

ABBREVIATIONS table with columns for abbreviations and full names. Includes items like AB AIR BARRIER, AC AIR CONDITIONING, etc.

LAB LABORATORY, LAM LAMINATE(D), LAV LAVATORY, LB POUND(S), LF LINEAR FOOT, LH LEFT HAND, LOC'N LOCATION, etc.

MATERIALS

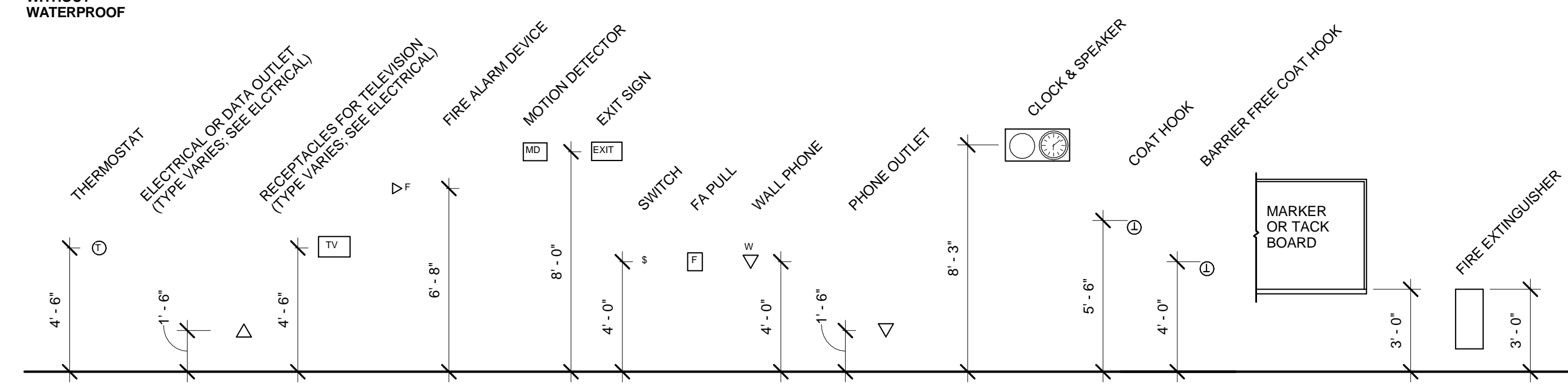
Material key table listing materials like GRAVEL, CONCRETE MASONRY UNIT, BRICK, SOIL, STEEL, WOOD FRAMING, etc.

SYMBOLS

Symbol key table listing symbols for PLUMBING FIXTURE, BARRIER FREE FIXTURE, ROOM name, ROOM NUMBER, DOOR NUMBER, WINDOW TYPE, etc.

FIRE RATINGS

Fire ratings key table listing symbols for 1/2 HOUR FIRE RATED PARTITION, 1 HOUR FIRE RATED PARTITION, 2 HOUR FIRE RATED PARTITION.



MOUNTING HEIGHTS 1/4" = 1'-0"

PROJECT GENERAL NOTES

- 1. These notes are intended for general reference and information and to augment the Contract and Specification information provided under separate cover. Refer to those Specifications for detailed information and requirements.
2. All Work included in this Contract shall conform to all national, state, and local Codes, Ordinances and Agency requirements including, but not limited to: hazardous material removal, solid waste disposal, seismic design, and life-safety.
3. Definitions:
New: May be used to indicate items which shall be furnished and installed by this Contract.
Existing: Existing building or site components which are in place at the start of Construction.
Repair: Restore to proper operating and aesthetic condition.
Restore: Bring back to former condition, by repairing or patching as required.
Patch: Restore to condition matching existing adjacent construction, surface texture and finish.
Replace: Dismantle and/or extract from the premises entirely.
Damages: Existing building or site components, not scheduled for work, which are damaged.
Demolish: Dismantle and/or extract from the premises entirely.
Salvage: Remove and reinstall or remove and deliver to the Owner, as indicated.
4. It is the intent of the drawings and specifications to have the Contractor provide a complete, fully operational building. Provide all labor, materials and incidentals necessary to achieve this intent.

