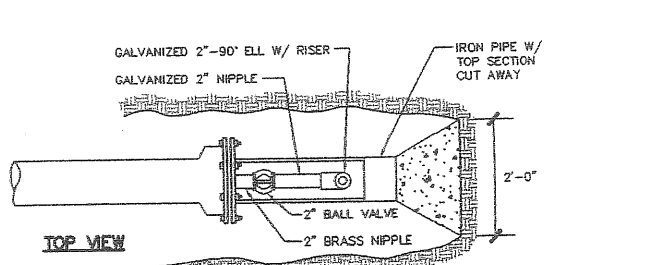
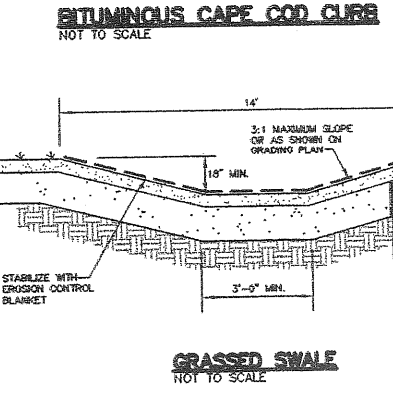
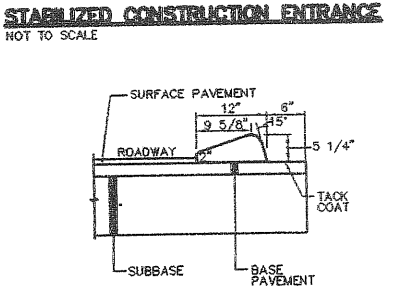
**LANDSCAPE & LIGHTING PLAN 2**  
OF:  
**WASHINGTON CROSSING CONDOMINIUMS**  
PORTLAND, MAINE  
FOR:  
**ALC DEVELOPMENT CORP.**  
258 SLACK POINT ROAD  
SCARBOROUGH, MAINE 04074

**Sebago Technics**  
Engineering & Planning for the Future  
12 WESTBROOK COMMON  
WESTBROOK, ME 04098-1338  
TEL: (207) 858-0277

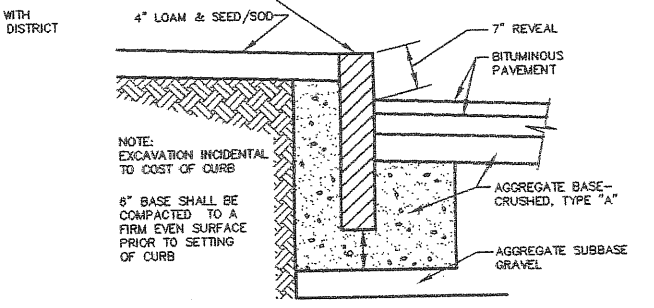
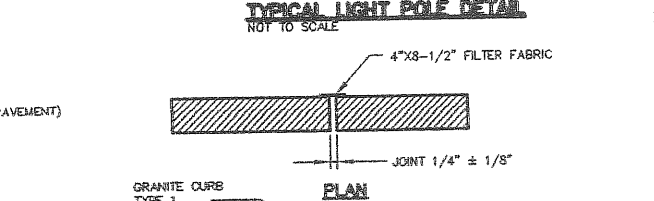
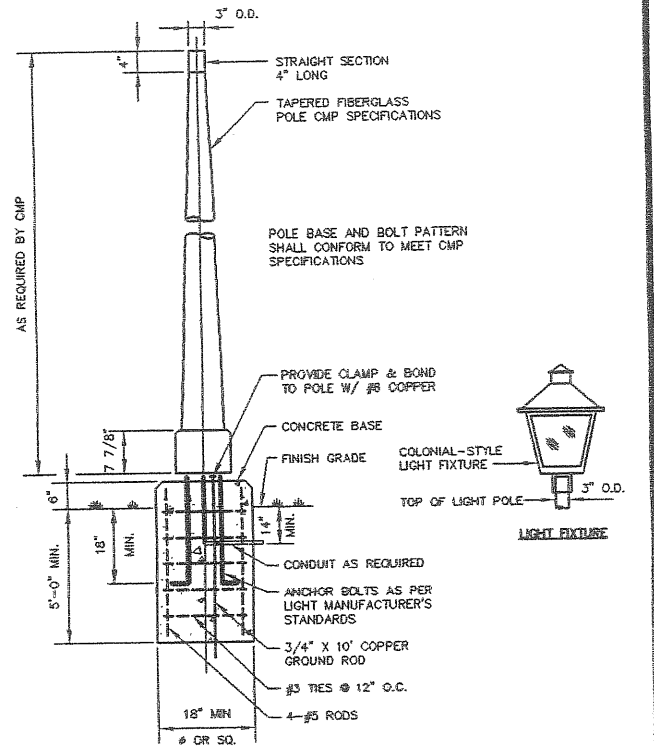
DESIGN BY: JRP  
DRAWN BY: TTH  
CHECKED BY: WTC  
DATE: 11-4-98  
SCALE: AS SHOWN  
FIELD BK: 599  
PROJ. NO: 97380  
DRAWING: 97380L2  
**SHEET 8 OF 11**



- NOTES:
1. STONE SIZE- AASHTO DESIGNATION M43, SIZE NO. 2 (2 1/2" TO 1 1/2"). USE CRUSHED STONE.
  2. LENGTH- AS SHOWN ON PLANS, MIN. 50 FEET.
  3. THICKNESS- NOT LESS THAN EIGHT (8) INCHES.
  4. WIDTH- NOT LESS THAN FULL WIDTH OF ALL POINT OF INGRESS OR EGRESS.
  5. MAINTENANCE- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.



TYPICAL HYDRANT BLOCKING & REPLACEMENT NOT TO SCALE



SECTION GRANITE CURB DETAIL NOT TO SCALE

C	SMF	4-8-99	REVISE PER PLAN REVIEW COMMENTS
B	SMF	3-25-99	REVISED SITE PLAN SUBMISSION TO CITY
A	SMF	2-5-99	SITE PLAN SUBMISSION TO CITY
REV. BY:	DATE:	STATUS:	

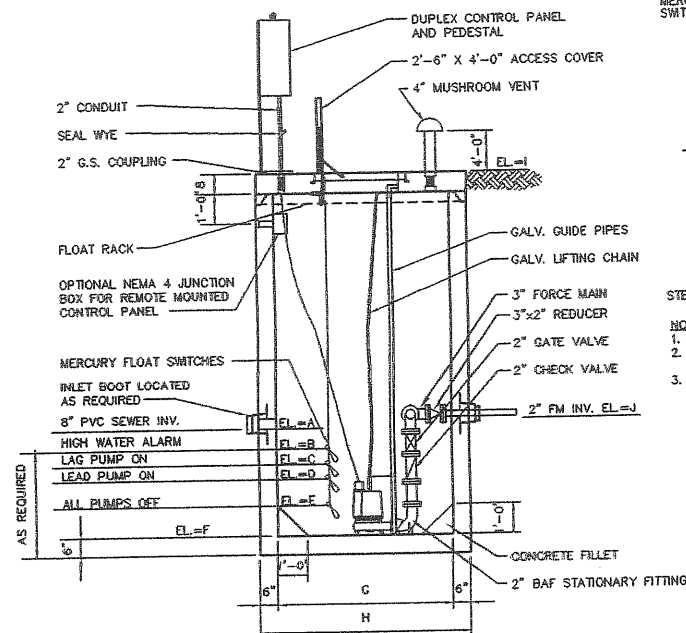
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**DETAILS 1**  
**OF:** WASHINGTON CROSSING CONDOMINIUMS  
 ALLEN AVENUE  
 PORTLAND, MAINE  
**FOR:** ALC DEVELOPMENT CORP.  
 258 BLACK POINT ROAD  
 SCARBOROUGH, MAINE 04074

**Sebago Technics**  
 Engineering & Planning for the Future  
 12 WESTBROOK COMMON  
 WESTBROOK, ME 04090-1339  
 TEL. (207) 858-0277

DESIGN BY:	JW/SMF
DRAWN BY:	TFH
CHECKED BY:	SMF
DATE:	2-1-99
SCALE:	AS SHOWN
FIELD BK:	599
PROJ. NO.:	97380
DRAWING:	9738001

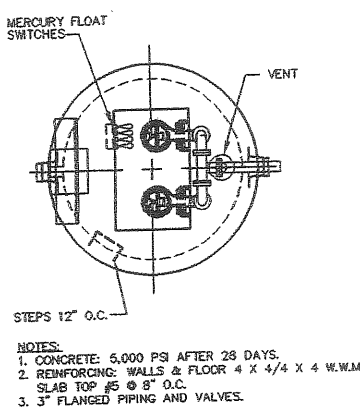
**SHEET 9 OF 11**



**PUMP STATION DETAIL**  
NOT TO SCALE

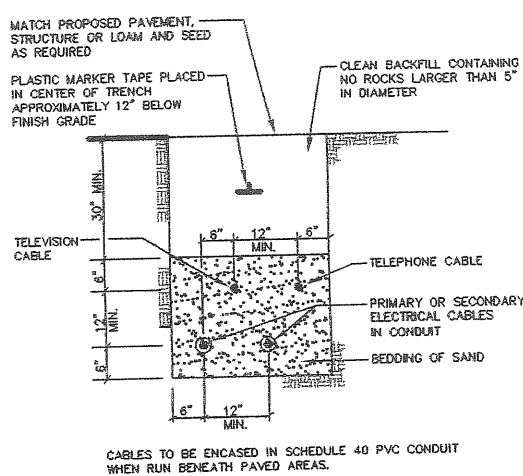
MEASUREMENT (ft.)										
A	B	C	D	E	F	G	H	I	J	
77.26	76.76	76.16	75.66	74.26	73.26	8'	9'	85.0	79.5	

**PUMP STATION SCHEDULE**

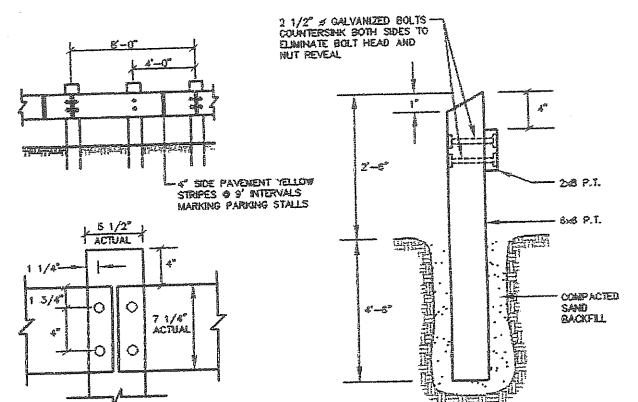


**PUMP MODEL**

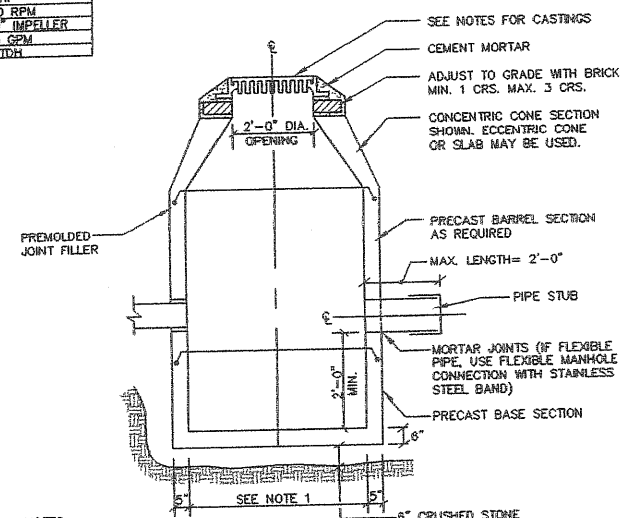
PUMP STA. 1
PEABODY BARNES
SERIES SGV GRINDER
2.0 HP
3450 RPM
4.50 IMPELLER
37.5 GPM
38" TDH



**TYPICAL UNDERGROUND CABLE INSTALLATION**  
NOT TO SCALE

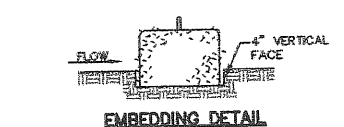


**PRESSURE TREATED WOOD GUARD RAIL**  
NOT TO SCALE

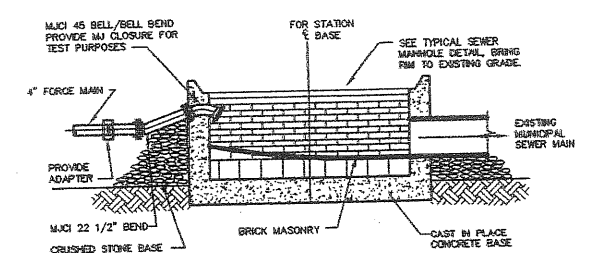


- NOTES:**
- 4'-0" I.D. TYPICAL. SOME STRUCTURES MAY REQUIRE LARGER I.D. PROVIDE SHOP DRAWINGS.
  - DRAINAGE STRUCTURES TO BE DESIGNED FOR H-20 LOADING.
  - PIPE SIZES AND INVERTS AS NOTED ON PLANS.
  - CATCH BASIN FRAME AND GRATE TO BE ETHERIDGE FOUNDRY M248G OR APPROVED EQUAL.
  - DRAINAGE MANHOLE FRAME AND COVER TO BE ETHERIDGE FOUNDRY M248S OR APPROVED EQUAL. COVER SHALL BE MARKED "DRAIN".

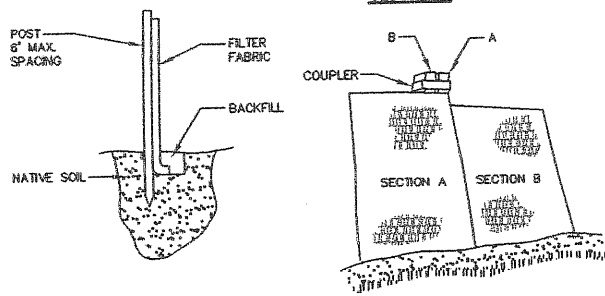
**PRECAST MANHOLE**  
NOT TO SCALE



**EMBEDDING DETAIL**

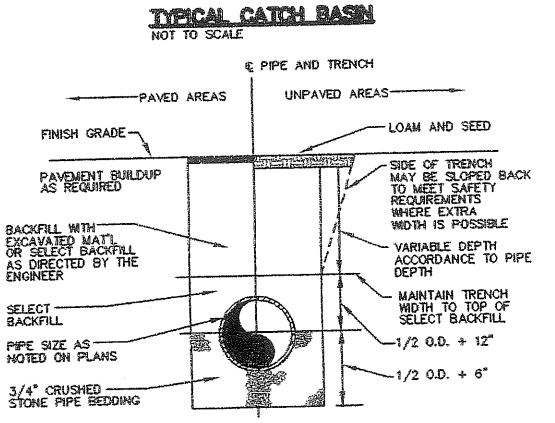


**FORCE MAIN TERMINUS MANHOLE**  
NOT TO SCALE

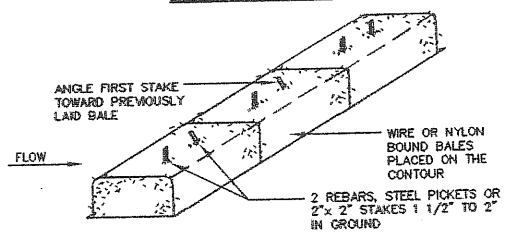


- INSTALLATION:**
- EXCAVATE A 6" x 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
  - UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
  - DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM.
  - LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH, BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND PILING AND TAMPING FILL AT THE BASE, BUT MUST BE ACCOMPANIED BY AN INTERCEPTION DITCH.
  - JOIN SECTION AS SHOWN ABOVE.
  - BARRIER SHALL BE MIRAFI SILT FENCE OR EQUAL.

**SILT FENCE**  
NOT TO SCALE



**TYPICAL TRENCH SECTION**  
NOT TO SCALE



- NOTES:**
- BALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
  - EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4".
  - BALES SHALL BE SECURELY ANCHORED IN PLACE BY STAKES OR REBARS DRIVEN THROUGH THE BALES. THE FIRST STAKE IN EACH BALE SHALL BE ANGLED TOWARD PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.
  - INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
  - BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

**HAY BALE BARRIER**  
NOT TO SCALE

C	SMF	4-8-99	REVISE PER PLAN REVIEW COMMENTS
B	SMF	3-25-99	REVISE SITE PLAN SUBMISSION TO CITY
A	SMF	2-5-99	SITE PLAN SUBMISSION TO CITY
REV.	BY:	DATE:	STATUS:

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**DETAILS 2**  
OF:  
**WASHINGTON CROSSING CONDOMINIUMS**  
ALLEN AVENUE  
PORTLAND, MAINE  
FOR:  
**ALC DEVELOPMENT CORP.**  
258 BLACK POINT ROAD  
SCARBOROUGH, MAINE 04074

DESIGN BY: J.W./SMF  
DRAWN BY: TFH  
CHECKED BY: SMF  
DATE: 2-1-99  
SCALE: AS SHOWN  
FIELD BK: 599  
PROJ. NO: 97380  
DRAWING: 9738002  
**SHEET 10 OF 11**

**Sebago Technics**  
Engineering & Planning for the Future  
12 WESTEROCK COMMON  
WESTEROCK, ME 04099-1539  
TEL (207) 858-0277



### EROSION & SEDIMENTATION CONTROL NOTES

#### A. Pre-Construction Phase

Prior to the beginning of any construction, hay bale barriers/filter fabric fencing or erosion control berms shall be staked/installed across the slope(s), on the contour, at or just below the limits of clearing or grubbing, just above any adjacent property line or watercourse to protect against construction related erosion. The placement of silt fences and hay bales shall be completed in accordance with guidelines established in Best Management Practices. This network is to be provided, installed and maintained by the contractor until all exposed slopes have at least 85%-90% vigorous perennial vegetative cover to prevent erosion.

The following erosion control measures shall be followed by the site contractor(s) throughout construction of this project.

#### B. Construction and Post-Construction Phase

1. Areas undergoing actual construction shall only expose that amount of mineral soil necessary for progressive and efficient site construction and shall not exceed 14 days. Areas that will not be completed (covered and/or finish graded) within fourteen (14) days of disturbance shall be anchored with temporary erosion control measures. Temporary erosion control shall include erosion control blanket, netting, or mulch on all slopes 15% or greater and as directed by the inspecting engineer and as shown on the design plans. If disturbed areas do not receive final seeding by September 15th of the year of construction, then all disturbed areas must be seeded with a winter cover crop of Rye at the rate of 3 lbs./1,000 square feet and covered with erosion control mesh. All slopes greater than 8 percent and not vegetated by September 15th shall be covered with erosion control blanket. Mulch shall be applied at a rate so that the soil beneath it is not visible through the mulch. Mulch shall not be applied over snow cover. Snow must be removed prior to placing mulch.

2. At the start of construction, a stabilized construction entrance shall be installed. The construction entrance shall be maintained daily throughout construction to prevent material tracking onto public ways.

3. All topsoil shall be collected, stockpiled, seeded with Rye at 3 lbs./1,000 square feet, and mulched on site and re-used as required. Siltation fencing shall be placed down gradient from stockpiled loam. Loam shall be stockpiled at locations designated by the owner. Designated locations shall be determined prior to or at the pre-construction meeting.

4. All silt fences and/or hay bale barriers shall be installed according to this plan. These shall be maintained during development to remove sediment from runoff water. All the silt fences shall be inspected after any rainfall or runoff event, maintained and cleaned until all areas have at least 85%-90% vigorous perennial vegetative cover of grasses.

5. All areas shall be seeded in accordance with the following vegetation plan.

6. Hay bale barriers shall be placed around all catch basins until placement of road subbase gravel is completed.

#### C. Vegetation Plan

Revegetation measures shall commence immediately upon completion of construction. Disturbed areas shall be mulched and anchored prior to any storm event. If final seeding cannot be accomplished by September 15th, then all disturbed areas shall be hay mulched at a rate of 150 lbs. per 1,000 S. F. and seeded with a winter cover crop of Rye at the rate of 3 lbs./1,000 S.F. to provide winter protection. Hay mulch shall be secured with a suitable binder to include RMB plus and/or erosion control netting as directed by the owner/inspecting engineer.

Revegetation measures shall consist of the following:

1. Four inches of loam will be spread over disturbed areas and smoothed, compacted and rolled to a uniform surface. Loam shall be free of subsoil, clay lumps, stones and other objects over 1" in diameter, and without weeds, roots or other objectionable material.

2. Agricultural limestone shall be spread at the rate of 3 tons per acre. 10-20-20 fertilizer shall be applied at a rate of 300 lbs./acre. These soil amendments shall be incorporated into the soil prior to final seeding.

3. Following seed bed preparation, swale areas, fill areas and back slopes shall be seeded at a rate of 4 lbs./1,000 square feet to a mixture of 35% Creeping Red Fescue, 5% Red Top, 24% Kentucky Bluegrass, 10% Perennial Ryegrass, 20% Annual Ryegrass and 5% White Dutch Clover. The lawn areas will be seeded to a premium turf mixture of Bluegrass and/or Fescue; seeding rate of 3 lbs. per 1,000 square feet.

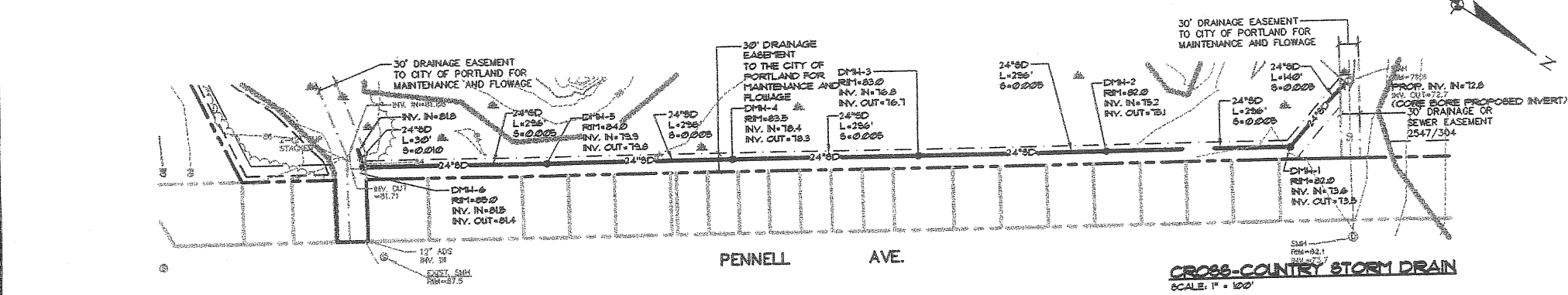
4. Hay mulch shall be applied to all disturbed areas at the rate of 150 lbs. per 1,000 square feet, or a hydro-application of asphalt, wood or paper fiber will be applied following seeding (50 lbs. of mulch material per 1,000 square feet for hydro applications). A suitable binder, such as RMB Plus and/or erosion control netting will be used on hay mulch for wind control.

