

# City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

**PERMIT ISSUED**

Permit No: 01-1520	Issue Date: JAN 16 2002	CBL: 343 C014001
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Location of Construction: # P2, 64, 66, 68 Delaware Ct	Owner Name: Alc Development Corp	Owner Address: 258 Blackpoint Rd <b>PORTLAND</b>	Phone: 883-1992
Business Name:	Contractor Name: Chamberlain Construction	Contractor Address: 258 Black Point Road Scarborough	Phone: 2078831992
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: <b>R-3 PR4D</b>
Past Use: Vacant	Proposed Use: 62 Unit Condo/Building F	Permit Fee: \$2,424.00	Cost of Work: \$400,000.00
		CEO District: 0	
Proposed Project Description: <del>Construct 62 Condo Units</del> constructing "Bldg F" 4 attached condo units out of 62		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <b>R3</b> Type: <b>SB</b> <b>BOCA 94</b>
		Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
		Signature:	Date:

Permit Taken By: dgc	Date Applied For: 12/06/2001	<b>Zoning Approval</b>		
<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>		<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 7/2m Panel 2 JX</i> <input checked="" type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <i>originally 1999-016</i> Maj <input checked="" type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>12/10/01</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:

Office Trailer FAX#  
797-8466

*All previous conditions still apply*

## CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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01-1520

1998-0147 -  
Sueplan

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>62-68 Delaware Ct</u>			
Total Square Footage of Proposed Structure <u>6,000 SF</u>		Square Footage of Lot <u>0.6 Acres</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>343</u> Block# <u>C</u> Lot# <u>014</u>		Owner: <u>AIC Development Inc</u> Telephone: <u>883-1992</u>	
Lessee/Buyer's Name (If Applicable)		Applicant name, address & telephone: <u>AIC Development</u> <u>258 Black Point Rd</u> <u>Scarborough, ME 04074</u>	
		Cost Of Work: \$ <u>400,000.00</u> Fee: \$ <u>2424-</u>	
Current use: <u>Open lot</u>			
If the location is currently vacant, what was prior use: <u>woods N/A</u>			
Approximately how long has it been vacant: <u>N/A</u>			
Proposed use: <u>4 unit Condo Building</u>			
Project description: <u>Building F</u> <u>Auto cad on file</u>			
<u>a 62 unit Condo Project (Washington Crossing)</u>			
Contractor's name, address & telephone: <u>Chamberlain Construction</u> <u>258 Black Pt Rd</u> <u>Scarborough ME 04074</u>			
Who should we contact when the permit is ready: <u>Elliott Chamberlain</u> <u>Call when ready</u>			
Mailing address: <u>office 883-1992</u> <u>cell 450-5205</u> <u>jobsite 797-8466</u> <u>Home 883-0871</u> Phone:			

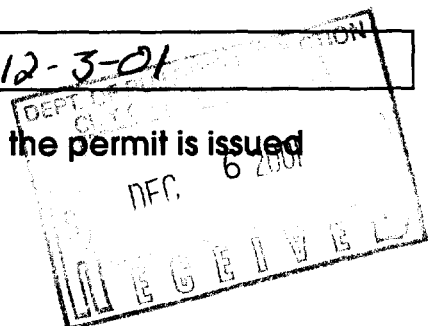
IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Elliott Chamberlain</u>	Date: <u>12-3-01</u>
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This is not a permit, you may not commence ANY work until the permit is issued

all set



Application ID Number: 1-1520

Department: Zoning

Status: Approved with Conditions

Reviewer:

Marge Schmuckal

Comments: #62, 64, 66, 68 Delaware Ct. - Bldg "F"

Approval Date: 12/18/2001

Given On Date: 12/17/2001

☒ OK to Issue Permit

Name: Marge Schmuckal

Date: 12/18/2001

Date 2:

Conditions Section:

All previous conditions are still in force.