GENERAL DEMOLITION AND REMOVAL NOTES

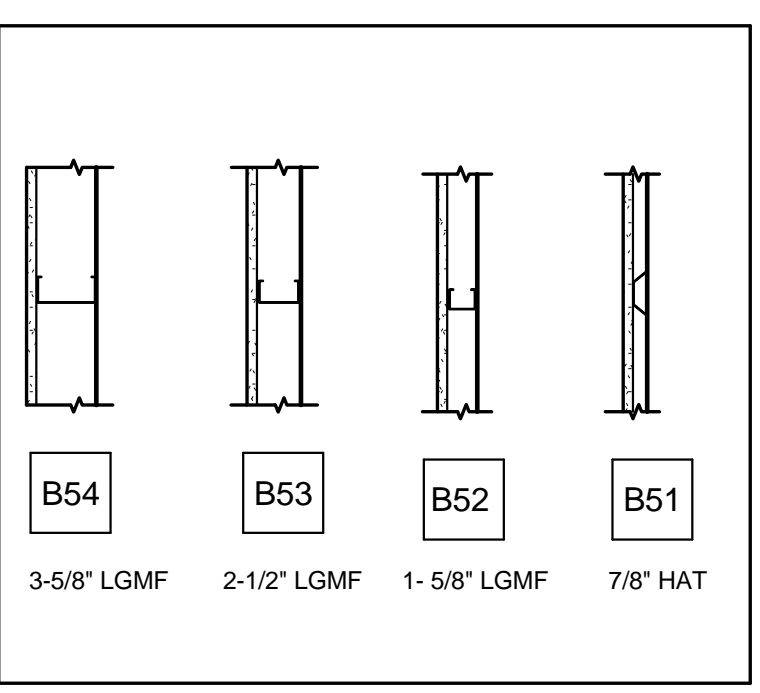
- 1. The demolition drawings provide general coordination information only, and are schematic in nature. They do not identify all individual items to be removed.
2. Verify existing structural conditions prior to demolition or removals.
3. Protect from damage and weather any existing building components, which are exposed as a result of demolition or removals.
4. Coordinate and schedule all work in existing occupied portions of the building with the Owner.
5. Concrete slab removals may be required throughout the existing building and may not be shown on the demolition drawings.
6. Refer to Plumbing, Mechanical, Structural and Electrical plans for additional demolition information.
7. Removal of the materials as indicated shall be done without disturbing adjacent surfaces to remain or the current condition of the building elements.
8. The Owner shall remove furniture and other movable and/or fixed equipment prior to new work in any area.
9. Remove all damaged and/or discarded building construction material from concealed spaces.
10. Provide metal cover plates at all abandoned electrical devices, finished to match wall.
11. All demolition/removal debris is the property of the Contractor, unless noted otherwise.
12. The Contractor may replace salvaged items with new and identical materials only with the Architect's prior approval.