5. All hay bale and/or filter fabric barriers will remain in place until seedlings have become 85%-90% established and then removed within 10 days.

#### D. Erosion Control During Winter Construction

1. Winter Construction Period: November 1 Through April 15

2. Winter excavation and earthwork shall be completed such that no more than 1 acre of the site is without stabilization at any one time.



3. Exposed area shall be limited to allowing these areas to be mulched in one day prior to any snow event.

4. Continuation of earthwork operations on additional areas shall not begin until the exposed soil surface on the area being worked has been stabilized, such that no larger area of the site is without erosion control protection as listed in item 2 above.

5. An area shall be considered to have been stabilized when exposed surfaces have been either mulched with straw or hay at a rate of 150 lb. per 1,000 square feet (with or without seeding) or dormant seeded, mulched and adequately anchored surface is not visible through the mulch.

6. Between the dates of October 15 and April 1st, loam or seed will not be required. During periods of above freezing temperatures the slopes shall be fine graded and either protected with mulch or temporarily seeded and mulched until such time as the final treatment can be applied. If the date is after November 1st and if the exposed area has been loamed, final graded with a uniform surface, then the area may be dormant seeded at a rate of 3 times higher than specified for permanent seed and then mulched. If construction continues during freezing weather, all exposed areas shall be continuously graded before freezing and the surface temporarily protected from erosion by the application of mulch. Slopes shall not be left unexposed over the winter or any other extended time of work suspension unless treated in the above manner. Until such time as weather conditions allow, ditches to be finished with the permanent surface treatment, erosion shall be controlled by the installation of bales of hay or stone check dams in accordance with the standard details show on the design drawings.

7. A.) Between the dates of November 1st and April 15th all mulch shall be anchored by either peg line, mulch netting, asphalt emulsion chemical, track or wood cellulose fiber.

B.) Mulch netting shall be used to anchor mulch in all drainage ways with a slope greater than 3% for slopes exposed to direct winds and for all other slopes greater than 8%.

C.) Mulch netting shall be used to anchor mulch in all drainage ways with a slope greater than 15%. After October 1st the same applies for all slopes greater than 8%.

8. After November 1st the contractor shall apply dormant seeding for mulch and anchoring on all bare earth at the end of each working day.

9. During winter construction period all snow shall be removed from areas of seeding and mulching prior to placement.

#### E. Inspections/Monitoring

Maintenance measures shall be applied as needed during the entire construction cycle. After each rainfall, the site contractor shall perform a visual inspection of all installed erosion control measures and perform repairs as needed to insure their continuing function.

Following the temporary and/or final seedings, the contractor shall inspect the site seasonally until the seedings have been established. Established means a minimum of 85%-90% of areas vegetated with vigorous growth. Re-seeding shall be carried out by the contractor with follow-up inspections in the event of any failures until vegetation is adequately established.

G	SMF	8-16-99	ADD CROSS COUNTRY STORM DRAIN SYSTEM DETAIL
F	SMF	7-23-99	REVISE PER CONDITIONS OF APPROVAL
E	SMF	5-27-99	MOVE BUILDING 'C', SHIFT ROAD
D	SMF	4-8-99	REVISE PER PLAN REVIEW COMMENTS
C	SMF	3-31-99	REVISE SPILLWAY, OUTLET CONTROL DETAILS
B	SMF	3-25-99	REVISE SITE PLAN SUBMISSION TO CITY
A	SMF	2-5-99	SITE PLAN SUBMISSION TO CITY

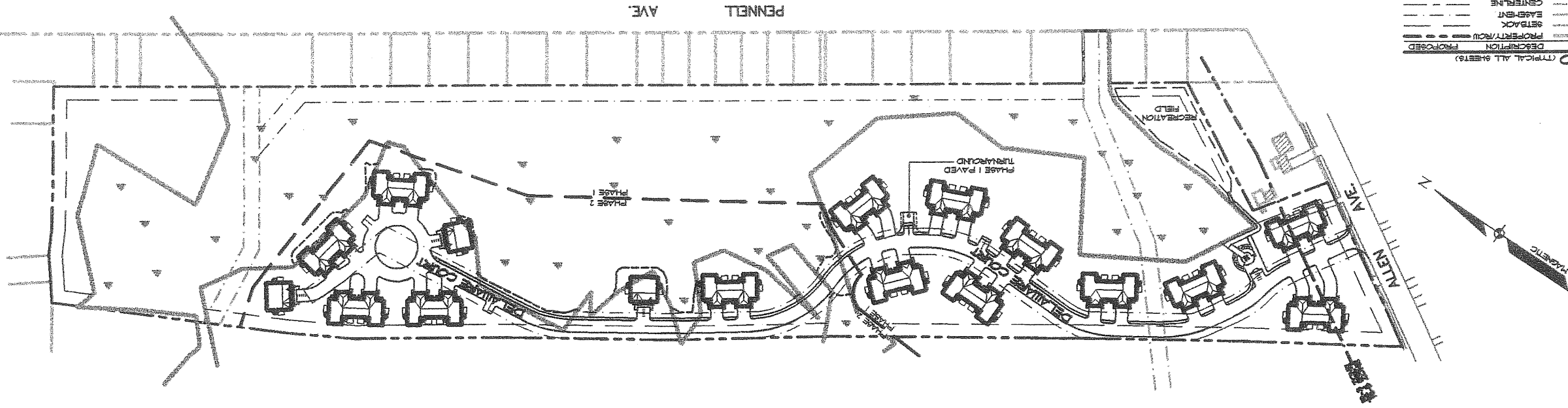
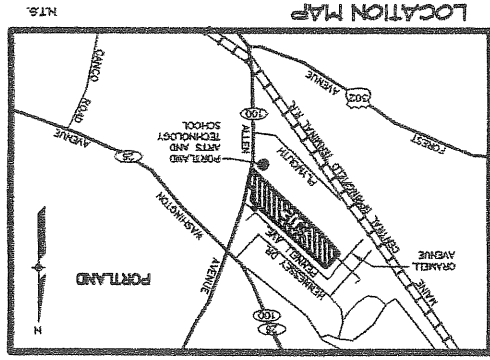
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**DETAILS 3**  
 OF:  
**WASHINGTON CROSSING CONDOMINIUMS**  
 ALLEN AVENUE  
 PORTLAND, MAINE  
 FOR:  
**ALC DEVELOPMENT CORP.**  
 225 BLACK POINT ROAD  
 SCARBOROUGH, MAINE 04074

DESIGN BY:	SMF
DRAWN BY:	MAL
CHECKED BY:	SMF
DATE:	2-1-99
SCALE:	AS SHOWN
FIELD BK:	599
PROJ. NO.:	97380
DRAWING:	9738003

**Sebago Technics**  
 Engineering & Planning for the Future  
 12 WESTBROOK COMMON  
 WESTBROOK, ME 04098-1339  
 TEL (207) 856-0277

# WASHINGTON CROSSING A 62 UNIT PLANNED RESIDENTIAL UNIT DEVELOPMENT ALLEN AVENUE PORTLAND, MAINE



**LEGEND (TYPICAL ALL SHEETS)**

EXISTING DESCRIPTION	PROPOSED
PROPERTY/ROW	
SETBACK	
EASEMENT	
CENTERLINE	
FOUNDATION	
IRON PIPE/ROD	
CURBLINE NO. 01/11	
BUILDING	
WETLANDS	
EDGE WETLAND	
SKIN	
STREAM	
ROCK OUTCROP	
EDGE PAVED	
GRAVEL ROAD	
CURBLINE	
TREELINE	
CONTOUR	
GAS	
WATER	
SEWER	
STORM DRAIN	
FORCE MAIN	
OVERHEAD	
ELEC. 1 TEL.	
UNDERGROUND	
ELEC. 1 TEL.	
GATE VALVE	
LIGHT POLE	
UTILITY POLE	
HYDRANT	
CATCH BASIN	
MANHOLE	
OLEFERT	
SPOT GRADE 30.20	
CHAIN LINK FENCE	
BLADE WIRE FENCE	
STOCKADE FENCE	
STONE WALL	
DECIDUOUS TREE	
CONIFEROUS TREE	
SILT FENCE	
MATCH LINE	

## SHEET INDEX

- 1 COVER SHEET
- 2 MASTER PLAN
- 3 SITE PLAN, DELAWARE COURT (STA. 12+08.81 TO STA. 12+09.81)
- 4 SITE PLAN, DELAWARE COURT (STA. 12+09.81 TO STA. 22+08.45)
- 5 PLAN AND PROFILE, DELAWARE COURT (STA. 0+11.9 TO STA. 12+08.81)
- 6 PLAN AND PROFILE, DELAWARE COURT (STA. 12+08.81 TO STA. 22+08.45)
- 7 LANDSCAPE AND LIGHTING PLAN 1
- 8 LANDSCAPE AND LIGHTING PLAN 2
- 9 DETAILS 1
- 10 DETAILS 2
- 11 DETAILS 3

**OWNER/APPLICANT: ALC DEVELOPMENT CORP.**  
 258 BLACK POINT ROAD  
 SCARBOROUGH, MAINE 04074

**ENGINEER/SURVEYOR: SEBAGO TECHNICS, INC.**

**Sebago Technics**  
 Engineering & Planning for the Future  
 12 WESTBROOK COMMON  
 WESTBROOK, ME 04095-1339  
 TEL (207) 858-0277

Att. 3.1

**Sebago Technics**  
 Engineering & Planning for the Future  
 15 WESTBROOK COMMON  
 WESTBROOK, NH 03081-1330  
 TEL (603) 886-0277

DESIGN BY: A.W./S.H.F.  
 DRAWN BY: S.M.F.  
 CHECKED BY: S.M.F.  
 DATE: 10-10-97  
 FIELD BK: 599  
 PLOT NO: 97380  
 DRAWING: 97380P

**WASHINGTON CROSSING CONDOMINIUMS**  
 1100 ALLEN AVENUE  
 PORTLAND, MAINE  
 FOR RECORD OWNER  
**AIC DEVELOPMENT CORP.**  
 250 BLACK POINT ROAD  
 SCARBOROUGH, MAINE 04074

**MASTER PLAN**

THIS PLAN SHALL NOT BE MOVED WITHOUT WRITING PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS (ADDED OR OTHERWISE) SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

REV.	DATE	BY	DESCRIPTION
A	3-27-98	JRP	PLANNING STAFF REVIEW
B	4-21-98	JRP	LAYOUT REVISIONS
C	9-25-98	JRP	RESUBMITTED FOR PLANNING BOARD REVIEW
D	1-28-99	JRP	LAYOUT REVISIONS
E	2-5-99	JRP	SITE PLAN SUBMISSION TO CITY
F	2-25-99	JRP	REVISE SITE PLAN SUBMISSION TO CITY
G	4-8-99	JRP	REVISE PER PLAN REVIEW COMMENTS
H	6-22-99	JRP	ADD DRAINAGE ESCAPEMENT LETTERS AND BOUNDS
I	7-19-99	JRP	REVISE PER CONDITIONS OF APPROVAL
J	7-23-99	JRP	ADD RECORDING BLOCK
K	8-16-99	JRP	BOARDWALK REVISION, ADD PHASE 1 PLAYED TERRAOUND

**EASEMENT LINE DATA**

LINE	DIRECTION	DISTANCE
L1	N 87° 20' 27" W	30.26'
L2	S 66° 04' 20" W	189.25'
L3	S 63° 49' 20" W	78.51'
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**APPROVAL**  
**CITY OF PORTLAND**  
**PLANNING BOARD**

DATE: \_\_\_\_\_  
 COMMISSIONER: \_\_\_\_\_

STATE OF MAINE  
 COUNTY SS REGISTRY OF DEEDS  
 RECEIVED \_\_\_\_\_  
 AT \_\_\_\_\_ M \_\_\_\_\_ AND RECORDED IN \_\_\_\_\_  
 PLUN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_  
 ATTEST \_\_\_\_\_ REGISTER

1. ALL WATER MAINS, SERVICES AND ASSOCIATED APPURTENANCES SHALL BE IN CONFORMANCE WITH PORTLAND WATER DISTRICT STANDARDS.

2. THE EASEMENT LINE SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF PORTLAND WATER DISTRICT STANDARDS.

3. THE EASEMENT LINE SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF PORTLAND WATER DISTRICT STANDARDS.

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**PROPERTY LINE DATA**

LINE	DIRECTION	DISTANCE
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1. THIS PLAN AND SURVEY WERE PERFORMED IN CONFORMANCE WITH THE MAKE STATE STANDARDS OF PRACTICE, CATEGORY 1, CONDITION 1 WITH EXCEPTIONS.

2. THE PROPERTY IS LOCATED IN THE CITY OF PORTLAND AND ADDRESS IS 343 BLOCK C, SHOWN AS LOTS 1 AND 2, AND ASSASSOR'S PLAN NO. 344, BLOCK D, LOT 2.

3. TOTAL AREA = 186,696 SQUARE FEET, OR 4.269 ACRES.

4. PLAN REFERENCES:

A. PLAN OF PROPERTY IN PORTLAND, MADE FOR CITY OF PORTLAND, VOLUME 10, PAGE 100.

B. PLAN OF LAND OF HENRY MORSE, ALLEN AVENUE, MADE FOR CITY OF PORTLAND, VOLUME 10, PAGE 100.

C. PLAN OF LAND OF HENRY MORSE, ALLEN AVENUE, MADE FOR CITY OF PORTLAND, VOLUME 10, PAGE 100.

D. PLAN OF LAND OF HENRY MORSE, ALLEN AVENUE, MADE FOR CITY OF PORTLAND, VOLUME 10, PAGE 100.

E. PLAN OF LAND OF HENRY MORSE, ALLEN AVENUE, MADE FOR CITY OF PORTLAND, VOLUME 10, PAGE 100.

5. ELEVATIONS SHOWN HEREON ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1988 ESTABLISHED BY UNITED STATES DUAL REFLECTOR TO PLAN 408.

6. BEARINGS AND DISTANCES ARE MAGNETIC NORTH OF 1888, REFERENCED TO PLAN 408.

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**SEBAGO TECHNICS**  
 Engineering & Planning for the Future  
 12 WESTBROOK COAST  
 WESTBROOK, ME 04094-1339  
 TEL (207) 858-0277

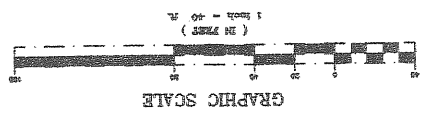
**ALC DEVELOPMENT CORP.**  
 FORT  
 PORTLAND, MAINE  
 WASHINGTON CROSSING CONDOMINIUMS  
 (STA 12+00.01 TO STA 23+00.48)  
 250 BLACK POINT ROAD  
 SCARBOROUGH, MAINE 04074

**SITE PLAN DELAWARE COURT**

THIS PLAN SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, ADDITIONS, OR DELETIONS TO THIS PLAN SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

REV.	DATE	BY	STATUS
D	7-23-99	SMF	REVISE PER CONDITIONS OF APPROVAL
C	4-8-99	SMF	REVISE PER PLAN REVIEW COMMENTS
B	3-25-99	SMF	REVISE SITE PLAN SUBMISSION TO CITY
A	2-5-99	SMF	SITE PLAN SUBMISSION TO CITY

DESIGN BY: J.W./SMF  
 DRAWN BY: JTH  
 CHECKED BY: SMF  
 DATE: 11-4-98  
 SCALE: AS SHOWN  
 FIELD BK: 599  
 PROJ. NO: 97380  
 DRAWING: 97380S2  
**SHEET 4 OF 11**



**PROPERTY LINE DATA**

LINE	DIRECTION	DISTANCE
L1	N62°34'23"E	40.2'
L2	N62°11'16"E	30.2'
L3	N61°47'19"E	30.16'
L4	S65°28'19"W	100.01'
L5	N33°34'48"W	50.00'
L6	S65°28'19"W	100.01'

**PUD EASEMENT CURVE DATA**

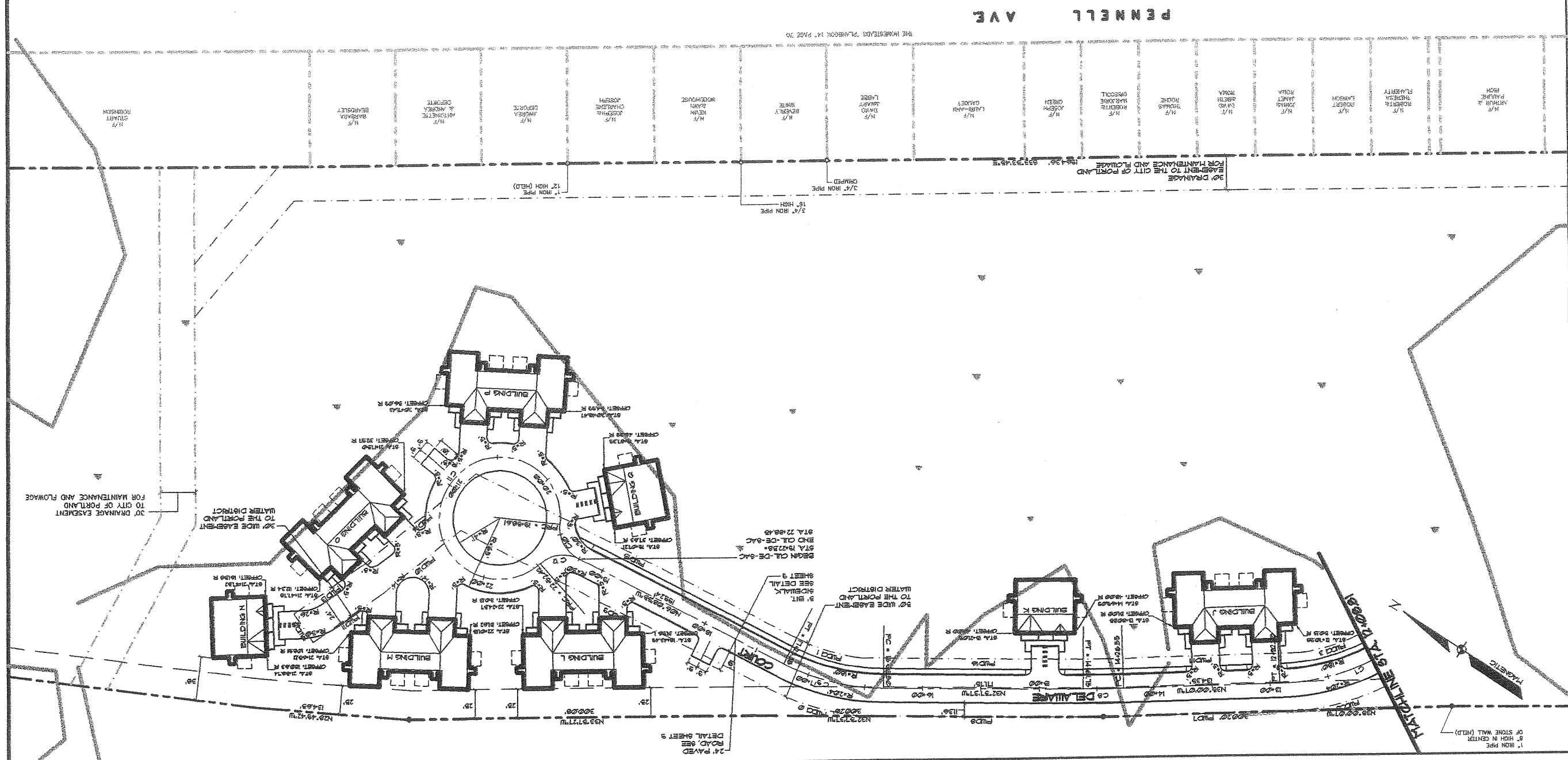
LINE	LENGTH	RADIUS	DELTA
PUDC1	13.40'	217.00'	19.2251°
PUDC2	86.70'	217.00'	219.571°
PUDC3	13.40'	217.00'	18.2637°

**PUD EASEMENT DATA**

LINE	DIRECTION	DISTANCE
PUD1	N55°00'17"W	13.39'
PUD2	N22°31'17"W	10.29'
PUD3	N04°08'55"W	30.29'
PUD4	S71°19'33"E	17.47'
PUD5	S66°31'17"E	12.33'
PUD6	S21°28'17"W	30.29'
PUD7	S66°31'17"E	17.47'
PUD8	N04°08'55"W	30.29'
PUD9	N22°31'17"W	10.29'
PUD10	N55°00'17"W	13.39'

**CENTRAL LINE CURVE DATA**

CURVE	LENGTH	RADIUS	DELTA
CT1	12.00'	132.00'	53.0743°
CA1	35.21'	188.00'	22.0730°
CA2	39.20'	182.00'	26.4847°
CA3	36.00'	180.00'	30.0000°
CA4	36.00'	180.00'	30.0000°
CA5	36.00'	180.00'	30.0000°
CA6	36.00'	180.00'	30.0000°
CA7	36.00'	180.00'	30.0000°
CA8	36.00'	180.00'	30.0000°
CA9	36.00'	180.00'	30.0000°
CA10	36.00'	180.00'	30.0000°
CA11	36.00'	180.00'	30.0000°
CA12	36.00'	180.00'	30.0000°
CA13	36.00'	180.00'	30.0000°
CA14	36.00'	180.00'	30.0000°
CA15	36.00'	180.00'	30.0000°
CA16	36.00'	180.00'	30.0000°
CA17	36.00'	180.00'	30.0000°
CA18	36.00'	180.00'	30.0000°
CA19	36.00'	180.00'	30.0000°
CA20	36.00'	180.00'	30.0000°
CA21	36.00'	180.00'	30.0000°
CA22	36.00'	180.00'	30.0000°
CA23	36.00'	180.00'	30.0000°
CA24	36.00'	180.00'	30.0000°
CA25	36.00'	180.00'	30.0000°
CA26	36.00'	180.00'	30.0000°
CA27	36.00'	180.00'	30.0000°
CA28	36.00'	180.00'	30.0000°
CA29	36.00'	180.00'	30.0000°
CA30	36.00'	180.00'	30.0000°



Att. 34



**Sebago Technics**  
 Engineering & Planning for the Future  
 12 WESTBROOK COMMON  
 WESTBROOK, ME 04098-1358  
 TEL (207) 858-0277

**ALC DEVELOPMENT CORP.**  
 258 BLACK POINT ROAD  
 SCARBOROUGH, MAINE 04074

**FOR:**  
 ALLEN AVENUE  
 PORTLAND, MAINE

**WASHINGTON CROSSING CONDOMINIUMS**  
 (STA. 0+11.18 TO STA. 12+08.81)

**PLAN & PROFILE: DELAWARE COURT**  
 (STA. 0+11.18 TO STA. 12+08.81)

DESIGN BY: J.W./SMF  
 DRAWN BY: SMF  
 CHECKED BY: SMF  
 DATE: 11-4-98  
 SCALE: 1"=40'  
 FIELD BK: 599  
 PROJ. NO.: 97390  
 DRAWING: 97390P1

REV: DATE BY

0	SMF	5-27-99	MOVE BUILDING 'C', REVISE GRADING & UTILITIES
1	SMF	4-8-99	REVISE PER PLAN REVIEW COMMENTS
2	SMF	3-25-99	REVISED SITE PLAN SUBMISSION TO CITY
3	SMF	2-2-99	SITE PLAN SUBMISSION TO CITY

STATUS: AUTHORIZED FOR CONSTRUCTION. SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC. ANY ALTERATIONS TO THIS PLAN SHALL NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC.