Create Date:

12/17/2001

By:

jodinea

Update Date:

12/18/2001

By:

mes

Application ID Number: 1-1520

Delete

Save

Close

Department: Building

Status: Pending

Reviewer: Dave Caddell

Comments:

Approval Date: 01/08/2001

Given On Date: 12/19/2001

☒ OK to Issue Permit

Name: Dave Caddell

Date: 01/08/2001

Date 2: 01/08/2001

Conditions Section:

Add New  
Condition From

Add New Condition

Delete Condition

Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.



Create Date: 12/17/2001 By: jodinea

Update Date: 01/08/2002 By: dgc

1) Frost wall construction? 1st page

2) Stairs to crawl space area?

3) Egress window

4) Microlam or steel - design?

5) Roof framing members? - not labeled

6) Electrical plan - inadequate # outlets - Not enough shown

7) 2x6 Ceiling joists - section A/S1 - 16'0" span - inadequate

8) Heating Permitted With Plumbing  
1 hour - OK per 310.5.1 BY COFO

9) 5B - Exterior walls - 1 hour

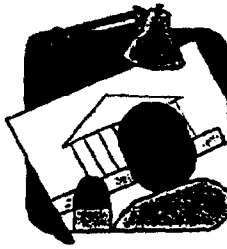
Firewalls & party walls - 2

Table 602 page 64

Stairs -

Delaware  
Court

1-2-02  
Left message  
w/ Felicia C  
883-1412



# CITY OF PORTLAND MAINE

389 Congress St., Rm 315

Portland, ME 04101

Tel. - 207-874-8704

Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine  
Planning & Urban Development  
Division of Housing & Community Services

FROM DESIGNER: Gawron Architects

29 Black Point Road, Scarborough, Maine 04074

DATE: December 4, 2001

Job Name: Washington Crossing Condominiums

Address of Construction: 62/68 Delaware Court

## THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION

Construction project was designed according to the building code criteria listed below:

Building Code and Year 1999 BOCA Use Group Classification(s) R-3  
Type of Construction 5B Bldg. Height 28' - 0" Bldg. Sq. Footage 3,200 sf - 2 fl  
Scismic Zone AV=0.110 Group Class 1  
Roof Snow Load Per Sq. Ft. sloped 42 Dead Load Per Sq. Ft. 15 PSF  
Basic Wind Speed (mph) 85 PSF Effective Velocity Pressure Per Sq. Ft. 18.5 PSF  
Floor Live Load Per Sq. Ft. Assembly 50 PSF  
Structure has full sprinkler system? Yes X No      Alarm System? Yes X No       
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.  
Is structure being considered unlimited area building: Yes      No X  
If mixed use, what subsection of 313 is being considered N/A

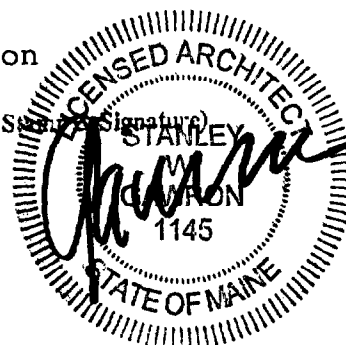
List Occupant loading for each room or space, designed into this Project.