GENERAL PATCHING AND REPAIRING NOTES

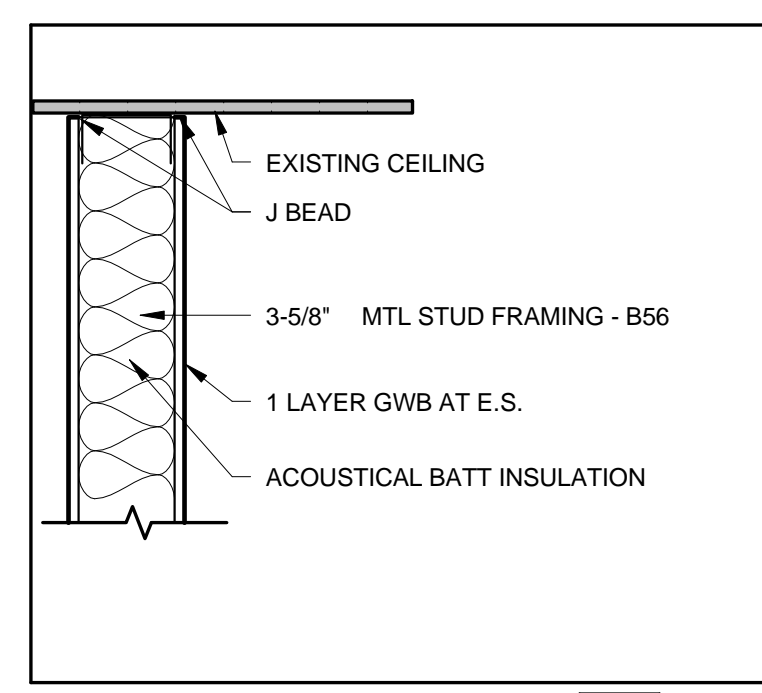
- 1. Where new construction either infills or abuts existing construction, the finished faces shall align, and the surfaces shall be finished to match.
2. Patch and level existing floors to receive new finishes as indicated in the room schedule.
3. After removal of building components, any resulting holes shall be patched.
4. Maintain existing fire- or smoke-ratings as indicated.
5. Patches shall be flush with adjacent surfaces and finished to match.

MOUNTING HEIGHT GENERAL NOTES:

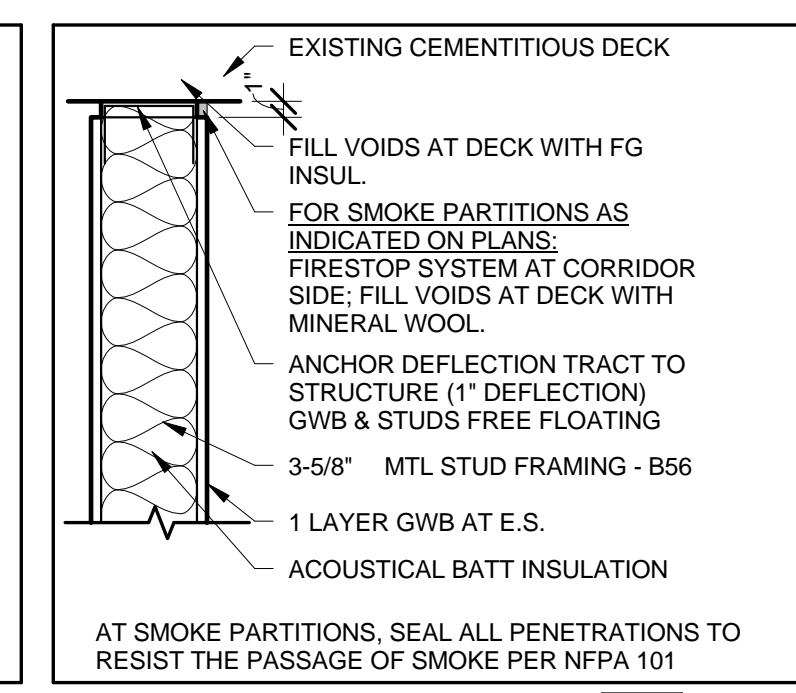
- 1. SEE MECHANICAL, ELECTRICAL, AND TECHNOLOGY DRAWINGS FOR SPECIFIC FIXTURE OR DEVICE LOCATION AND DESIGNATION AND ADDITIONAL MOUNTING REQUIREMENTS.
2. COORDINATE LOCATION OF ALL RECEPTACLES, FIXTURES OR DEVICES WITH INTERIOR ELEVATIONS AND CASEWORK LOCATIONS.
3. REFER TO MANUFACTURER'S INSTRUCTIONS FOR SPECIFIC ADA REQUIRED MOUNTING HEIGHTS AS APPLICABLE.



METAL STUD FURRING EXTEND GWB 3" ABOVE FIN. CLG. U.N.O.