**GENERAL NOTES:**

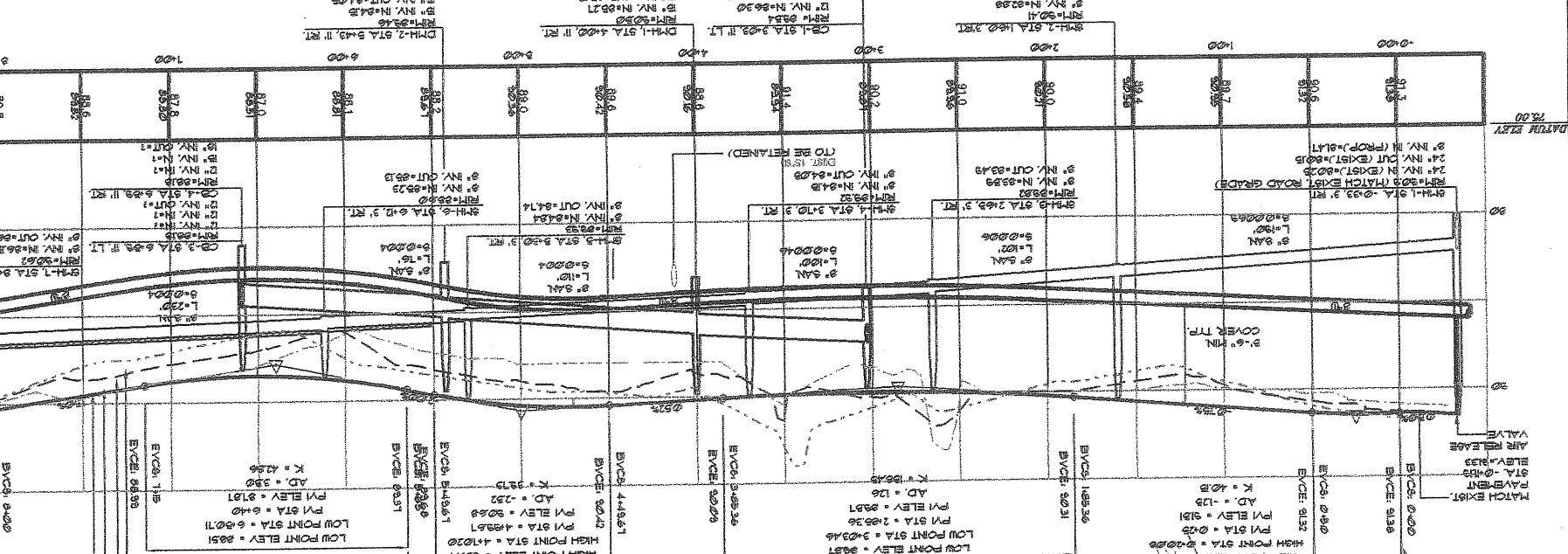
- CATCH BASINS LOCATED ON THE SAME SIDE OF THE ROADWAY AS THE WATERMAIN SHALL BE INSTALLED WITH SCOURING COVERS. THE COVERS DEPICTED ON THESE PLANS ARE TO BE SET SUCH THAT THE MAJORITY OF THE STRUCTURE IS BEHIND THE CURVE.
- THE 4" WATER SERVICE TO EACH BUILDING IS A COPPON PIPE SUPPRESSION SERVICE FOR THE FRENCHER SYSTEM.
- THE INDIVIDUAL WATER SERVICES TO EACH UNIT SHALL BE 1/2" COPPON TUBING.
- THE COPPON SEWER SERVICES SHALL BE 6" PVC SDR 35 PIPE EQUAL.
- ALL SUBSURFACE STORM DRAIN SHALL BE HDPE OR APPROVED EQUAL.

H  
 6-31-99 REVISE UNDER LAYOUT PER CMP REVISIONS  
 G  
 8-18-99 BOARDWALK REVISION, ADD SHT. FENCE, PH. 1 PLAYED TURNAROUND  
 F  
 8-5-99 ADD WATER SERVICE TO ALL BUILDINGS  
 E  
 7-23-99 REVISE PER CONDITIONS OF APPROVAL

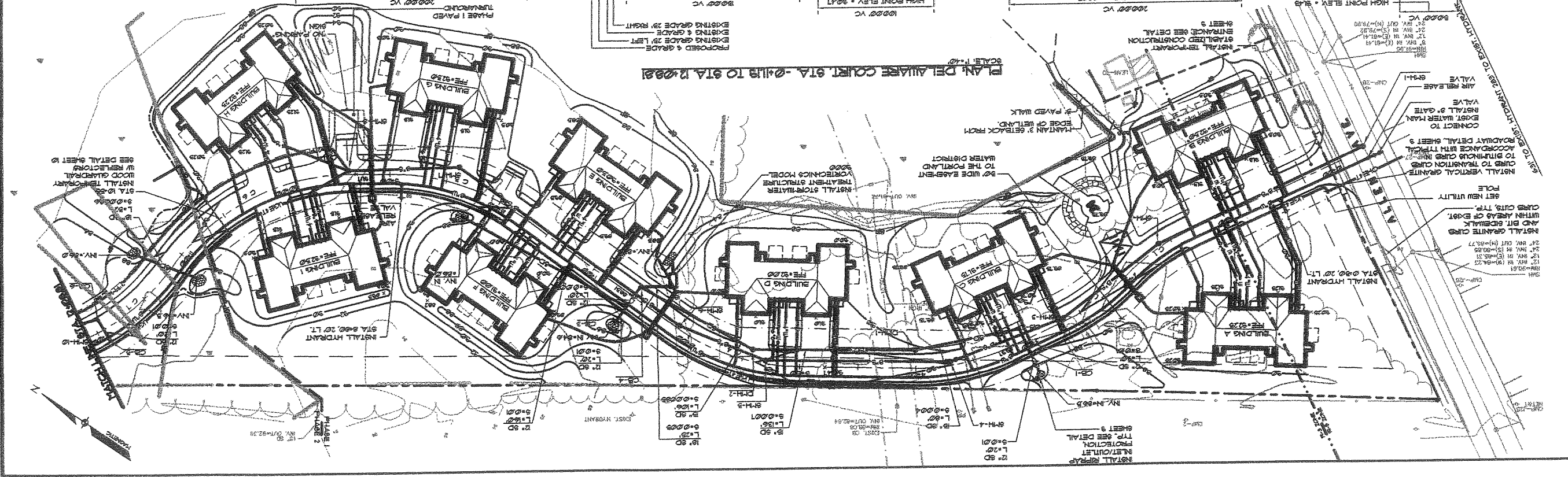
**PROPERTY LINE CURVE DATA**

CURVE	LENGTH	RADIUS	DELTA
C 1	68.94	188.00	21.02/40'
C 2	68.94	188.00	21.02/40'
C 3	84.30	188.00	25.92/35'
C 4	148.18	188.00	54.17/35'
C 5	188.00	188.00	54.17/35'
C 6	188.00	188.00	54.17/35'
C 7	111.18	188.00	33.01/40'

**PROFILE: DELAWARE COURT, STA. 0+11.18 TO STA. 12+08.81**



**PLAN: DELAWARE COURT, STA. 0+11.18 TO STA. 12+08.81**



44.35

**SEBAGO TECHNICS**  
 Engineering & Planning for the Future  
 12 WESTBROOK COMMON  
 WESTBROOK, ME 04091-1339  
 TEL (207) 856-0277

**ALC DEVELOPMENT CORP.**  
 258 BLACK POINT ROAD  
 SCARBOROUGH, MAINE 04074

**WASHINGTON CROSSING CONDOMINIUMS**  
 OF  
**DELTAWARE COURT**  
 (STA. 12+48.81 TO STA. 22+88.45)

DESIGN BY: J.W./SIF  
 DRAWN BY: SMF  
 CHECKED BY: SMF  
 DATE: 11-4-98  
 SCALE: AS SHOWN  
 FIELD NO.: 97360  
 DRAWINGS: 973602

**SHEET 6 OF 11**

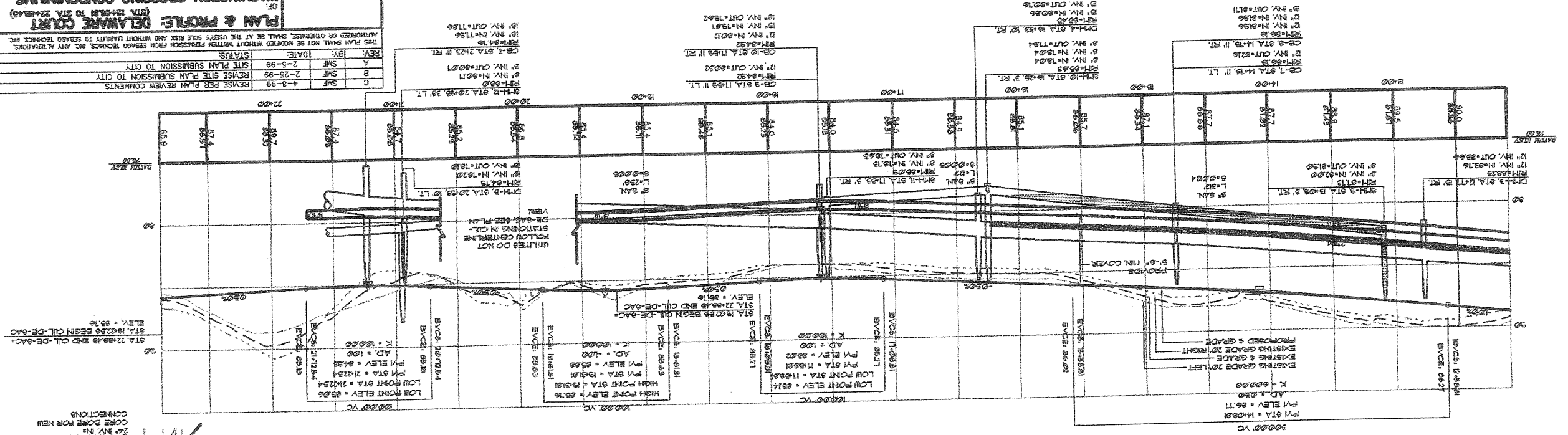
F	SMF	8-16-99	ADD SILT FENCE BEHIND BUILDINGS N. O. P.
E	SMF	8-5-99	ADD WATER SERVICE TO ALL BUILDINGS
D	SMF	7-23-99	REVISE PER CONDITIONS OF APPROVAL

REV.	BY	DATE	STATUS
0	SMF	1-8-99	REVISE PER PLAN REVIEW COMMENTS
1	SMF	2-25-99	REVISE SITE PLAN SUBMISSION TO CITY
2	SMF	2-5-99	REVISE SITE PLAN SUBMISSION TO CITY

THIS PLAN SHALL NOT BE ADORDED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

- GENERAL NOTES:**
- CATCH BASINS LOCATED ON THE SAME SIDE OF THE ROADWAY AS THE GRATES DEPICTED ON THESE PLANS ARE TO THE CENTER OF THE STRUCTURE. THE STRUCTURE SHALL BE SET SUCH THAT THE MAJORITY OF THE STRUCTURE IS BEHIND THE CURB.
  - THE 4" WATER SERVICE TO EACH BUILDING IS A COMMON FIRE SUPPRESSION SERVICE FOR THE SPRINKLER SYSTEM.
  - THE INDIVIDUAL WATER SERVICES TO EACH UNIT SHALL BE 1/2" COPPER TUBING.
  - THE CUL-DE-SAC IS SUPERSEDED TO THE OUTSIDE CURB LINE.
  - THE COMMON SEWER SERVICES SHALL BE 6" PVC FOR 30 PIPE.
  - ALL SURFACE STORM DRAIN SHALL BE HDPE OR APPROVED EQUAL.

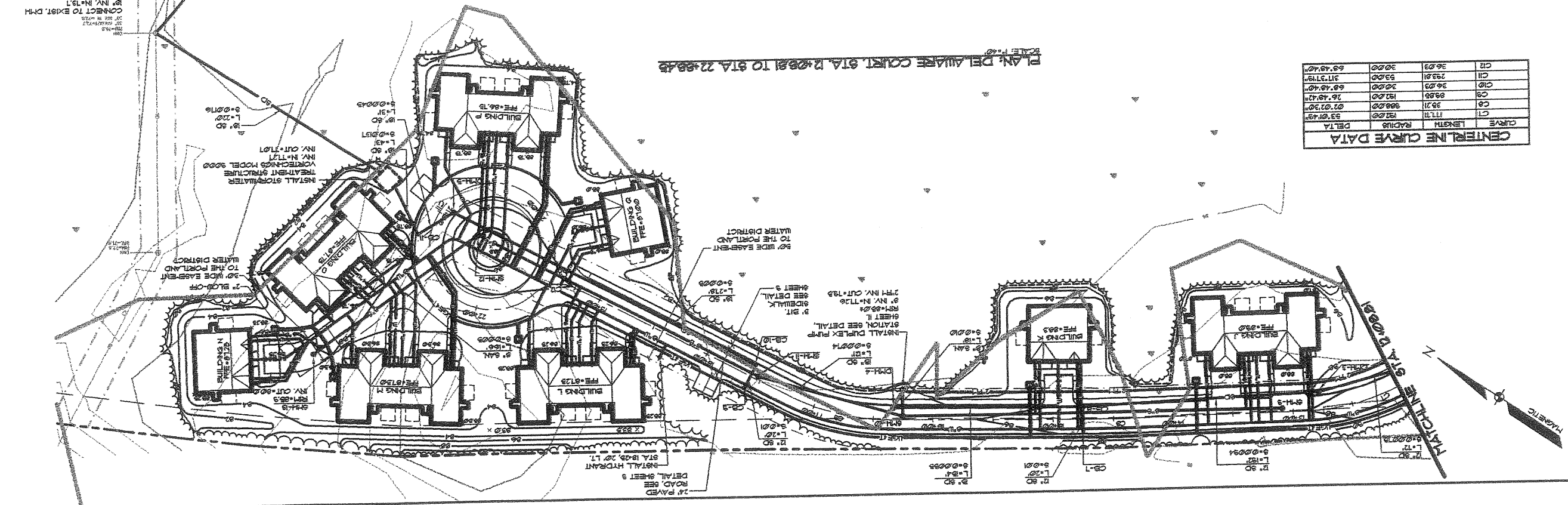
**PROFILE: DELAWARE COURT, STA. 12+48.81 TO STA. 22+88.45**  
 SCALE: 1"=10' HORIZ.  
 1"=4' VERT.



**PLAN: DELAWARE COURT, STA. 12+48.81 TO STA. 22+88.45**  
 SCALE: 1"=40'

**CENTERLINE CURVE DATA**

CURVE	LENGTH	RADIUS	DELTA
CB	36.03	3000	69.4940°
CB1	29.81	3200	317.3179°
CB2	36.03	3200	69.4940°
CB3	88.85	18100	36.4841°
CB4	35.21	3000	67.0730°
CB5	117.11	18100	53.6749°



AH.3.6

DESIGN BY: JRP  
 DRAWN BY: JTH  
 CHECKED BY: WTC  
 DATE: 12-16-98  
 SCALE: 1"=40'  
 FIELD NO.: 599  
 PROJ. NO.: 97380  
 DRAWING: 9738011  
**SHEET 7 OF 11**

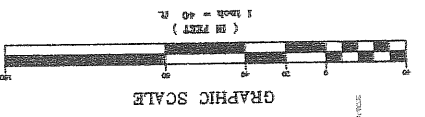
**Sebago Technics**  
 Engineering & Planning for the Future  
 12 WESTBROOK COMMON  
 WESTBROOK, ME 04090-1338  
 TEL: (207) 856-0277

**ALC DEVELOPMENT CORP.**  
 525 BLACK POINT ROAD  
 SCARBOROUGH, MAINE 04074

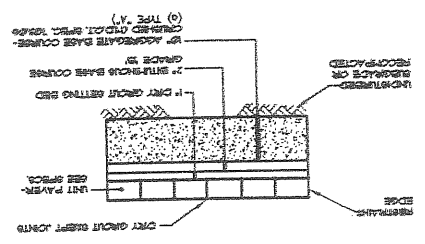
**LANDSCAPE & LIGHTING PLAN 1**  
 OF  
**WASHINGTON CROSSING CONDOMINIUMS**  
 ALLEN AVENUE  
 PORTLAND, MAINE

THIS PLAN SHALL NOT BE MOVED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

REV.	BY:	DATE:	STATUS:
F	SAF	8-16-99	BOARDWALK REVISION, ADD PHASE 1 PAVED TURNAROUND
E	SAF	7-23-99	REVISE PER CONDITIONS OF APPROVAL
D	SAF	5-27-99	MOVE BUILDING 'C', SHIFT ROAD
C	SAF	4-8-99	REVISE PER PLAN REVIEW COMMENTS
B	SAF	2-26-99	RESUBMIT SITE PLAN SUBMISSION TO CITY
A	SAF	2-5-99	SITE PLAN SUBMISSION TO CITY



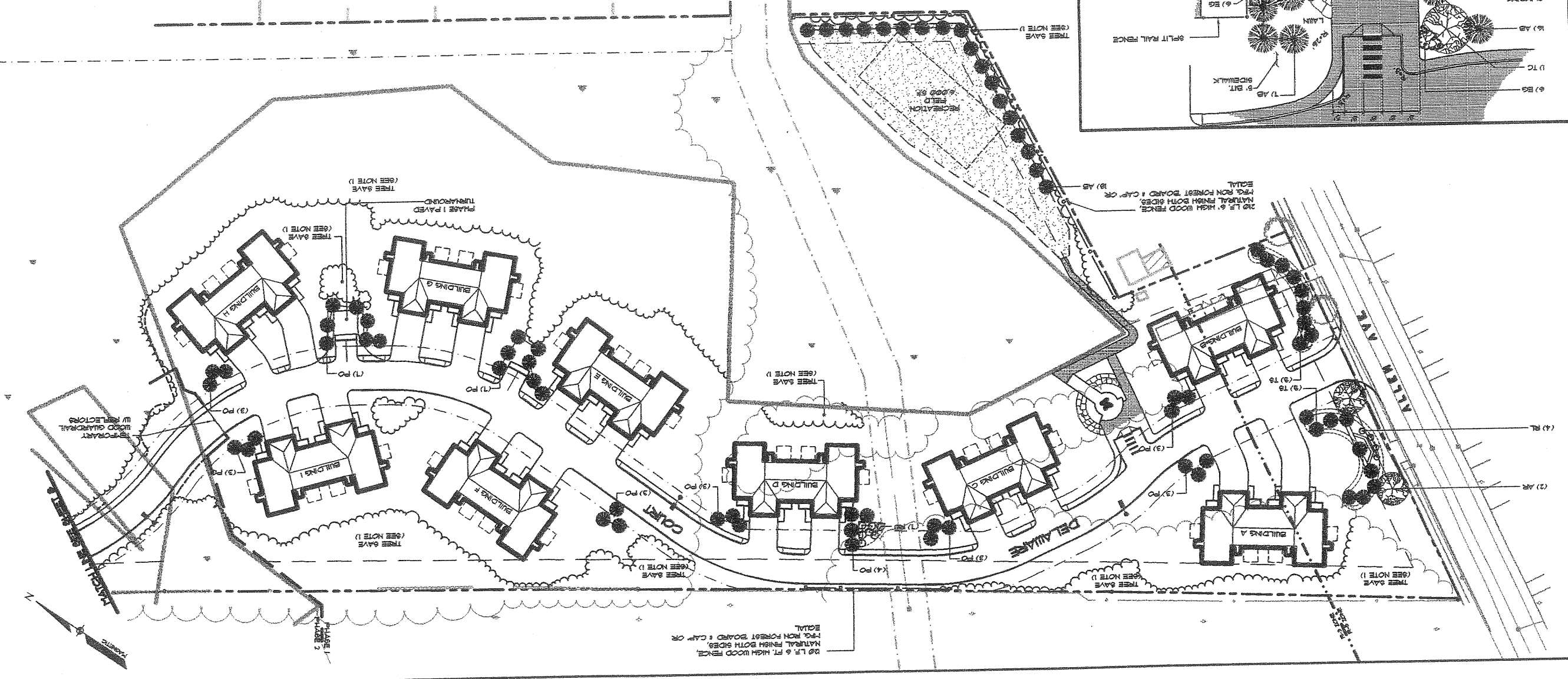
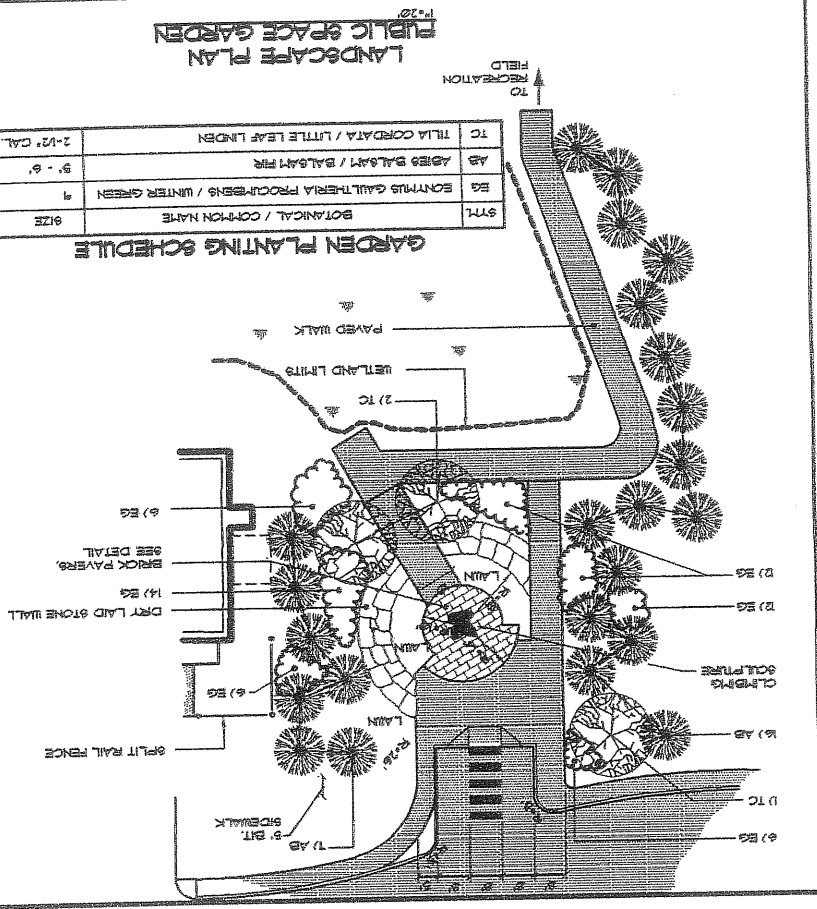
**BRICK PAVEMENT DETAIL**  
 NOT TO SCALE



**NOTES:**  
 1. BEFORE CONSTRUCTION OF DEVELOPMENT BEGINS, THE APPLICANT SHALL FLAG TREE SAVE AREAS AND NOTIFY THE CITY ARBORIST. AT THAT TIME, THE CITY ARBORIST WILL DETERMINE WHETHER THESE TREES MAY BE SAVED. PROTECTIVE MEASURES SHALL BE SPECIFIED OUTSIDE THE DRAINAGE OF THE INDIVIDUAL GROUPS OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION.  
 2. SEE SHEET 8 FOR TYPICAL DUPLEX AND FOURPLEX PLANTING AND PLANTING SCHEDULE.  
 3. SEE SHEET 9 FOR PLANTING DETAILS.