Per unit: assembly 15 sf/person

PSH 6/07/2K

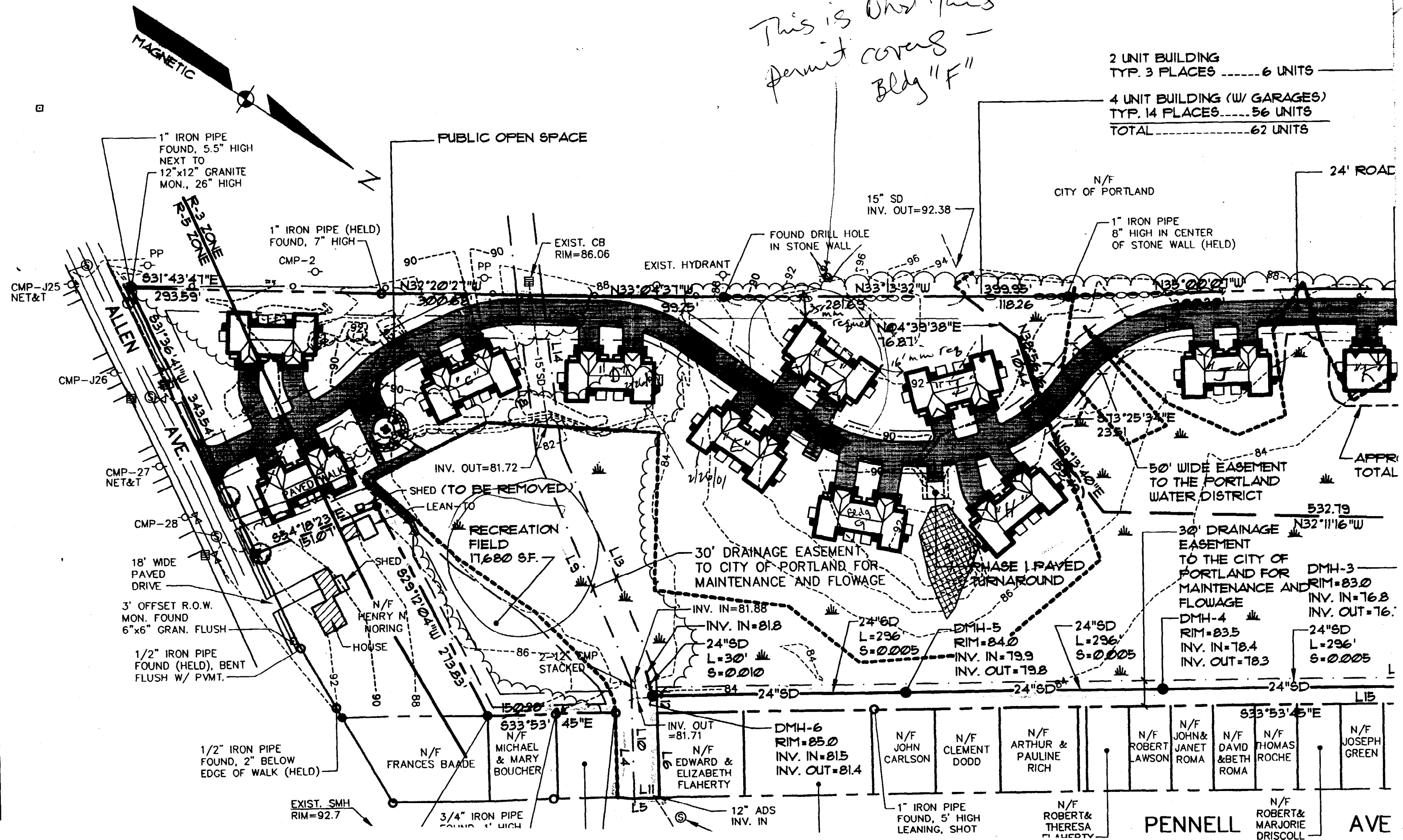
*Stanley W. Gawron*

(Designers Signature)



This is what this permit covers - Bldg "F"

2 UNIT BUILDING  
TYP. 3 PLACES ..... 6 UNITS  
4 UNIT BUILDING (W/ GARAGES)  
TYP. 14 PLACES ..... 56 UNITS  
TOTAL ..... 62 UNITS



532.79  
N32°11'16"W  
30' DRAINAGE EASEMENT TO THE CITY OF PORTLAND FOR MAINTENANCE AND FLOWAGE  
DMH-3 RIM=83.0 INV. IN=76.8 INV. OUT=76.8  
DMH-4 RIM=83.5 INV. IN=78.4 INV. OUT=78.3  
24"SD L=296' S=0.0005  
24"SD L=296' S=0.0005

DMH-6 RIM=85.0 INV. IN=81.5 INV. OUT=81.4  
N/F JOHN CARLSON  
N/F CLEMENT DODD  
N/F ARTHUR & PAULINE RICH  
N/F ROBERT LAWSON  
N/F JOHN & JANET ROMA  
N/F DAVID & BETH ROMA  
N/F THOMAS ROCHE  
N/F JOSEPH GREEN  
N/F ROBERT & MARJORIE DRISCOLL  
N/F ROBERT & THERESA  
PENNELL AVE