METAL STUD PARTITION PARTIAL HEIGHT B55



METAL STUD PARTITION FULL HEIGHT B56

INTERIOR PARTITIONS 1" = 1'-0"

PLAN GENERAL NOTES

- 1. The Drawings use a system of keyed notes on plans, elevations and details. Instructions for specific components of the Work are keyed to the Drawings.
2. Work from given dimensions. In general, large-scale details take precedence over smaller scale plans, elevations and building sections.
3. Dimensional Control: Interior dimensions are from:
Face of stud to face of stud
Face of stud to face of masonry
Face of existing finish to face of stud
Centerline column to face of stud or masonry
4. Existing dimensions are shown enclosed in square brackets [] and shall be verified.
5. Verify all existing conditions and dimensions and report any discrepancies to the Architect. Proceed with the work only after discrepancy has been resolved with the Architect.
6. Typical Details: The following details are typical throughout this project and apply in all cases unless specifically noted otherwise.
7. All columns located adjacent to or integral with GWB partition or walls shall be enclosed within the wall construction.
8. All roof leaders, heat piping, sprinkler risers or miscellaneous piping shall be enclosed within the wall construction.
9. All top-of-wall conditions shall be sealed to deck above as indicated on the systems sheet to maintain the required smoke- or fire-rating.
10. Maintain other clear dimension of 1'-6" from all adjacent construction to the latch (pull) side of the door.
11. Maintain other clear dimensions in accordance with the latest version of the ADA Accessibility Guidelines (ADAAG).

SYSTEM NOTES

- 1. PROVIDE 1" MIN. CLEAR WHERE STRUCTURAL, MECHANICAL, OR ELECTRICAL ITEMS PENETRATE MASONRY WALLS.
2. INTERIOR METAL STUD PARTITIONS NOT OTHERWISE INDICATED ARE TYPE B56.
3. SMOKE PARTITIONS INDICATED ON PLANS SHALL COMPLY WITH NFPA 101.
4. AT METAL STUD PARTITIONS, USE MOISTURE RESISTANT (MR) GWB WITHIN 8" OF SINKS, SHOWERS, AND OTHER AREAS THAT ARE SUSCEPTIBLE TO MOISTURE.

WALL GENERAL NOTES

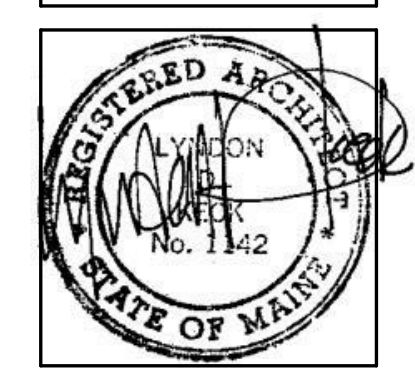
- 1. All partitions shall extend from sub-floor or slab to underside of floor or roof deck above, unless noted otherwise.
2. Install one bead of acoustical sealant under each layer of GWB at intersection with floor at each side of wall.
3. Install blocking behind all surface-applied fixtures, trim, shelves, tack or marker boards, wall or base cabinets or counters, and miscellaneous accessories mounted on stud walls.
4. All interior metal stud partitions are type B56, unless noted otherwise.
5. New equipment mounted on existing walls: verify wall type prior to the work to determine appropriate type of anchor unless indicated otherwise.



49 DARTMOUTH STREET PORTLAND, MAINE 04101 207-775-1059 www.pdtarch.com

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Minor Interior Renovations at 196 Allen Avenue for CASCO BAY HIGH SCHOOL 196 Allen Avenue, Portland Maine



Job information table including JOB NO. 14036, DRWN. CHK AHC, SCALE: As indicated, ISSUE STATUS CONSTRUCTION, ISSUE DATE APRIL 18, 2014, TITLE GENERAL NOTES & BUILDING SYSTEMS, SHEET A001.

Revision table with columns for REV., DESCRIPTION, and DATE. Includes revision #1 on APRIL 25, 2014 and issued for construction on APRIL 18, 2014.