**STREETSCAPE PLANTING SCHEDULE**

TREES	BOTANICAL / COMMON NAME	SIZE	QTY	EA	PL	RM	TH
2	BOTANICAL / COMMON NAME	2' - 2 1/2"	107	EA	PL	RM	TH
3	BOTANICAL / COMMON NAME	2' - 2 1/2"	107	EA	PL	RM	TH
4	FRAXINA AMERICANA 'AUTUMN PURPLE' / AUTUMN PURPLE WHITE ASH	2 1/2" - 3"	2	RM			
5	QUERCUS ALATA / WHITE OAK	2 1/2" - 3"	2	EA			
6	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
7	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
8	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
9	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
10	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
11	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
12	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
13	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
14	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
15	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
16	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
17	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
18	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
19	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
20	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
21	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
22	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
23	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
24	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
25	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
26	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
27	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
28	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
29	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
30	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
31	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
32	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
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34	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
35	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
36	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
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38	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
39	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
40	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
41	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
42	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
43	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
44	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
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49	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
50	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
51	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
52	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
53	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
54	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
55	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
56	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
57	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
58	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
59	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
60	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
61	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
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63	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
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68	QUERCUS LAEVEVIS / WILSON RHODODERON	2 1/2" - 3"	2	EA			
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AH:3.11

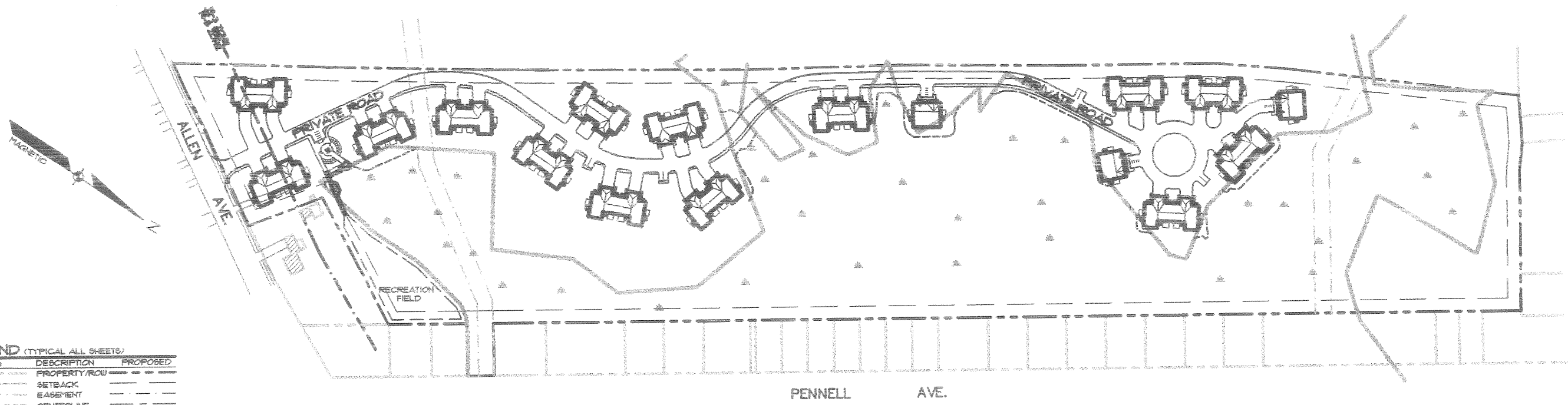
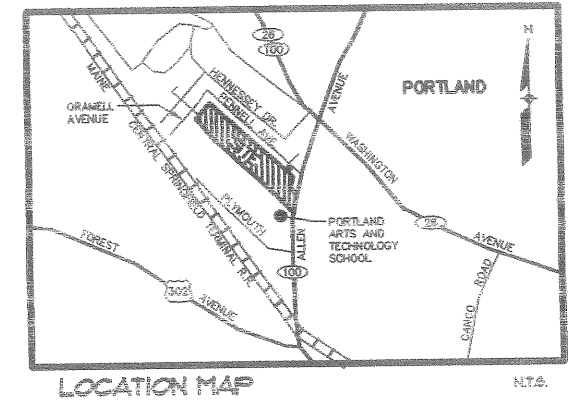


# WASHINGTON CROSSING

## CONDOMINIUMS

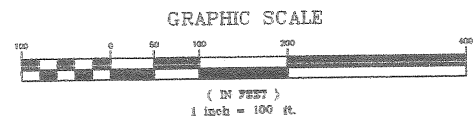
A 62 UNIT PLANNED  
RESIDENTIAL UNIT DEVELOPMENT

ALLEN AVENUE  
PORTLAND, MAINE



**LEGEND (TYPICAL ALL SHEETS)**

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
---	EASEMENT	---
---	CENTERLINE	---
---	MONUMENT	---
---	IRON PIPE/ROD CURVE/LINE NO.	---
---	BUILDINGS	---
---	WETLANDS	---
---	EDGE WETLAND SIGN	---
---	STREAM	---
---	ROCK OUTCROP	---
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CURBLINE	---
---	TREELINE	---
---	CONTOURS	---
---	GAS	---
---	WATER	---
---	SEWER	---
---	STORM DRAIN	---
---	FORCE MAIN	---
---	OVERHEAD ELEC. & TEL.	---
---	UNDERGROUND ELEC. & TEL.	---
---	GATE VALVE	---
---	LIGHT POLE	---
---	UTILITY POLE	---
---	HYDRANT	---
---	CATCH BASIN	---
---	MANHOLE	---
---	CULVERT	---
---	SPOT GRADE	---
---	CHAIN LINK FENCE	---
---	BARB WIRE FENCE	---
---	STOCKADE FENCE	---
---	STONE WALL	---
---	DECIDUOUS TREE	---
---	CONIFEROUS TREE	---
---	SILT FENCE	---
---	MATCH LINE	---



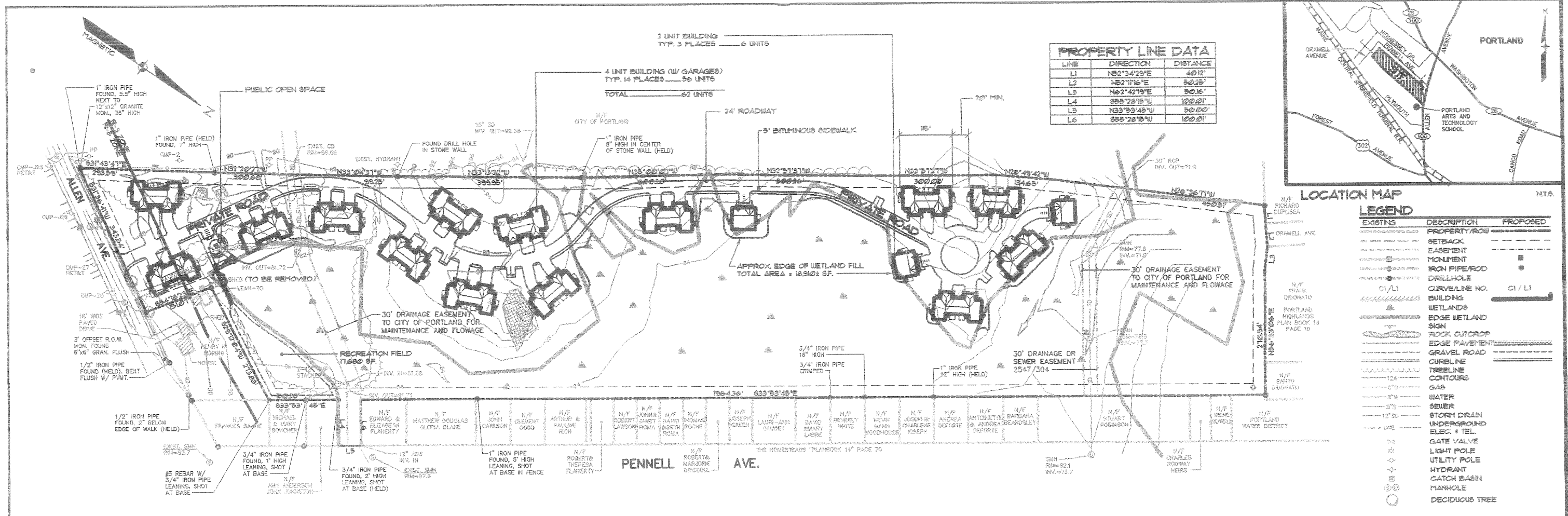
### SHEET INDEX

- 1 COVER SHEET
- 2 MASTER PLAN
- 3 SITE PLAN 1
- 4 SITE PLAN 2
- 5 PLAN & PROFILE 1
- 6 PLAN & PROFILE 2
- 7 LANDSCAPE & LIGHTING PLAN 1
- 8 LANDSCAPE & LIGHTING PLAN 2
- 9 DETAILS 1
- 10 DETAILS 2
- 11 DETAILS 3

**OWNER/APPLICANT: A.L.C. DEVELOPMENT CORP.**  
258 BLACK POINT ROAD  
SCARBOROUGH, MAINE 04074

**ENGINEER/SURVEYOR: SEBAGO TECHNICS, INC.**





LINE	DIRECTION	DISTANCE
L1	N82°34'23"E	40.11'
L2	N82°17'16"E	50.25'
L3	N62°42'19"E	50.16'
L4	S55°28'15"W	100.01'
L5	N33°53'45"W	50.00'
L6	S55°28'15"W	100.01'

**LOCATION MAP**

**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
---	EASEMENT	---
---	MONUMENT	---
---	IRON PIPE/ROD	---
---	DRILLHOLE	---
---	CURVE/LINE NO.	---
---	BUILDING	---
---	WETLANDS	---
---	EDGE WETLAND SIGN	---
---	ROCK OUTCROP	---
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CURBLINE	---
---	TREELINE	---
---	CONTOURS	---
---	GAS	---
---	WATER	---
---	SEWER	---
---	STORM DRAIN	---
---	UNDERGROUND ELEC. # TEL.	---
---	GATE VALVE	---
---	LIGHT POLE	---
---	UTILITY POLE	---
---	HYDRANT	---
---	CATCH BASIN	---
---	MANHOLE	---
---	DECIDUOUS TREE	---

**GENERAL NOTES**

- RECORD OWNER OF THE PROPERTY IS ALC DEVELOPMENT CORPORATION IN ACCORDANCE WITH A DEED RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS, PORTLAND, MAINE IN BOOK 1418, PAGE 320.
- THE PROPERTY IS LOCATED ON THE CITY OF PORTLAND ASSESSOR'S PLAN NO. 343, BLOCK C, SHOWN AS LOTS 14 AND 15, AND ASSESSOR'S PLAN NO. 344, BLOCK D, LOT 5.
- TOTAL AREA = 1,136,656 SQUARE FEET, OR 26.029 ACRES.
- PLAN REFERENCES:
  - A. PLAN OF PROPERTY IN PORTLAND, MAINE MADE FOR CITY OF PORTLAND, PORTLAND REGIONAL VOCATIONAL SCHOOL BY H. I. AND E. C. JORDAN, SURVEYORS, DATED 1913, REVISED THROUGH AUGUST 22, 1916 ON FILE AT THE CITY OF PORTLAND ENGINEER'S OFFICE IN FILE NO. 1066/A.
  - B. PLAN OF LAND OF HENRY NORRIS, ALLEN AVENUE, PORTLAND, MAINE FOR BRAD GATE ASSOCIATES DATED MAY 11, 1981 BY CIVIL CONSULTANTS ENGINEERS AND PLANNERS, SOUTH BERRICK, MAINE. PLAN IS UNRECORDED AND ON FILE AT CIVIL CONSULTANTS IN JOB FILE 86-218.
  - C. CITY OF PORTLAND, MAINE, DEPARTMENT OF PUBLIC WORKS, RIGHT-OF-WAY PLAN FOR PORTLAND REGIONAL VOCATIONAL TECHNICAL SCHOOL STORM SEWER BY THE CITY OF PORTLAND ENGINEERING DEPARTMENT DATED AUGUST 6, 1978, AN UNRECORDED PLAN ON FILE AT THE CITY OF PORTLAND ENGINEERING DEPARTMENT IN PLAN FILE NO. 666-5.
  - D. PORTLAND HIGHLANDS, PORTLAND, CUMBERLAND COUNTY, MAINE OWNED BY HR LOUD LAND COMPANY, INC., FORMERLY OWNED BY GEORGE F. REED DATED JULY 22, 1924 BY ERNEST W. BRANCH, CIVIL ENGINEER, QUINCY, MASSACHUSETTS, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 16, PAGE 10.
  - E. THE HOMESTEADS, PORTLAND, MAINE OWNED BY THE CITY AND SUBURBAN LAND TRUST, PROVIDENCE, RHODE ISLAND, SURVEYED BY E. C. JORDAN & COMPANY, CIVIL ENGINEERS, PORTLAND, MAINE DATED SEPTEMBER 1921, RECORDED IN SAID REGISTRY IN PLAN BOOK 14, PAGE 10.
- SUBJECT TO:
  - A. AN EASEMENT GRANTED BY HENRY N. AND BLANCHE B. NORRIS TO C. H. HANSON & CO., INC. AS DESCRIBED IN AN EASEMENT DEED DATED NOVEMBER 28, 1969 AND RECORDED IN SAID REGISTRY IN BOOK 2347, PAGE 304. SAID EASEMENT BEING A 30 FOOT WIDE STRIP OF LAND AS SHOWN HEREON CROSSING THE NORTHEASTERLY END OF THE PARCEL. THE PURPOSE OF SAID EASEMENT IS FOR THE CONSTRUCTION OF SURFACE WATER DRAINS OR SEWERS, TOGETHER WITH THE RIGHT TO ENTER UPON SAID STRIP AT ANY AND ALL TIMES IN ORDER TO CONSTRUCT, MAINTAIN, REPAIR, REBUILD, OR RECONSTRUCT THE SAME.
  - B. A STORM SEWER EASEMENT 30 FEET IN WIDTH AS SHOWN HEREON CROSSING THE SOUTHERLY END OF THE PARCEL. SAID 30 FOOT WIDE STORM SEWER EASEMENT SHOWN ON THE PLAN REFERENCED IN NOTE 4C. NO RECORDED EASEMENT DEED FOR THIS EASEMENT WAS FOUND IN SAID REGISTRY.

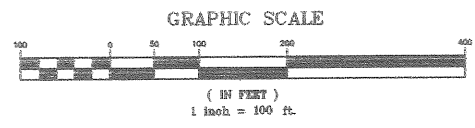
- BEARINGS SHOWN HEREON ARE MAGNETIC NORTH OF 1966, REFERENCED TO PLAN 4B.
- ELEVATIONS SHOWN HEREON ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1986 ESTABLISHED BY USING ASHTEC Z-M-GPS DUAL FREQUENCY RECEIVERS.
- THIS PLAN MAY BE SUBJECT TO REVISION UPON RECEIPT OF A TITLE OPINION.
- THE PROPERTY IS LOCATED IN THE R-3 AND R-5 ZONES.
- SPACE AND BULK REQUIREMENTS:
  - R-3 ZONE:
    - MINIMUM LOT SIZE: 6,000 SF.
    - MINIMUM STREET FRONTAGE: 50-FT.
    - MINIMUM FRONT YARD: 25-FT.
    - MINIMUM REAR YARD: 25-FT.
    - MINIMUM SIDE YARD: 8-FT.
    - (1 1/2 STORY): 14-FT.
    - (2 STORY): 16-FT.
    - MINIMUM LOT COVERAGE: 25%
    - MINIMUM LOT WIDTH: 18-FT.
    - MAXIMUM STRUCTURE HEIGHT: 28-FT.
    - MINIMUM LOT AREA PER DWELLING UNIT: 6,300 SF. NET LAND AREA
  - R-5 ZONE:
    - MINIMUM LOT SIZE: 6,000 SF.
    - MINIMUM STREET FRONTAGE: 50-FT.
    - MINIMUM FRONT YARD: 20-FT.
    - MINIMUM REAR YARD: 20-FT.
    - MINIMUM SIDE YARD (1 STORY): 8-FT.
    - (1 1/2 STORY): 12-FT.
    - (2 STORY): 14-FT.
    - MINIMUM DISTANCE BETWEEN BUILDING: 16-FT.
    - MAXIMUM LOT COVERAGE: 40%
    - MINIMUM LOT WIDTH (MULTIPLE): 30-FT.
    - (OTHER USES): 60-FT.
    - MAXIMUM STRUCTURE HEIGHT: 25-FT.
    - MAXIMUM LENGTH OF STRUCTURE: 140-FT. W/ INTERNAL GARAGES
- NET RESIDENTIAL CALCULATIONS:
  - TOTAL LOT AREA: 26.029 Ac.
  - STORMWATER DETENTION AREA: 0 Ac.
  - EXISTING WATERCOURSES: 0 Ac.
  - INACCESSIBLE AREAS: 0 Ac.
  - WETLANDS: 13.10 Ac.
  - AREAS ENCUMBERED BY EXISTING EASEMENTS OUTSIDE WETLANDS: 0.19 Ac.
  - SLOPES OF 25% OR GREATER: 0 Ac.
  - SUBTOTAL: 12.80 Ac.
  - 20% OF SUBTOTAL: 2.56 Ac.
  - NET RESIDENTIAL LAND AREA: 10.24 Ac. (446,054 SF.)
  - MAXIMUM NO. OF UNITS ALLOWED AT 1/6,500 SF.: 68 UNITS
  - NUMBER OF UNITS PROPOSED: 62 UNITS
- OPEN SPACE PROVIDED:
  - PUBLIC OPEN SPACE = 6,464 SF.
  - RECREATION FIELD = 17,600 SF.
  - TOTAL = 24,064 SF.
- AS PART OF THIS APPLICATION, A SEPARATE LANDSCAPING PLAN HAS BEEN SUBMITTED FOR REVIEW IN LIEU OF THE REQUIREMENT OF TWO TREES PER LOT/UNIT. ALL LANDSCAPING SHALL MEET THE CITY'S ARBORCULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES. THE DEVELOPER MAY CONTRACT FOR THE PLACEMENT OF LANDSCAPING, BUT SHALL REMAIN LIABLE TO THE CITY OF PORTLAND FOR FINANCIAL OBLIGATION FOR COMPLIANCE WITH CITY ORDINANCES AND APPROVALS. SUCH FINANCIAL OBLIGATION SHALL BE NEITHER TRANSFERABLE NOR WAIVERABLE BY THE DEVELOPER.
- THE ACTIVE RECREATION AREA SHALL BE FOR THE USE OF ALL THE HOMEOWNERS ASSOCIATIONS BOUNDED BY AGREEMENT, OR DOCUMENTS, TO WASHINGTON CROSSING CONDOMINIUMS.
- ALL ELECTRIC, TELEPHONE AND CABLE T.V. SERVICES SHALL BE UNDERGROUND AND IN CONFORMANCE WITH CENTRAL MAINE POWER CO., BELL ATLANTIC TELEPHONE CO. AND TIME WARNER CABLE T.V. CO. STANDARDS.

- ALL WATER MAINS, SERVICES AND ASSOCIATED APPURTENANCES SHALL BE IN CONFORMANCE WITH PORTLAND WATER DISTRICT STANDARDS.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
- PRIOR TO ANY BLASTING THE APPLICANT AND/OR CONTRACTOR SHALL ACQUIRE ALL NECESSARY BLASTING PERMITS FROM THE CITY OF PORTLAND FIRE DEPARTMENT AND CODE ENFORCEMENT DEPARTMENT.

**APPROVAL - CITY OF PORTLAND PLANNING BOARD**

DATE: \_\_\_\_\_

CHAIRPERSON: \_\_\_\_\_



G	SMF	4-8-99	REVISE PER PLAN REVIEW COMMENTS
F	SMF	2-25-99	REVISE SITE PLAN SUBMISSION TO CITY
E	SMF	2-5-99	SITE PLAN SUBMISSION TO CITY
D	JRP	1-28-99	LAYOUT REVISIONS
C	JRP	8-25-98	RESUBMITTED FOR PLANNING BOARD REVIEW
B	JRP	4-21-98	LAYOUT REVISIONS
A	JRP	3-27-98	PLANNING STAFF REVIEW

REV. BY: \_\_\_\_\_ DATE: \_\_\_\_\_ STATUS: \_\_\_\_\_

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**MASTER PLAN**

OF: **WASHINGTON CROSSING CONDOMINIUMS**  
ALLEN AVENUE  
PORTLAND, MAINE

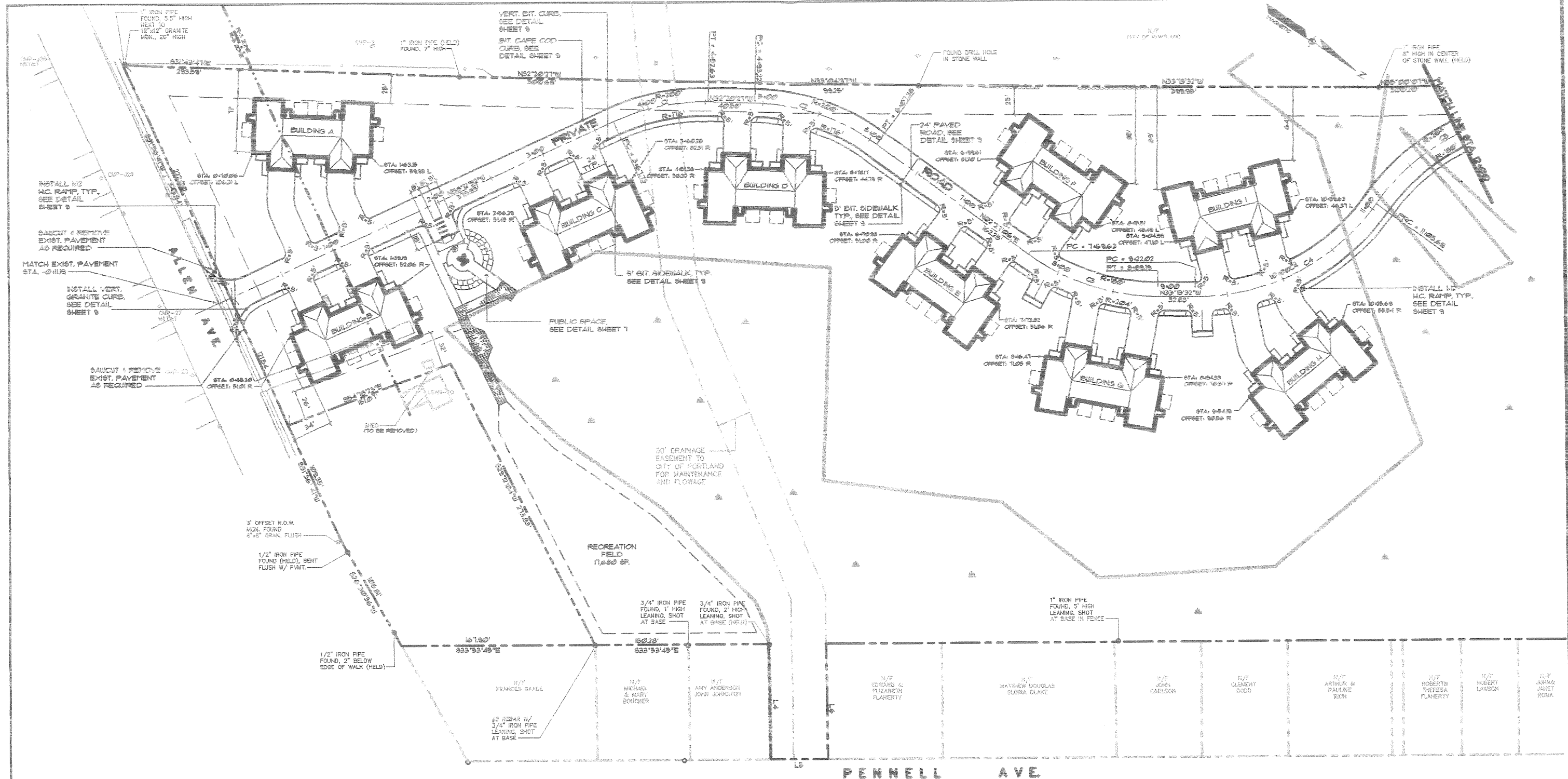
FOR: **A.L.C. DEVELOPMENT CORP.**  
258 BLACK POINT ROAD  
SCARBOROUGH, MAINE 04074

DESIGN BY: JLW/SMF  
DRAWN BY: IFH  
CHECKED BY: SMF  
DATE: 10-10-97  
SCALE: 1"=100'  
FIELD BK: 599  
PROJ. NO: 97380  
DRAWING: 97380MP

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WESTBROOK, ME 04098-1339  
TEL (207) 856-0277

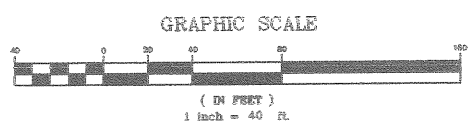
**SHEET 2 OF 11**





**CENTERLINE CURVE DATA**

CURVE	LENGTH	RADIUS	DELTA
C1	84.90'	180.00'	28°27'25"
C2	144.16'	180.00'	34°41'33"
C3	118.66'	180.00'	35°40'38"
C4	183.66'	180.00'	54°49'24"
C5	177.11'	180.00'	53°01'49"



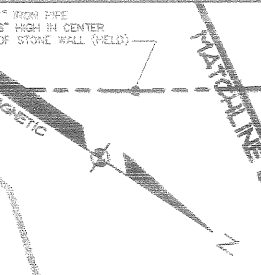
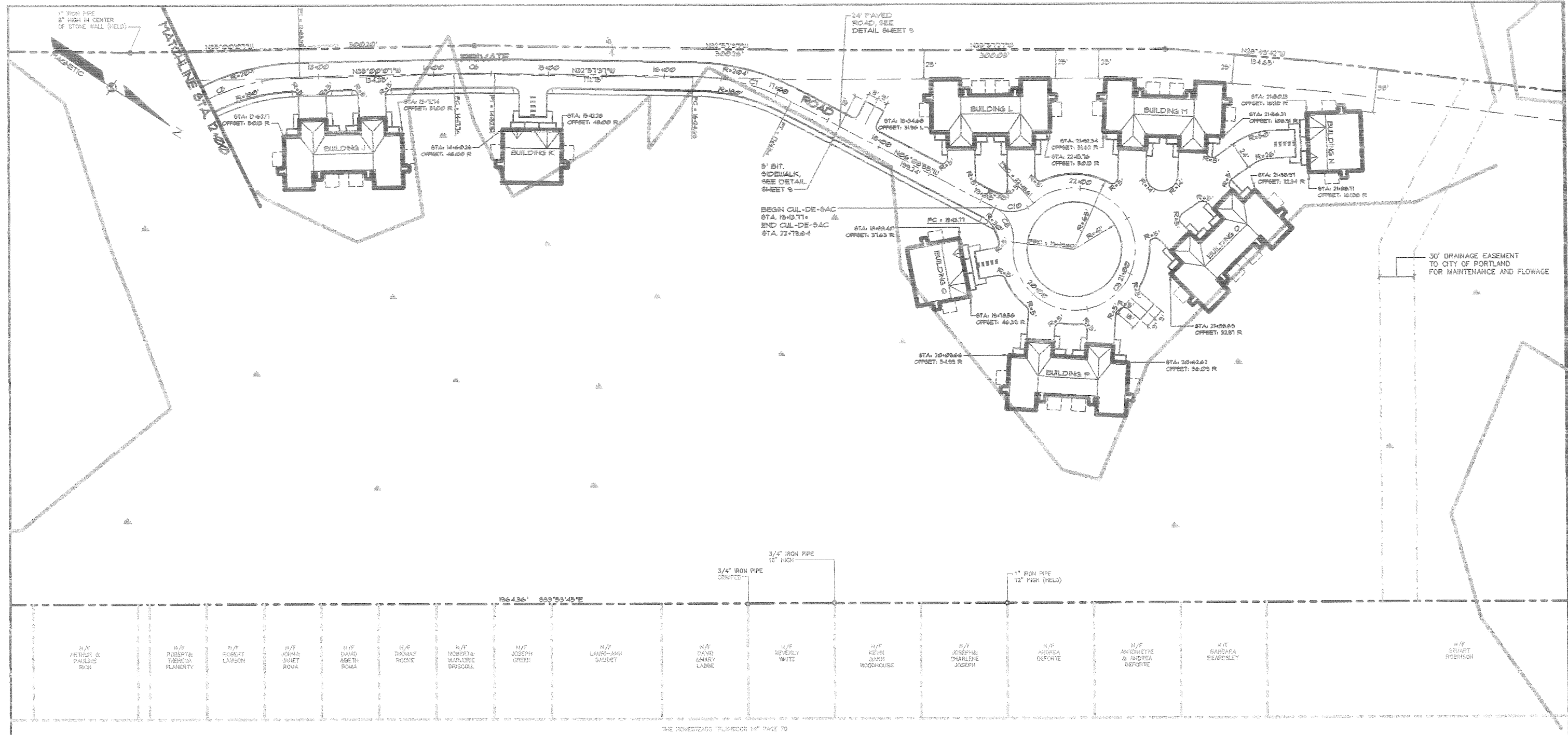
REV.	BY:	DATE:	STATUS:
C	SMF	4-8-99	REVISE PER PLAN REVIEW COMMENTS
B	SMF	3-25-99	REVISE SITE PLAN SUBMISSION TO CITY
A	SMF	2-5-99	SITE PLAN SUBMISSION TO CITY

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNIQS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNIQS, INC.

**SITE PLAN (STA. -04+11.16 TO STA. 12+00)**  
 OF:  
**WASHINGTON CROSSING CONDOMINIUMS**  
 ALLEN AVENUE  
 PORTLAND, MAINE  
 FOR:  
**A.L.C. DEVELOPMENT CORP.**  
 258 BLACK POINT ROAD  
 SCARBOROUGH, MAINE 04074

**Sebago Technics**  
 Engineering & Planning for the Future  
 12 WESTBROOK COMMON  
 WESTBROOK, ME 04098-1339  
 TEL (207) 856-0277

DESIGN BY: JLV/SMF  
 DRAWN BY: TFH  
 CHECKED BY: SMF  
 DATE: 11-4-98  
 SCALE: 1"=40'  
 FIELD BK: 599  
 PROJ. NO: 97380  
 DRAWING: 97380S1  
**SHEET 3 OF 11**



**CENTERLINE CURVE DATA**

CURVE	LENGTH	RADIUS	DELTA
C5	171.71	182.00	53°01'49"
C6	35.21	388.00	07°02'30"
C7	83.85	182.00	26°48'42"
C8	36.82	30.00	68°48'40"
C9	73.81	53.00	311°31'19"
C10	36.23	30.00	68°48'40"

**PENNELL AVE**

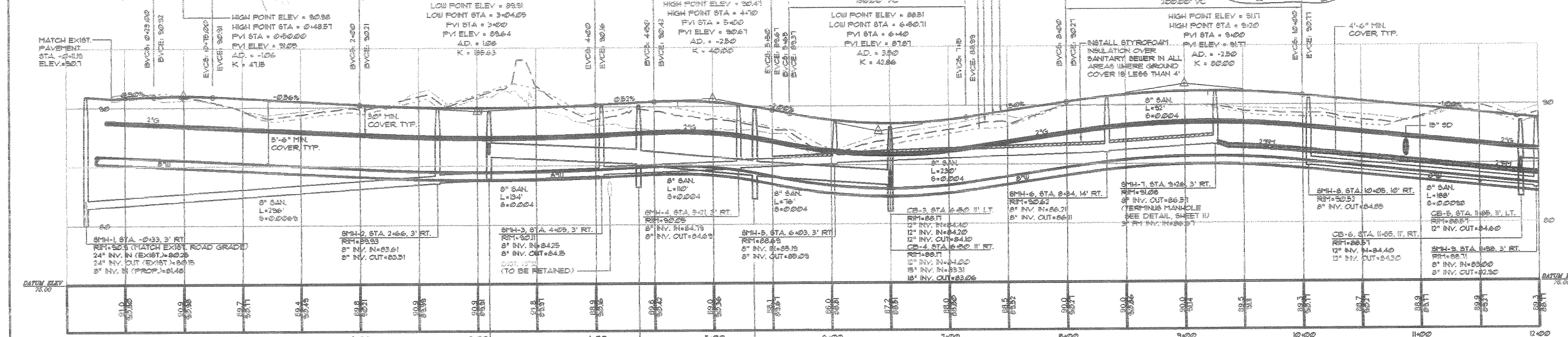
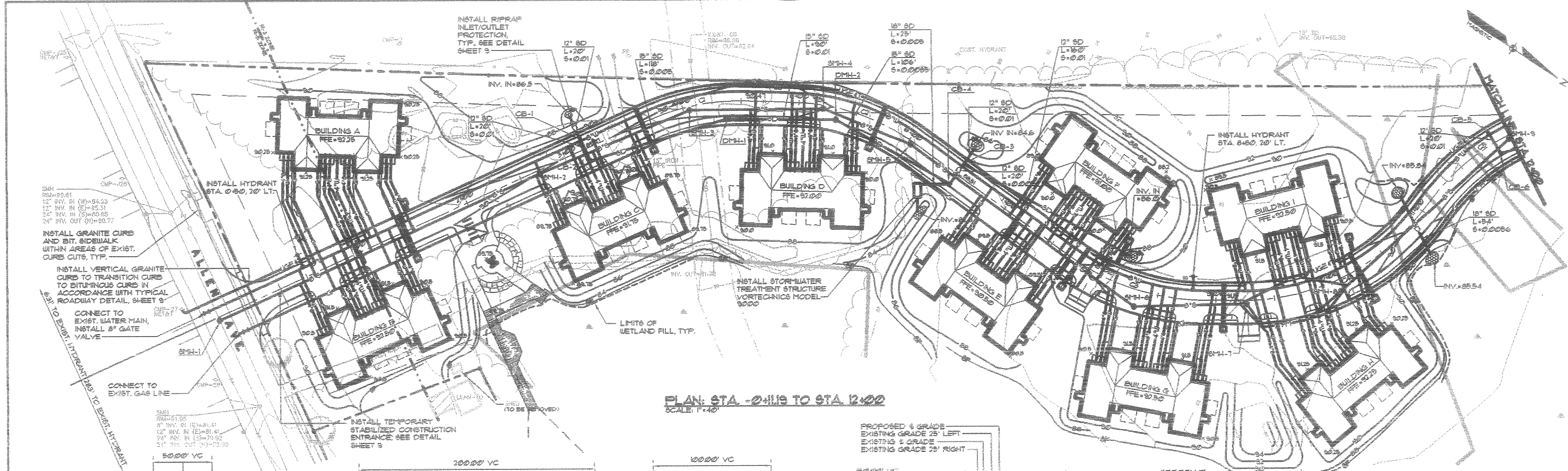
C	SMF	4-8-99	REVISE PER PLAN REVIEW COMMENTS
B	SMF	3-25-99	REVISE SITE PLAN SUBMISSION TO CITY
A	SMF	2-5-99	SITE PLAN SUBMISSION TO CITY
REV:	BY:	DATE:	STATUS:

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**SITE PLAN 2 (STA. 12+00 TO STA. 22+78.64)**  
 OF:  
**WASHINGTON CROSSING CONDOMINIUMS**  
 ALLEN AVENUE  
 PORTLAND, MAINE  
 FOR:  
**A.L.C. DEVELOPMENT CORP.**  
 258 BLACK POINT ROAD  
 SCARBOROUGH, MAINE 04074



DESIGN BY:	JLW/SMF
DRAWN BY:	TFH
CHECKED BY:	SMF
DATE:	11-4-98
SCALE:	AS SHOWN
FIELD BK:	599
PROJ. NO.:	97380
DRAWING:	97380S2
<b>SHEET 4 OF 11</b>	



CENTERLINE CURVE DATA			
CURVE	LENGTH	RADIUS	DELTA
C1	84.90'	188.00'	25°52'28"
C2	114.16'	188.00'	34°41'33"
C3	119.56'	182.00'	35°40'38"
C4	103.66'	182.00'	54°48'24"
C5	171.71'	182.00'	53°01'48"

**GENERAL NOTES:**

- CATCH BASINS LOCATED ON THE SAME SIDE OF THE ROADWAY AS THE WATERMAIN SHALL BE INSTALLED WITH ECCENTRIC CONES. THE OFFSETS DEPICTED ON THESE PLANS ARE TO THE CENTER OF THE GRATE. THE STRUCTURE SHALL BE SET SUCH THAT THE MAJORITY OF THE STRUCTURE IS BEHIND THE CURB.
- THE 4" WATER SERVICE TO EACH BUILDING IS A COMMON FIRE SUPPRESSION SERVICE FOR THE SPRINKLER SYSTEM.
- THE INDIVIDUAL WATER SERVICES TO EACH UNIT SHALL BE 1/2" COPPER TUBING.
- THE INDIVIDUAL SEWER SERVICES SHALL BE 4" PVC SDR 35 PIPE.
- ALL SUBSURFACE STORM DRAIN SHALL BE HDPE OR APPROVED EQUAL.

REV.	BY:	DATE:	STATUS:
C	SMF	4-8-99	REVISE PER PLAN REVIEW COMMENTS
B	SMF	3-25-99	REVISED SITE PLAN SUBMISSION TO CITY
A	SMF	2-5-99	SITE PLAN SUBMISSION TO CITY

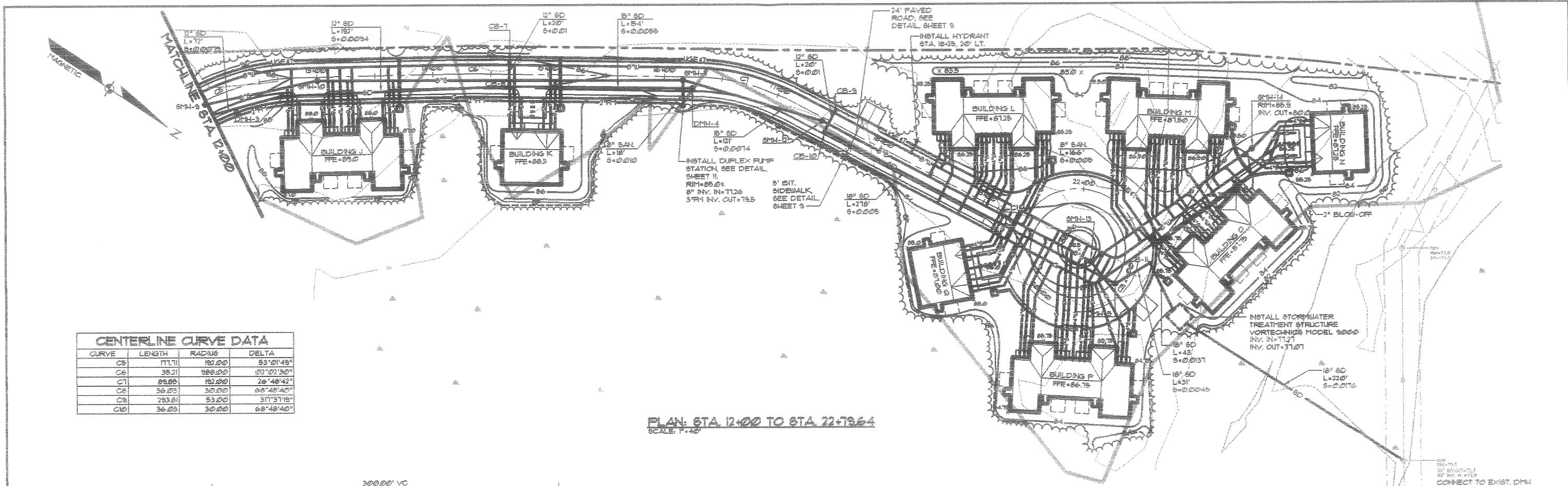
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**PLAN & PROFILE 1 (STA. -0+11.19 TO STA. 12+00)**  
OF:  
**WASHINGTON CROSSING CONDOMINIUMS**  
ALLEN AVENUE  
PORTLAND, MAINE  
FOR:  
**A.L.C. DEVELOPMENT CORP.**  
258 BLACK POINT ROAD  
SCARBOROUGH, MAINE 04074



DESIGN BY:	J.W./SMF
DRAWN BY:	IFH
CHECKED BY:	SMF
DATE:	11-4-98
SCALE:	1"=40'
FIELD BK:	599
PROJ. NO.:	97380
DRAWING:	97380P1
<b>SHEET 5 OF 11</b>	

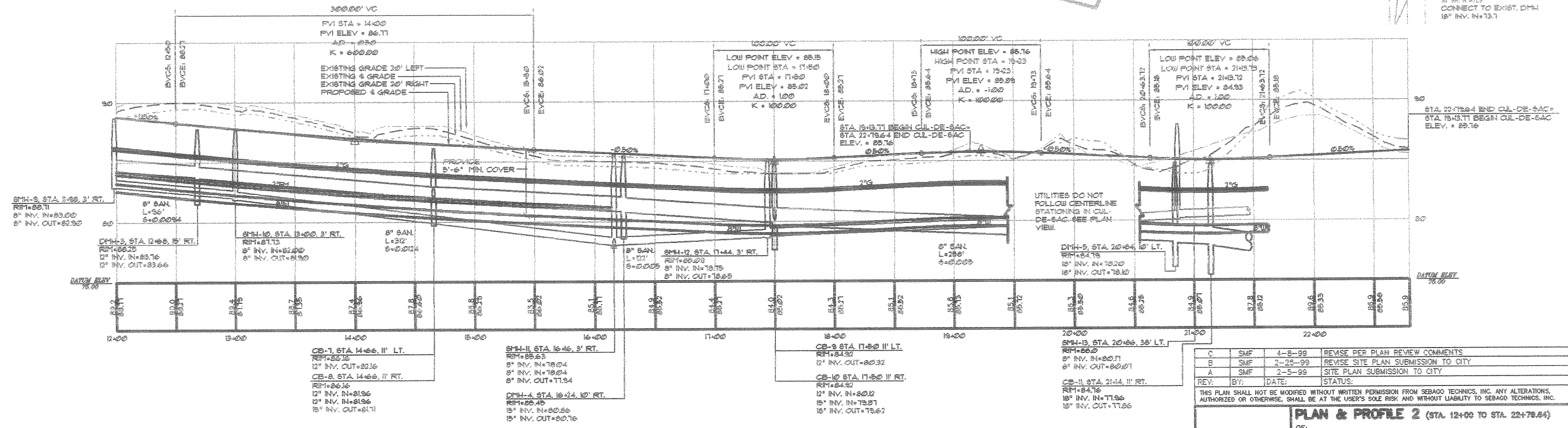




**CENTERLINE CURVE DATA**

CURVE	LENGTH	RADIUS	DELTA
CB	111.11	182.00	55°21'49"
CB	35.31	588.00	22°02'30"
CB	89.85	182.00	76°48'42"
CB	36.05	30.00	68°48'40"
CB	193.81	53.00	317°37'19"
CB	36.05	30.00	68°48'40"

**PLAN: STA 12+00 TO STA 22+79.64**  
SCALE: 1"=40'



**PROFILE: STA 12+00 TO STA 22+79.64**  
SCALE: 1"=40' HORIZ.  
1"=4' VERT.

- GENERAL NOTES:**
- CATCH BASINS LOCATED ON THE SAME SIDE OF THE ROADWAY AS THE WATERMAIN SHALL BE INSTALLED WITH ECCENTRIC CONES. THE OFFSETS DEPICTED ON THESE PLANS ARE TO THE CENTER OF THE GRATE. THE STRUCTURE SHALL BE SET SUCH THAT THE MAJORITY OF THE STRUCTURE IS BEHIND THE CURB.
  - THE 4" WATER SERVICE TO EACH BUILDING IS A COMMON FIRE SUPPRESSION SERVICE FOR THE SPRINKLER SYSTEM.
  - THE INDIVIDUAL WATER SERVICES TO EACH UNIT SHALL BE 1/2" COPPER TUBING.
  - THE CUL-DE-SAC IS SUPERELEVATED TO THE OUTSIDE CURB LINE.
  - THE INDIVIDUAL SEWER SERVICES SHALL BE 4" PVC SDR 35 PIPE.
  - ALL SUBSURFACE STORM DRAIN SHALL BE HDPE OR APPROVED EQUAL.

REV.	BY:	DATE:	STATUS:
C	SMF	4-8-99	REVISE PER PLAN REVIEW COMMENTS
B	SMF	2-25-99	REVISE SITE PLAN SUBMISSION TO CITY
A	SMF	2-5-99	SITE PLAN SUBMISSION TO CITY

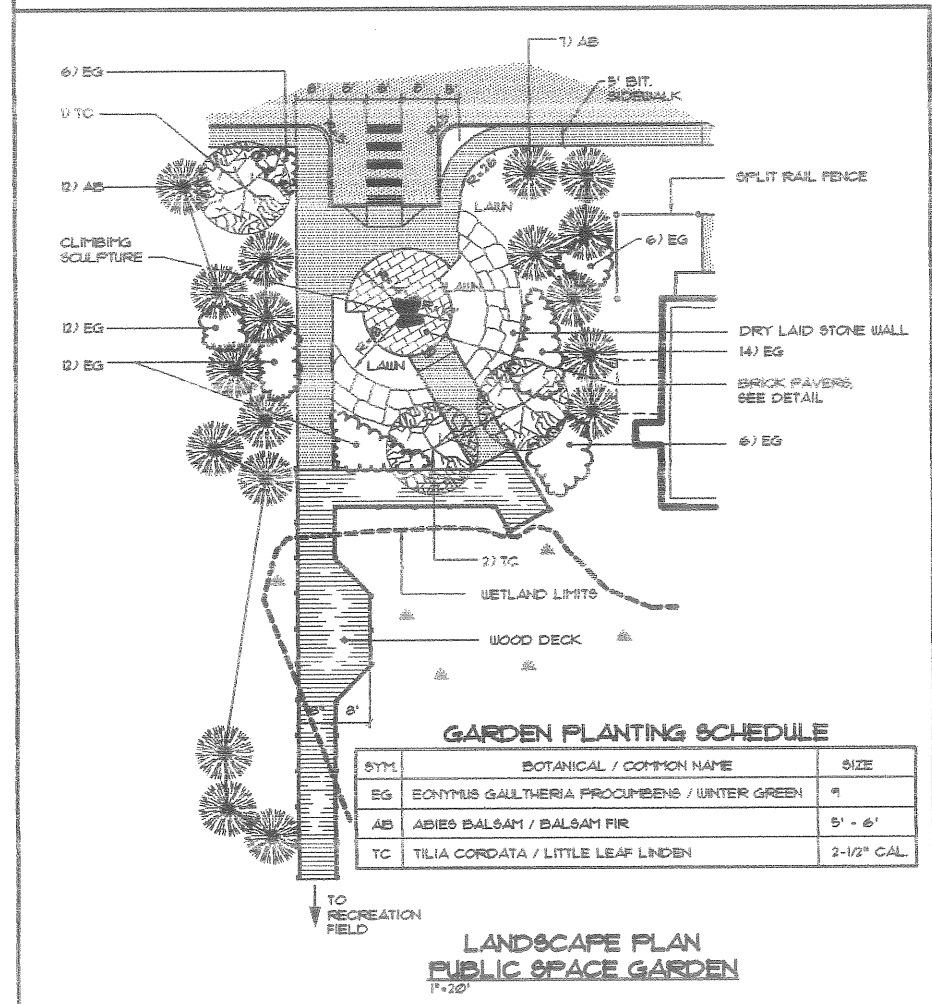
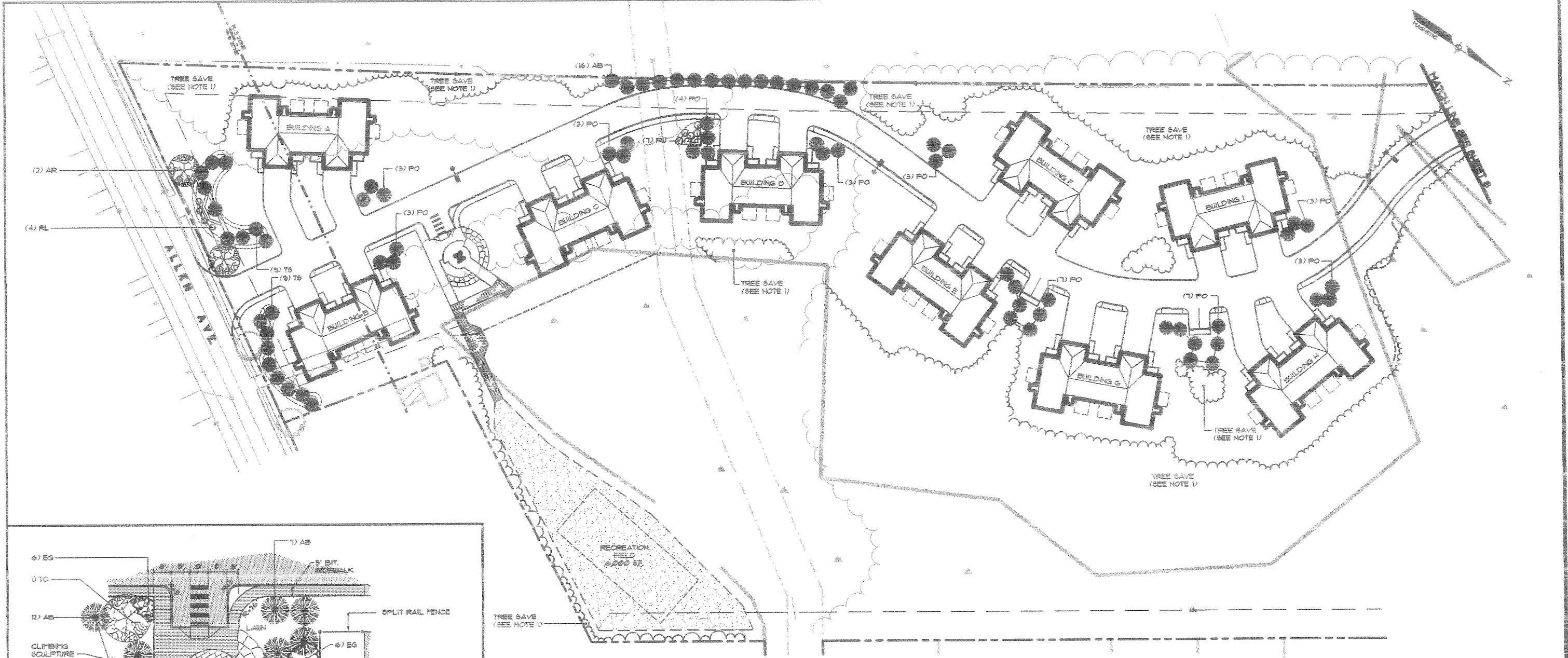
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**PLAN & PROFILE 2 (STA. 12+00 TO STA. 22+79.64)**  
OF:  
**WASHINGTON CROSSING CONDOMINIUMS**  
ALLEN AVENUE  
PORTLAND, MAINE

FOR:  
**A.L.G. DEVELOPMENT CORP.**  
258 BLACK POINT ROAD  
SCARBOROUGH, MAINE 04074

DESIGN BY: JLW/SMF  
DRAWN BY: TTH  
CHECKED BY: SMF  
DATE: 11-4-98  
SCALE: AS SHOWN  
FIELD BK: 599  
PROJ. NO: 97380  
DRAWING: 97380P2  
**SHEET 6 OF 11**

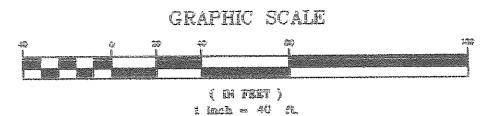
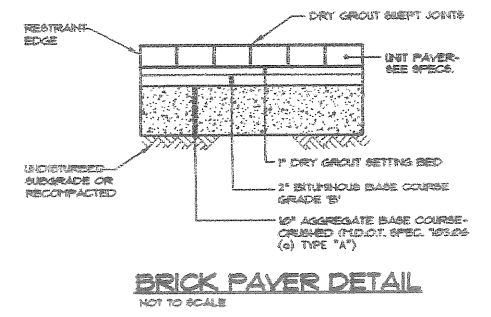
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**STREETSCAPE PLANTING SCHEDULE**

TREES			SHRUBS		
SYM.	BOTANICAL / COMMON NAME	SIZE	SYM.	BOTANICAL / COMMON NAME	SIZE
MK	MALUS KATHERINE / KATHERINE CRAB APPLE	1 1/2" - 2"	EA	EUONYMUS ALATUS / WINGED SPINDLETREE	2' - 2 1/2'
TC	TILIA CORDATA 'GREENSPIRE' / GREENSPIRE LINDEN	2 1/2" - 3"	RL	RHODODENDRON LAETEVIRENS / WILSON RHODODENDRON	10" - 12"
FA	FRAXINUS AMERICANA 'AUTUMN PURPLE' / AUTUMN PURPLE WHITE ASH	2 1/2" - 3"	RW	RHODODENDRON 'WINDBEAM' / WINDBEAM RHODODENDRON	5'
TO	THUJA OCCIDENTALIS 'PENDULA' / CEDAR	2' - 3'			
AB	ABIES BALSAMICA / BALSAM FIR	4' - 5'			
AR	ACER RUBRUM / RED MAPLE	2 1/2" - 3"			
PO	PICEA CHOROKA 'PENDULA' / SERBIAN SPRUCE	9"			
TS	TSUGA CANADENSIS 'SARGENTI' / WEEPING HEMLOCK	2 1/2" - 3"			

- NOTES:**
- BEFORE CONSTRUCTION OF DEVELOPMENT BEGINS, THE APPLICANT WILL FLAG TREE SAVE AREAS AND NOTIFY THE CITY ARBORIST. AT THAT TIME, THE CITY ARBORIST WILL DETERMINE WHETHER THESE TREES MAY BE SAVED. PROTECTIVE BARRIERS SHALL BE ERRECTED OUTSIDE THE DRIP-LINE OF THE INDIVIDUAL GROUPINGS OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION.
  - SEE SHEET 8 FOR TYPICAL DUPLEX AND FOURPLEX PLANTINGS AND PLANTING SCHEDULE.
  - SEE SHEET 8 FOR PLANTING DETAILS.



C	SMF	4-8-98	REVISE PER PLAN REVIEW COMMENTS
B	SMF	2-25-98	RESUBMIT SITE PLAN SUBMISSION TO CITY
A	SMF	2-5-98	SITE PLAN SUBMISSION TO CITY
REV:	BY:	DATE:	STATUS:

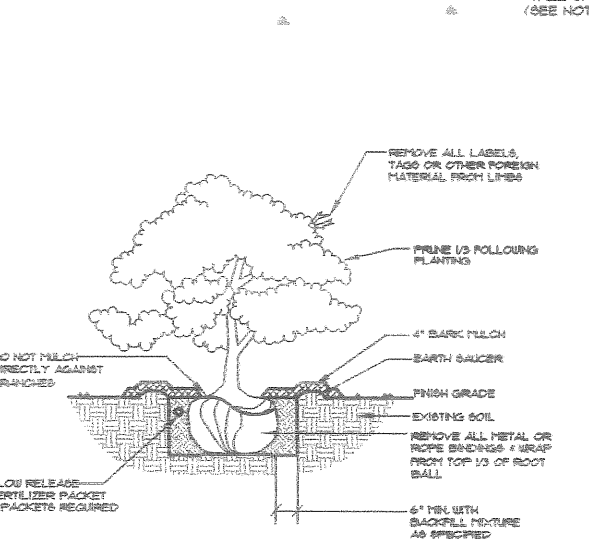
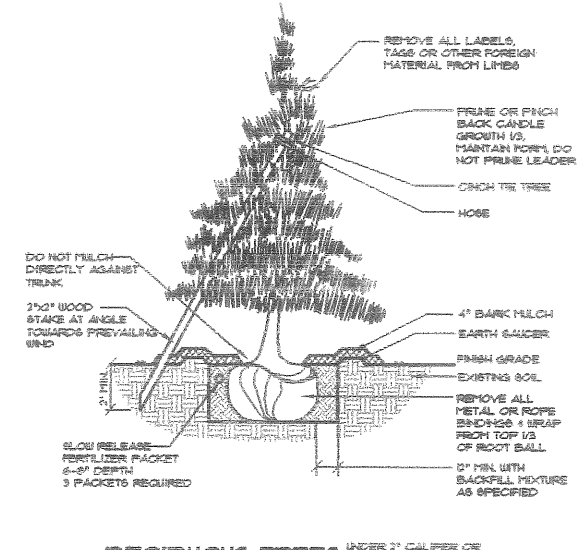
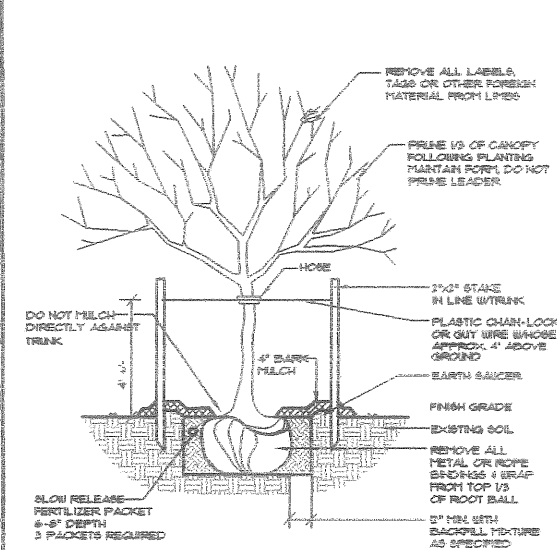
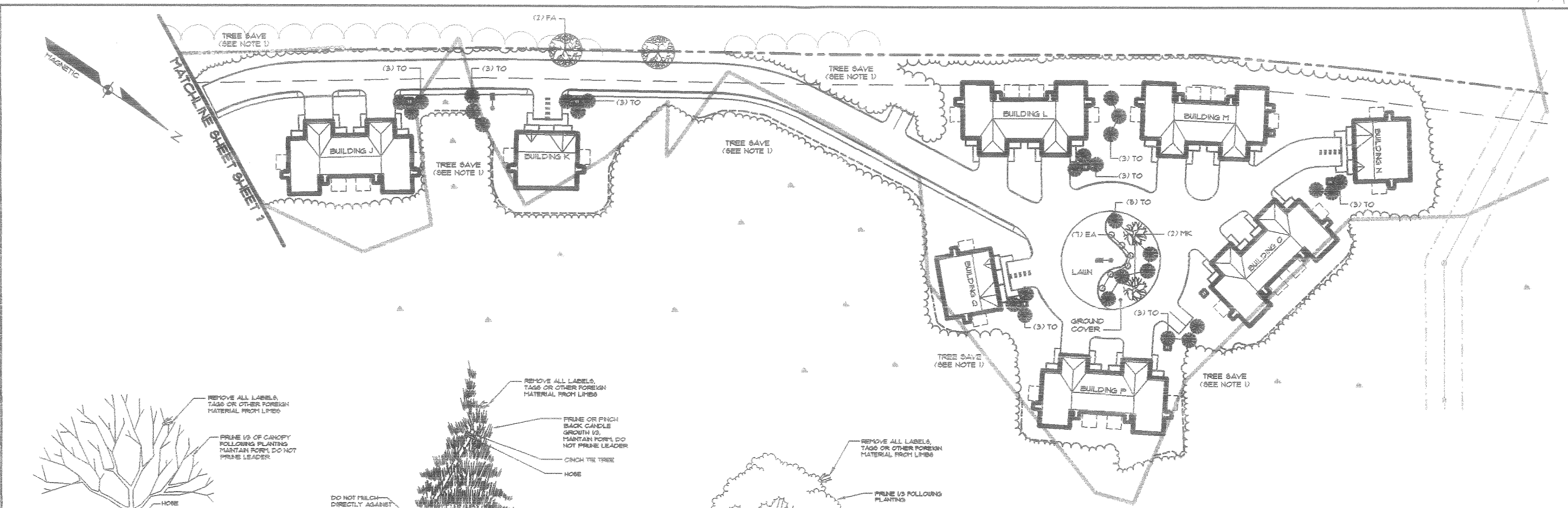
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**LANDSCAPE & LIGHTING PLAN 1**  
OF:  
**WASHINGTON CROSSING CONDOMINIUMS**  
ALLEN AVENUE  
PORTLAND, MAINE  
FOR:  
**A.L.C. DEVELOPMENT CORP.**  
258 BLACK POINT ROAD  
SCARBOROUGH, MAINE 04074

**Sebago Technics**  
Engineering & Planning for the Future  
12 WESTBROOK COMMON  
WESTBROOK, ME 04098-1339  
TEL (207) 856-0277

DESIGN BY:	JRP
DRAWN BY:	TFH
CHECKED BY:	WTC
DATE:	12-16-98
SCALE:	1" = 40'
FIELD BK:	599
PROJ. NO:	97380
DRAWING:	97380L1
<b>SHEET 7 OF 11</b>	



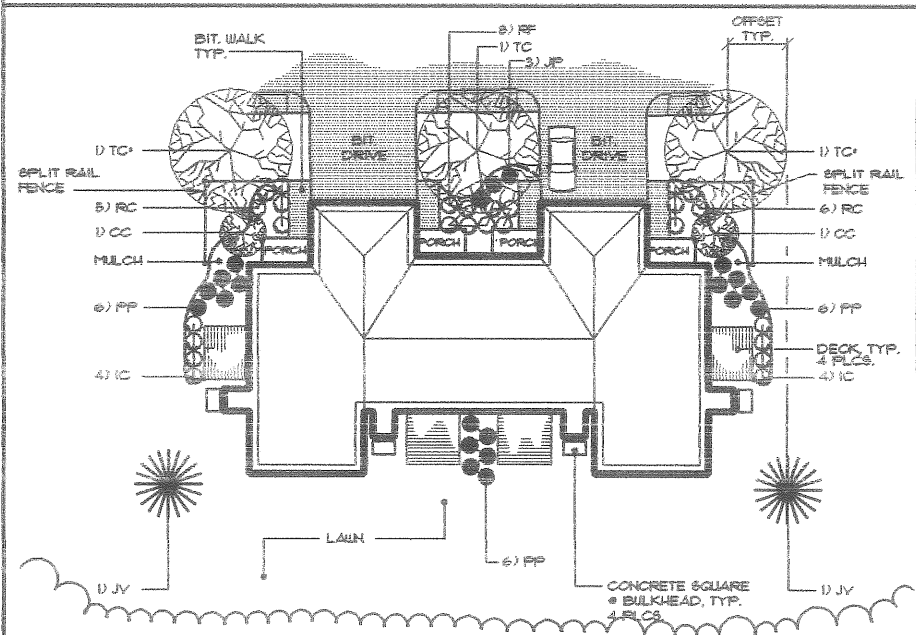


**NOTES:**  
 1. BEFORE CONSTRUCTION OF DEVELOPMENT BEGINS, THE APPLICANT WILL FLAG TREE SAVE AREAS AND NOTIFY THE CITY ARBORIST. AT THAT TIME, THE CITY ARBORIST WILL DETERMINE WHETHER THESE TREES MAY BE SAVED. PROTECTIVE BARRIERS SHALL BE ERECTED OUTSIDE THE DRIP-LINE OF THE INDIVIDUAL GROUPINGS OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION.

**DECIDUOUS TREES** 2" TO 4" CALIPER  
 NOT TO SCALE

**EVERGREEN TREES** UNDER 7" CALIPER OR UNDER 8' IN HEIGHT  
 NOT TO SCALE

**DECIDUOUS & EVERGREEN SHRUB**  
 NOT TO SCALE

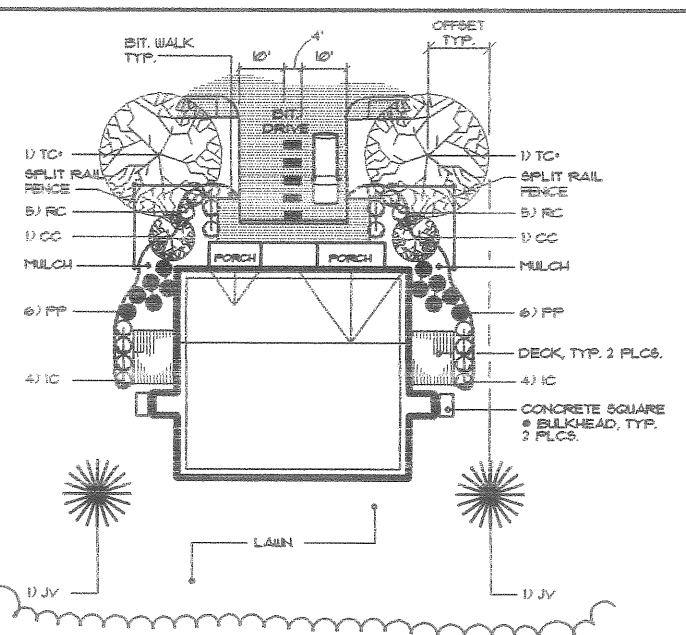


**LANDSCAPING PLAN TYPICAL 4-PLEX**  
 1"=20'

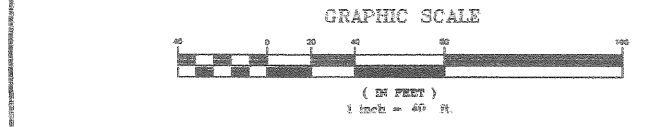
**TYPICAL DUPLEX AND FOURPLEX PLANTING SCHEDULE**

SYM.	BOTANICAL / COMMON NAME	SIZE
TC	TILIA CORDATA 'GREENSPIRE' / GREENSPIRE LINDEN	2 1/2" - 3'
PP	PICEA PUNGENS 'TAT ALBERT' / COLORADO BLUE SPRUCE	3' - 3 1/2'
JV	JUNIPERUS VIRGINIANA / EMERALD SENTINEL	6' - 8'
CC	CRATAEGUS CRUGGALLI 'TOBA' / HAWTHORN	5' - 6'
FA	FRAXINUS AMERICANA 'AUTUMN PURPLE' / AUTUMN PURPLE WHITE ASH	2 1/2" - 3'
RF	ROSA MULTIFLORA / MULTIFLORA ROSE	12" - 18"
JF	JUNIPERUS PFTIZERIANA COMPACTA / PFTIZER JUNIPER	2"
RC	RHODODENDRON CAROLINIANUM / CAROLINA RHODODENDRON	2' - 2 1/2'
IC	ILEX CRENATA 'COMPACTA' / DWARF JAPANESE HOLLY	12" - 15"

\* TC LOCATION ON TYPICAL LANDSCAPE PLAN WILL YIELD TO STREET PLANTING PROGRAM.



**LANDSCAPING PLAN TYPICAL DUPLEX**  
 1"=20'

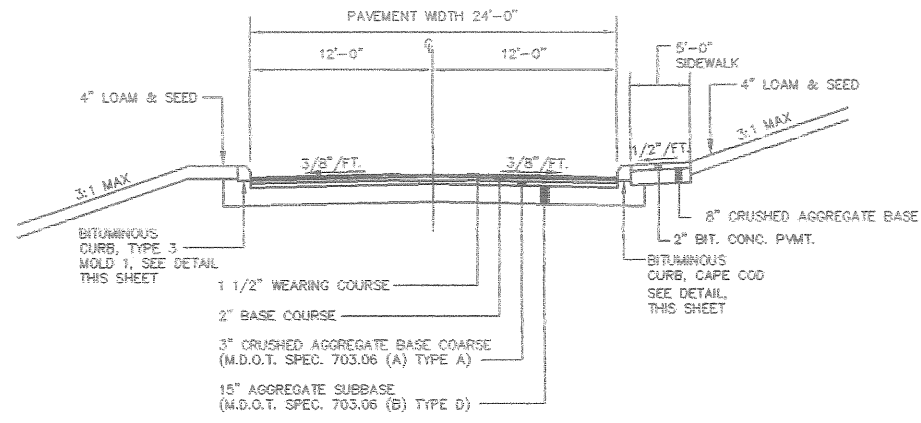


C	SMF	4-8-99	REVISE PER PLAN REVIEW COMMENTS
B	SMF	3-25-99	REVISE SITE PLAN SUBMISSION TO CITY
A	SMF	2-5-99	SITE PLAN SUBMISSION TO CITY
REV:	BY:	DATE:	STATUS:

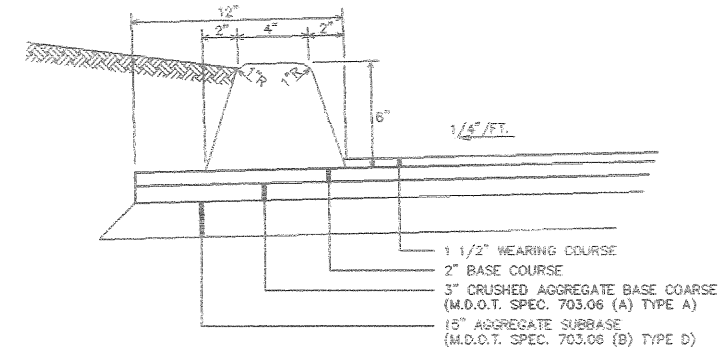
**LANDSCAPE & LIGHTING PLAN 2**  
 OF:  
**WASHINGTON CROSSING CONDOMINIUMS**  
 ALLEN AVENUE  
 PORTLAND, MAINE  
 FOR:  
**A.L.C. DEVELOPMENT CORP.**  
 258 BLACK POINT ROAD  
 SCARBOROUGH, MAINE 04074

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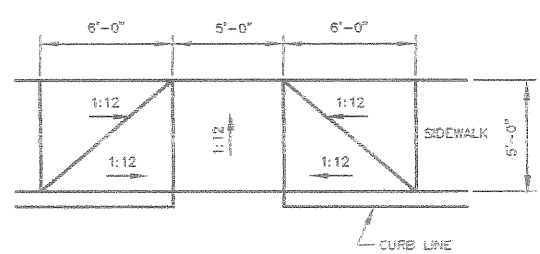
DESIGN BY: JRP  
 DRAWN BY: TFH  
 CHECKED BY: WTC  
 DATE: 11-4-98  
 SCALE: AS SHOWN  
 FIELD BK: 599  
 PROJ. NO: 97360  
 DRAWING: 97380L2  
**SHEET 8 OF 11**



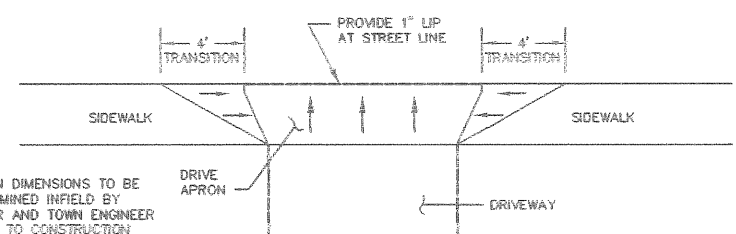
**TYPICAL ROADWAY SECTION**  
NOT TO SCALE



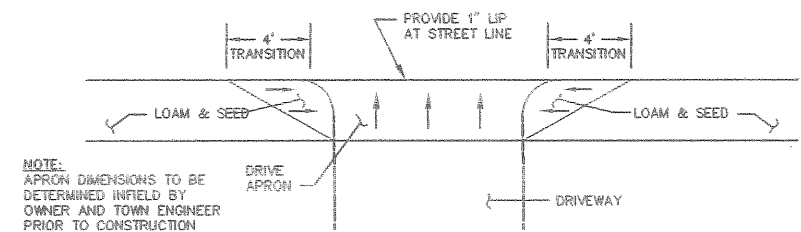
**BITUMINOUS CURB SECTION (TYPE 3, MOLD 1)**  
NOT TO SCALE



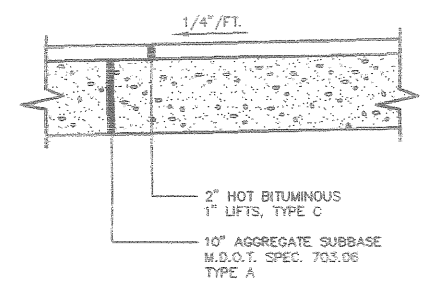
**HANDICAP RAMP**  
NOT TO SCALE



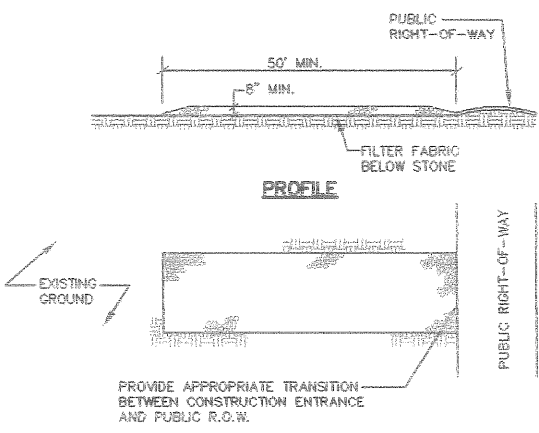
**TYPICAL DRIVE APRON DETAIL WITH SIDEWALK**  
NOT TO SCALE



**TYPICAL DRIVE APRON DETAIL WITHOUT SIDEWALK**  
NOT TO SCALE



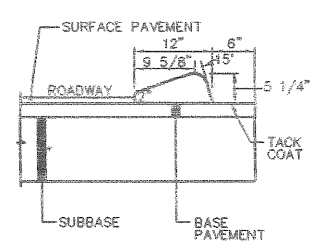
**BITUMINOUS SIDEWALK**  
NOT TO SCALE



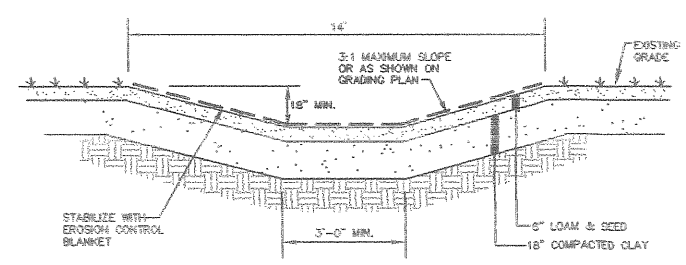
**PLAN**

- NOTES:
1. STONE SIZE- AASHTO DESIGNATION #43, SIZE NO. 2 (2 1/2" TO 1 1/2"). USE CRUSHED STONE.
  2. LENGTH- AS SHOWN ON PLANS, MIN. 50 FEET.
  3. THICKNESS- NOT LESS THAN EIGHT (8) INCHES.
  4. WIDTH- NOT LESS THAN FULL WIDTH OF ALL POINT OF INGRESS OR EGRESS.
  5. MAINTENANCE- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

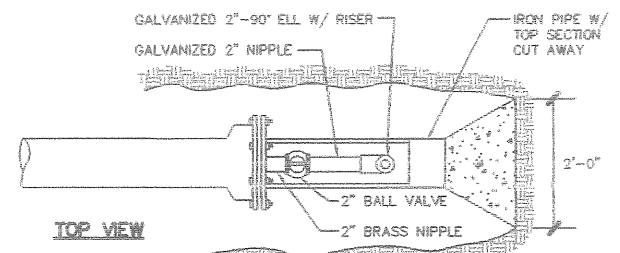
**STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE



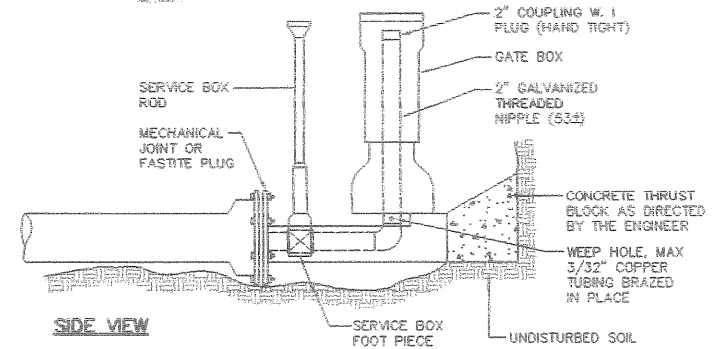
**BITUMINOUS CAPE COD CURB**  
NOT TO SCALE



**GRASSED SWALE**  
NOT TO SCALE

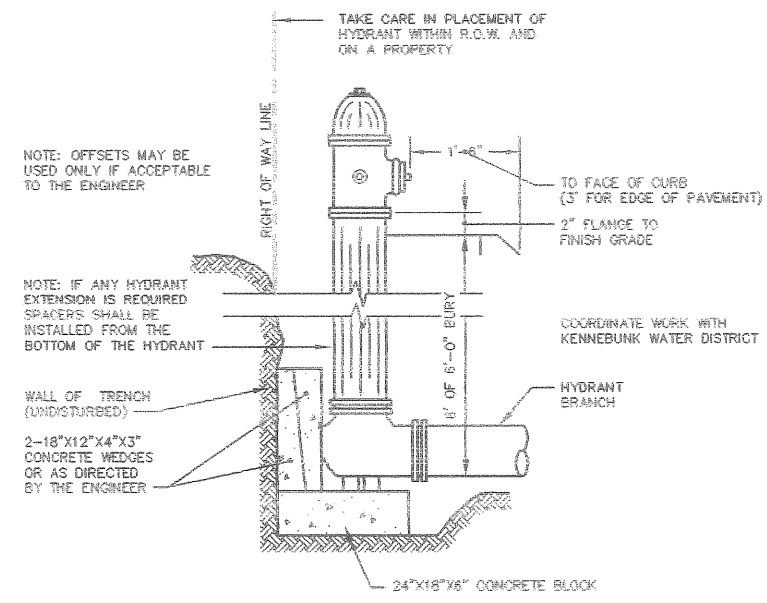


**TOP VIEW**

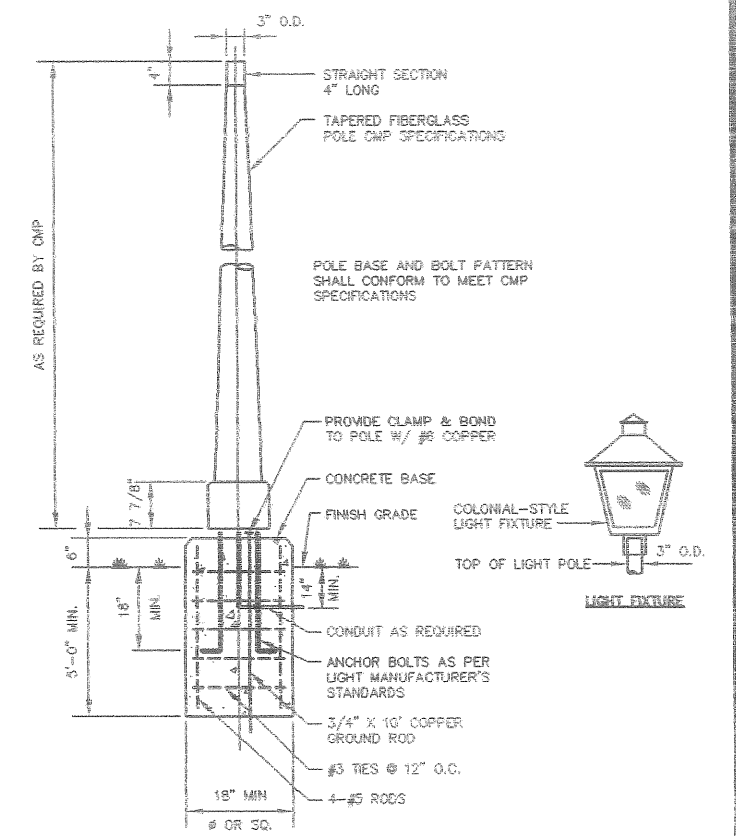


**SIDE VIEW**

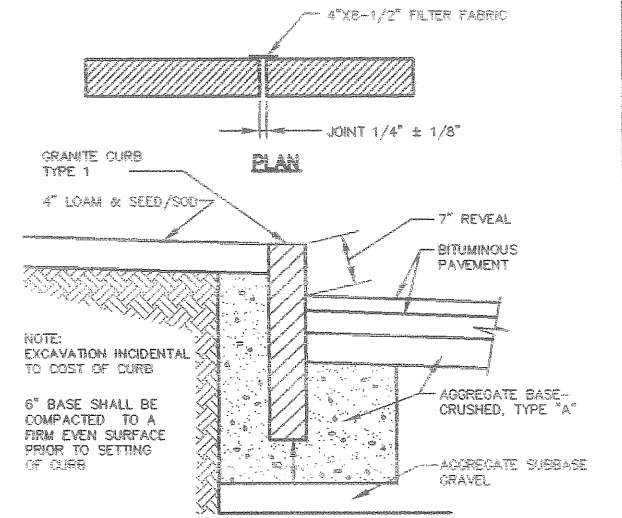
**STANDARD 2\"/> NOT TO SCALE**



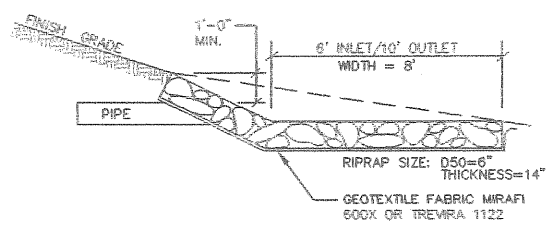
**TYPICAL HYDRANT BLOCKING & REPLACEMENT**  
NOT TO SCALE



**TYPICAL LIGHT POLE DETAIL**  
NOT TO SCALE



**SECTION GRANITE CURB DETAIL**  
NOT TO SCALE



**RIPRAP CULVERT INLET/OUTLET**  
NOT TO SCALE

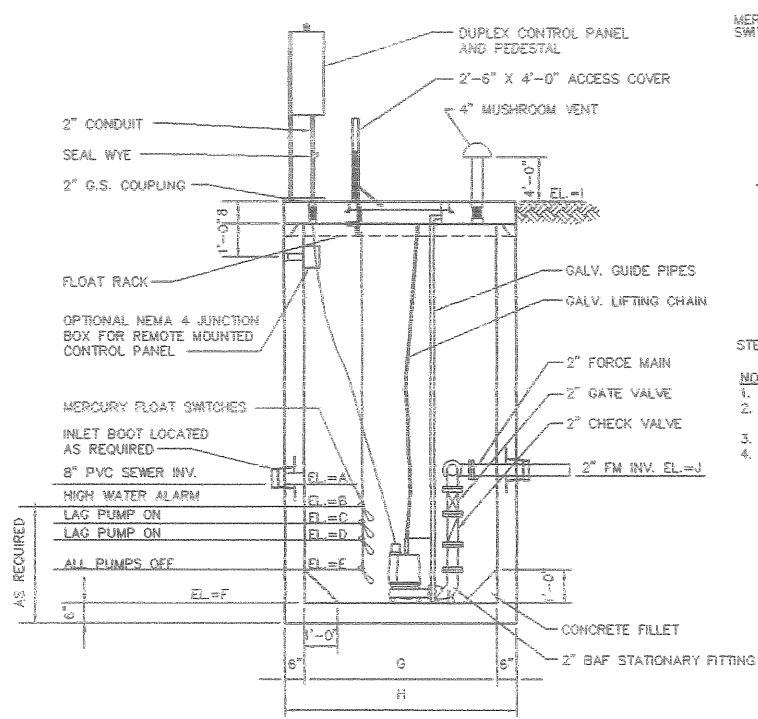
C	SMF	4-8-99	REVISE PER PLAN REVIEW COMMENTS
B	SMF	3-25-99	REVISED SITE PLAN SUBMISSION TO CITY
A	SMF	2-5-99	SITE PLAN SUBMISSION TO CITY
REV:	BY:	DATE:	STATUS:

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

**DETAILS 1**  
OF:  
**WASHINGTON CROSSING CONDOMINIUMS**  
ALLEN AVENUE  
PORTLAND, MAINE  
FOR:  
**A.L.C. DEVELOPMENT CORP.**  
258 BLACK POINT ROAD  
SCARBOROUGH, MAINE 04074



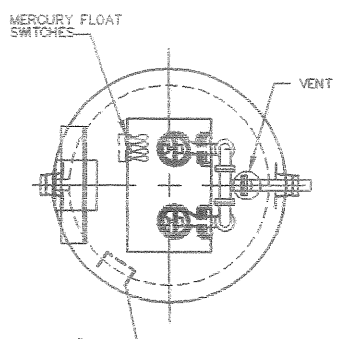
DESIGN BY:	JLW/SMF
DRAWN BY:	TFH
CHECKED BY:	SMF
DATE:	2-1-99
SCALE:	AS SHOWN
FIELD BK:	599
PROJ. NO.:	97380
DRAWING:	97380D1
<b>SHEET 9 OF 11</b>	



**PUMP STATION DETAIL**  
NOT TO SCALE

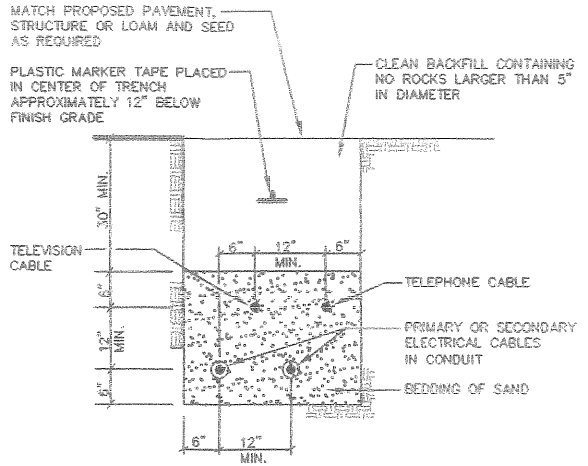
MEASUREMENT (ft.)									
A	B	C	D	E	F	G	H	I	J
77.26	76.26	75.76	75.26	74.26	73.26	6	7	55.0	79.5

**PUMP STATION SCHEDULE**

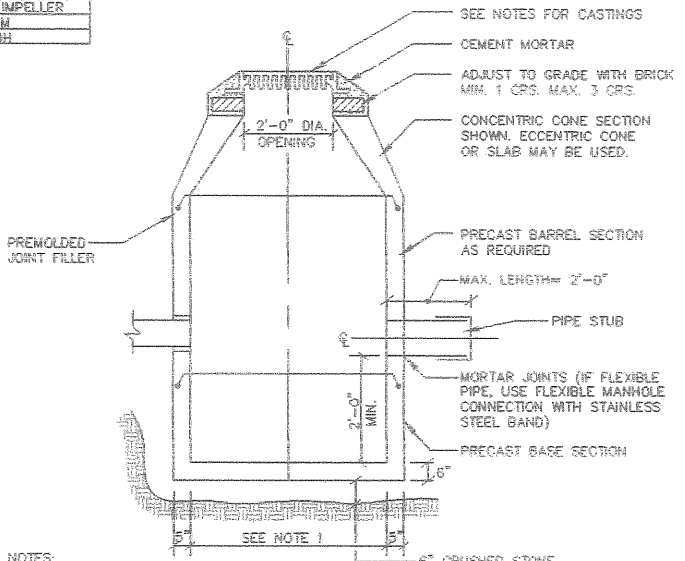


- NOTES:**
1. CONCRETE: 5,000 PSI AFTER 28 DAYS.
  2. REINFORCING: WALLS & FLOOR 4 X 4/4 X 4 W.W.M. SLAB TOP #5 @ 8" O.C.
  3. 4" FLANGED PIPING AND VALVES.
  4. AVAILABLE WITH DUAL DISCHARGE FOR PLUMBING INTO SEPARATE FIELDS.

PUMP MODEL
PUMP STA. 1
PEABODY BARNES
SERIES 3SE
1.4 BHP
1750 RPM
6.00" IMPELLER
35 GPM
34 TDH

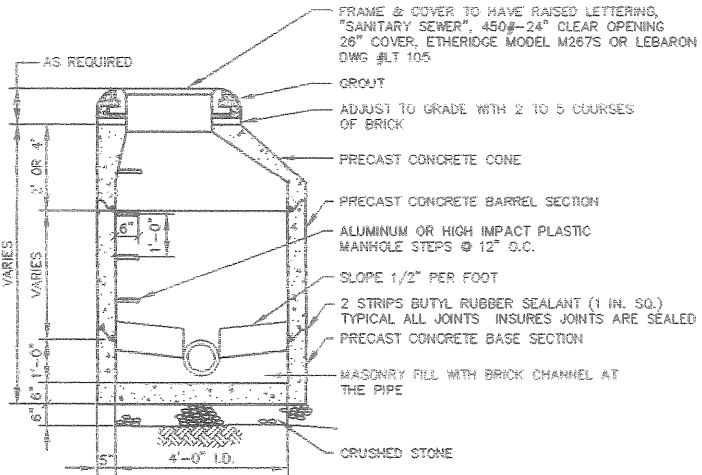


**TYPICAL UNDERGROUND CABLE INSTALLATION**  
NOT TO SCALE

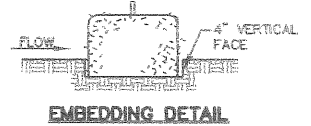


- NOTES:**
1. 4'-0" I.D. TYPICAL. SOME STRUCTURES MAY REQUIRE LARGER I.D. PROVIDE SHOP DRAWINGS.
  2. DRAINAGE STRUCTURES TO BE DESIGNED FOR H-20 LOADING.
  3. PIPE SIZES AND INVERTS AS NOTED ON PLANS.
  4. CATCH BASIN FRAME AND GRATE TO BE ETHERIDGE FOUNDRY M248G OR APPROVED EQUAL.
  5. DRAINAGE MANHOLE FRAME AND COVER TO BE ETHERIDGE FOUNDRY M248S OR APPROVED EQUAL. COVER SHALL BE MARKED "DRAIN".

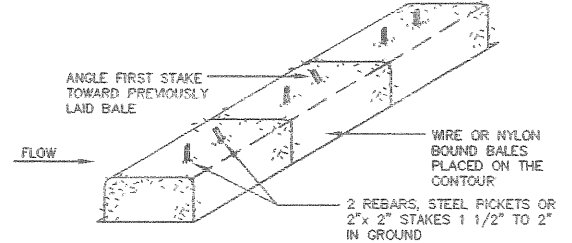
**TYPICAL CATCH BASIN**  
NOT TO SCALE



**PRECAST MANHOLE**  
NOT TO SCALE



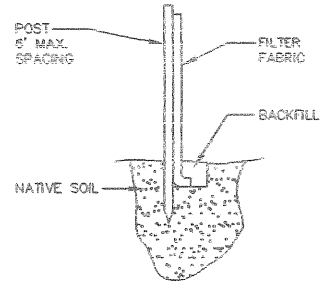
**EMBEDDING DETAIL**



**ANCHORING DETAIL**

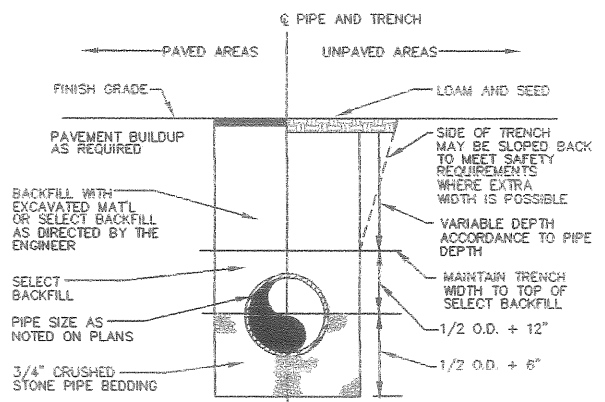
- NOTES:**
1. BALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
  2. EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4".
  3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY STAKES OR REBARS DRIVEN THROUGH THE BALES. THE FIRST STAKE IN EACH BALE SHALL BE ANGLED TOWARD PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.
  4. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
  5. BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

**HAY BALE BARRIER**  
NOT TO SCALE

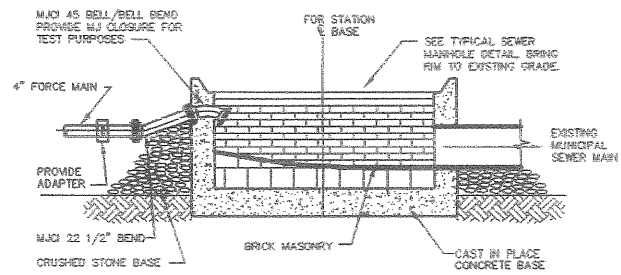


**SILT FENCE**  
NOT TO SCALE

- INSTALLATION:**
1. EXCAVATE A 6"x 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
  2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
  3. DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM.
  4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND PILING AND TAMPING FILL AT THE BASE, BUT MUST BE ACCOMPANIED BY AN INTERCEPTION DITCH.
  5. JOIN SECTION AS SHOWN ABOVE.
  6. BARRIER SHALL BE MIRAFI SILT FENCE OR EQUAL.



**TYPICAL TRENCH SECTION**  
NOT TO SCALE



**FORCE MAIN TERMINUS MANHOLE**  
NOT TO SCALE

C	SMF	4-8-99	REVISE PER PLAN REVIEW COMMENTS
B	SMF	3-28-99	REVISE SITE PLAN SUBMISSION TO CITY
A	SMF	2-5-99	SITE PLAN SUBMISSION TO CITY
REV:	BY:	DATE:	STATUS:

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**DETAILS 2**  
OF:  
**WASHINGTON CROSSING CONDOMINIUMS**  
ALLEN AVENUE  
PORTLAND, MAINE  
FOR:  
**A.L.C. DEVELOPMENT CORP.**  
258 BLACK POINT ROAD  
SCARBOROUGH, MAINE 04074



DESIGN BY:	JLW/SMF
DRAWN BY:	TFH
CHECKED BY:	SMF
DATE:	2-1-99
SCALE:	AS SHOWN
FIELD BK:	593
PROJ. NO:	97380
DRAWING:	9738002
<b>SHEET 10 OF 11</b>	

**EROSION & SEDIMENTATION CONTROL NOTES**

**A. Pre-Construction Phase**

Prior to the beginning of any construction, hay bale barriers/filter fabric fencing or erosion control berms shall be staked/installed across the slope(s), on the contour, at or just below the limits of clearing or grubbing, just above any adjacent property line or watercourse to protect against construction related erosion. The placement of silt fences and hay bales shall be completed in accordance with guidelines established in Best Management Practices. This network is to be provided, installed and maintained by the contractor until all exposed slopes have at least 85%-90% vigorous perennial vegetative cover to prevent erosion.

The following erosion control measures shall be followed by the site contractor(s) throughout construction of this project.

**B. Construction and Post-Construction Phase**

1. Areas undergoing actual construction shall only expose that amount of mineral soil necessary for progressive and efficient site construction and shall not exceed 14 days. Areas that will not be completed (covered and/or finish graded) within fourteen (14) days of disturbance shall be anchored with temporary erosion control measures. Temporary erosion control shall include erosion control blanket, netting, or mulch on all slopes 15% or greater and as directed by the inspecting engineer and as shown on the design plans. If disturbed areas do not receive final seeding by September 15th of the year of construction, then all disturbed areas must be seeded with a winter cover crop of Rye at the rate of 3 lbs./1,000 square feet and covered with erosion control mesh. All slopes greater than 8 percent and not vegetated by September 15th shall be covered with erosion control blanket. Mulch shall be applied at a rate so that the soil beneath it is not visible through the mulch. Mulch shall not be applied over snow cover. Snow must be removed prior to placing mulch.
2. At the start of construction, a stabilized construction entrance shall be installed. The construction entrance shall be maintained daily throughout construction to prevent material tracking onto public ways.
3. All topsoil shall be collected, stockpiled, seeded with Rye at 3 lbs./1,000 square feet, and mulched on site and re-used as required. Siltation fencing shall be placed down gradient from stockpiled loam. Loam shall be stockpiled at locations designated by the owner. Designated locations shall be determined prior to or at the pre-construction meeting.
4. All silt fences and/or hay bale barriers shall be installed according to this plan. These shall be maintained during development to remove sediment from runoff water. All the silt fences shall be inspected after any rainfall or runoff event, maintained and cleaned until all areas have at least 85%-90% vigorous perennial vegetative cover of grasses.
5. All areas shall be seeded in accordance with the following vegetation plan.
6. Hay bale barriers shall be placed around all catch basins until placement of road subbase gravel is completed.

**C. Vegetation Plan**

Vegetation measures shall commence immediately upon completion of construction. Disturbed areas shall be mulched and anchored prior to any storm event. If final seeding cannot be accomplished by September 15th, then all disturbed areas shall be hay mulched at a rate of 150 lbs. per 1,000 S. F. and seeded with a winter cover crop of Rye at the rate of 3 lbs./1,000 S.F. to provide winter protection. Hay mulch shall be secured with a suitable binder to include RMB plus and/or erosion control netting as directed by the owner/inspecting engineer.

Revegetation measures shall consist of the following:

1. Four inches of loam will be spread over disturbed areas and smoothed, compacted and rolled to a uniform surface. Loam shall be free of subsoil, clay lumps, stones and other objects over 1" in diameter, and without weeds, roots or other objectionable material.
2. Agricultural limestone shall be spread at the rate of 3 tons per acre. 10-20-20 fertilizer shall be applied at a rate of 800 lbs./acre. These soil amendments shall be incorporated into the soil prior to final seeding.
3. Following seed bed preparation, seed areas, fill areas and back slopes shall be seeded at a rate of 4 lbs./1,000 square feet to a mixture of 35% Creeping Red Fescue, 6% Red Top, 24% Kentucky Bluegrass, 10% Perennial Ryegrass, 20% Annual Ryegrass and 5% White Dutch Clover. The lawn areas will be seeded to a premium turf mixture of Bluegrass and/or Fescue; seeding rate of 3 lbs. per 1,000 square feet.
4. Hay mulch shall be applied to all disturbed areas at the rate of 150 lbs. per 1,000 square feet, or a hydro-application of asphalt, wood or paper fiber will be applied following seeding (50 lbs. of mulch material per 1,000 square feet for hydro applications). A suitable binder, such as RMB Plus and/or erosion control netting will be shown on hay mulch for wind control.
5. All hay bale and/or filter fabric barriers will remain in place until seedlings have become 85%-90% established and then removed within 10 days.

**D. Erosion Control During Winter Construction**

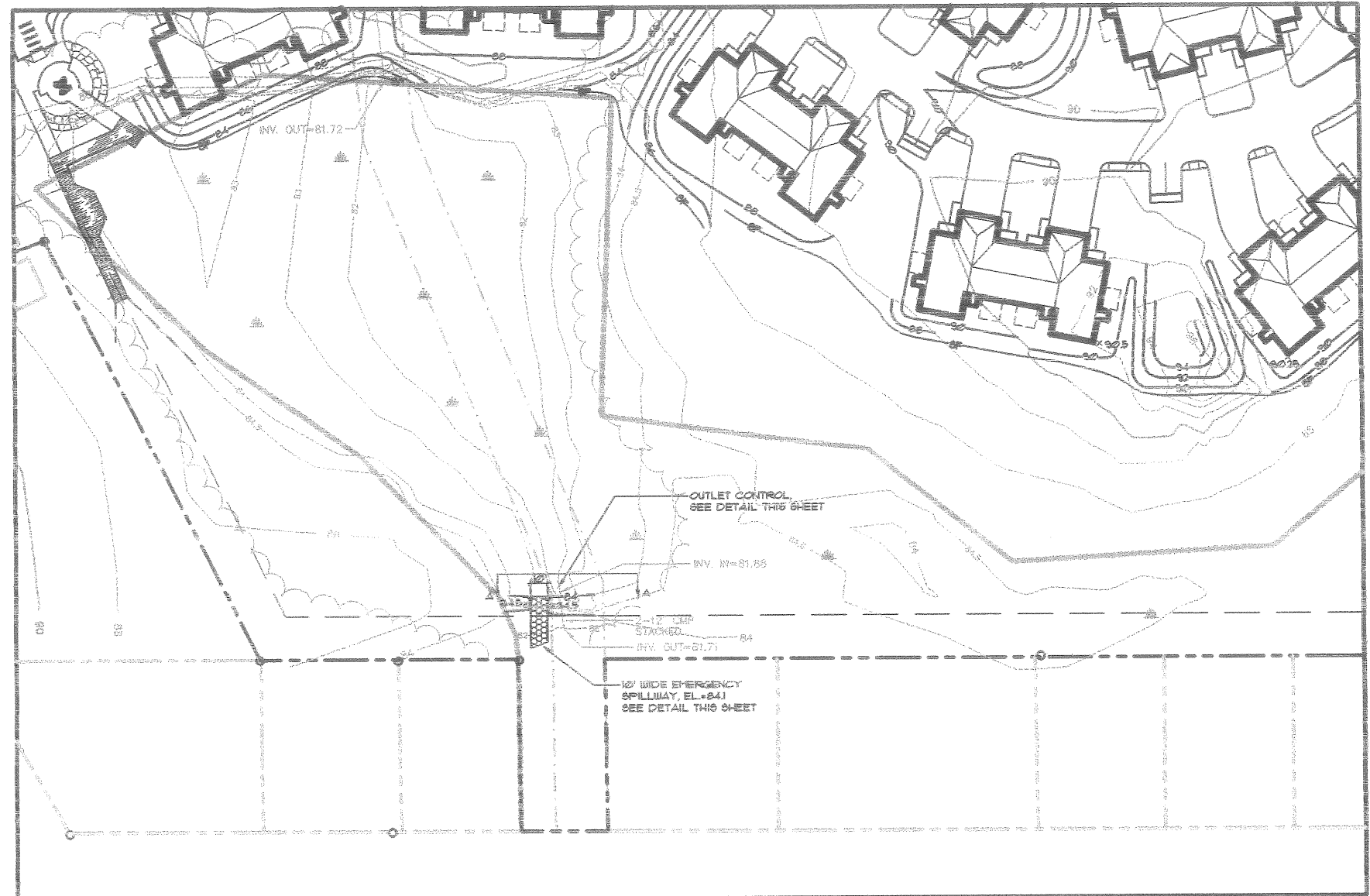
1. Winter Construction Period: November 1 Through April 15
2. Winter excavation and earthwork shall be completed such that no more than 1 acre of the site is without stabilization at any one time.

3. Exposed area shall be limited to allowing these areas to be mulched in one day prior to any snow event.
4. Continuation of earthwork operations on additional areas shall not begin until the exposed soil surface on the area being worked has been stabilized, such that no larger area of the site is without erosion control protection as listed in item 2 above.
5. An area shall be considered to have been stabilized when exposed surfaces have been either mulched with straw or hay at a rate of 150 lb. per 1,000 square feet (with or without seeding) or dormant seeded, mulched and adequately anchored surface is not visible through the mulch.
6. Between the dates of October 15 and April 1st, loam or seed will not be required. During periods of above freezing temperatures the slopes shall be fine graded and either protected with mulch or temporarily seeded and mulched until such time as the final treatment can be applied. If the date is after November 1st and if the exposed area has been loamed, final graded with a uniform surface, then the area may be dormant seeded at a rate of 3 times higher than specified for permanent seed and then mulched. If construction continues during freezing weather, all exposed areas shall be continuously graded before freezing and the surface temporarily protected from erosion by the application of mulch. Slopes shall not be left unexposed over the winter or any other extended time of work suspension unless treated in the above manner. Until such time as weather conditions allow, ditches to be finished with the permanent surface treatment, erosion shall be controlled by the installation of bales of hay or stone check dams in accordance with the standard details show on the design drawings.
7. A.) Between the dates of November 1st and April 15th all mulch shall be anchored by either peg line, mulch netting, asphalt emulsion chemical, brook or wood cellulose fiber  
 B.) Mulch netting shall be used to anchor mulch in all drainage ways with a slope greater than 3% for slopes exposed to direct winds and for all other slopes greater than 8%.  
 C.) Mulch netting shall be used to anchor mulch in all drainage ways with a slope greater than 15%. After October 1st the same applies for all slopes greater than 8%.
8. After November 1st the contractor shall apply dormant seeding for mulch and anchoring on all bare earth at the end of each working day.
9. During winter construction period all snow shall be removed from areas of seeding and mulching prior to placement.

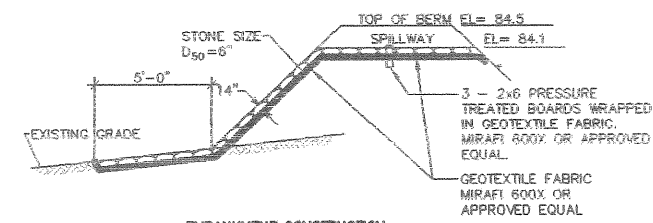
**E. Inspections/Monitoring**

Maintenance measures shall be applied as needed during the entire construction cycle. After each rainfall, the site contractor shall perform a visual inspection of all installed erosion control measures and perform repairs as needed to insure their continuing function.

Following the temporary and/or final seedings, the contractor shall inspect the site semiannually until the seedings have been established. Established means a minimum of 85%-90% of areas vegetated with vigorous growth. Re-seeding shall be carried out by the contractor with follow-up inspections in the event of any failures until vegetation is adequately established.



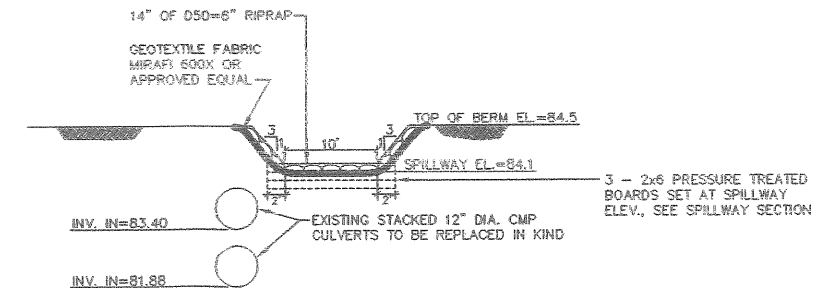
**DETENTION POND DETAIL**  
SCALE: 1" = 40'



**EMBANKMENT CONSTRUCTION**

1. CONSTRUCTION OF COMMON BORROW MATERIAL MEETING M.D.O.T. SPEC. 703.18.
2. PLACE BORROW MATERIAL IN 12" LIFTS COMPACTED TO 95% OF MAXIMUM DENSITY.
3. INSTALL RIPRAP AND EROSION CONTROL MESH WHERE SPECIFIED ON PLANS
4. LOAM, SEED, AND STABILIZE IN ACCORDANCE WITH SEDIMENTATION AND EROSION CONTROL PLAN.

**SPILLWAY SECTION**  
NOT TO SCALE



**OUTLET CONTROL DETAIL, SECTION A-A**  
NOT TO SCALE

D	SMF	4-8-99	REVISE PER PLAN REVIEW COMMENTS
C	SMF	3-31-99	REVISE SPILLWAY, OUTLET CONTROL DETAILS
B	SMF	3-25-99	REVISE SITE PLAN SUBMISSION TO CITY
A	SMF	2-5-99	SITE PLAN SUBMISSION TO CITY
REV:	BY:	DATE:	STATUS:

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

**DETAILS 3**  
OF:  
**WASHINGTON CROSSING CONDOMINIUMS**  
ALLEN AVENUE  
PORTLAND, MAINE  
FOR:  
**A.L.C. DEVELOPMENT CORP.**  
258 BLACK POINT ROAD  
SCARBOROUGH, MAINE 04074

DESIGN BY:	SMF
DRAWN BY:	MAL
CHECKED BY:	SMF
DATE:	2-1-99
SCALE:	AS SHOWN
FIELD BK:	598
PROJ. NO:	97380
DRAWING:	9738003
<b>SHEET 11 OF 11</b>	

**Sebago Technics**  
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