

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Please Read Application And Notes, If Any, Attached

Permit Number: 080859

PERMIT ISSUED

JUL 31 2008

CITY OF PORTLAND

This is to certify that CITY OF PORTLAND /City of Portland School Department trades

has permission to Portion of Building "A" - add window & wall for ventilation for Casco Bay High School

AT 174 ALLEN AVE Portland, ME 04101 343 C013001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is occupied or services resumed in it. 4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Craig Chase

Health Dept. _____

Appeal Board _____

Other _____

Department Name _____

Thomas H. Mahoney 7/31/08
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0859	Issue Date:	CBL: 343 C013001
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Location of Construction: 174 ALLEN AVE	Owner Name: CITY OF PORTLAND	Owner Address: 389 CONGRESS ST	Phone:
Business Name:	Contractor Name: City of Portland School Department/	Contractor Address: 164 Allen Ave Portland	Phone 2078748100
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: R-3

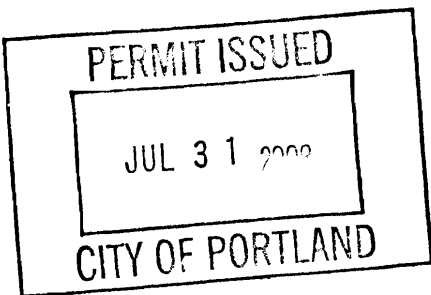
Past Use: PATHS & Casco Bay High School	Proposed Use: PATHS & Casco Bay High School - Portion of Building "A" - add window & wall for seperation for Casco Bay High School	Permit Fee:	Cost of Work: \$0.00	CEO District: 5
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See Conditions</i>	INSPECTION: Use Group: E Type: II IBC 2003	

Proposed Project Description: Portion of Building "A" - add window & wall for seperation for Casco Bay High School	Signature: <i>Craig Cass</i>	Signature: <i>Jr 7/30/08</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: _____ Date: _____		

Permit Taken By: Idobson	Date Applied For: 07/15/2008	Zoning Approval		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan <i>all interior work</i>	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: <i>ok 7/21/08</i>	Date: _____	Date: <i>[Signature]</i>



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0859	Date Applied For: 07/15/2008	CBL: 343 C013001
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Location of Construction: 174 ALLEN AVE	Owner Name: CITY OF PORTLAND	Owner Address: 389 CONGRESS ST	Phone:
Business Name:	Contractor Name: City of Portland School Department/	Contractor Address: 164 Allen Ave Portland	Phone (207) 874-8100
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: PATHS & Casco Bay High School - Portion of Building "A" - add window & wall for seperation for Casco Bay High School	Proposed Project Description: Portion of Building "A" - add window & wall for seperation for Casco Bay High School
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Marge Schmuckal	Approval Date: 07/21/2008	Ok to Issue: <input checked="" type="checkbox"/>
Note:				
1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.				
Dept: Building	Status: Approved with Conditions	Reviewer: Tom Markley	Approval Date: 07/30/2008	Ok to Issue: <input checked="" type="checkbox"/>
Note:				
1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.				
Dept: Fire	Status: Approved with Conditions	Reviewer: Capt Greg Cass	Approval Date: 07/24/2008	Ok to Issue: <input checked="" type="checkbox"/>
Note:				
1) Walls and doors are required to be 1 hr. Fire rated				
2) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.				

Comments:

7/15/2008-ldobson: TO WHOM IT MAY CONCER FEE WAIVED



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>164 ALLEN AVE PORTLAND ME.</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# <u>343-</u> Block# <u>C</u> Lot# <u>13</u>	Applicant * must be owner, Lessee or Buyer * Name <u>PORTLAND Public School</u> Address <u>176 ALLEN AVE</u> City, State & Zip <u>Portland, ME, 04103</u>	Telephone: <u>874-8100</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>9,000</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>SCHOOL</u> Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Pero's for CBHS, PATHS</u> <u>Build "A" window, & walk for Separation CBHS</u>		
Contractor's name: <u>PPS maint.</u>		
Address: <u>164 ALLEN AVE.</u>		
City, State & Zip <u>PORTLAND, ME</u>		Telephone: <u>874-8100</u>
Who should we contact when the permit is ready: <u>TOM HAMILTON</u>		Telephone: <u>232-1629</u>
Mailing address: <u>SAME</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Thomas C. Hamilton Date: 7-14-08

This is not a permit; you may not commence ANY work until the permit is issue

From: Douglas Sherwood
To: Gregory Cass
Date: 7/24/2008 2:33:43 PM
Subject: Re: Paths - Casco Bay High School Year 4 and last classroom

Capt Cass
Greg,

Good afternoon!

Thank you for your prompt review and attention to detail!!

We will install framing, wall and door assemblies for the proposed new CBHS room #13 in the third floor corridor of Building A at PATHS that meet the one hour fire rating requirement of NFPA 101, Chapter 7.1.3.1.

Sincerely,
Doug

>>> Gregory Cass 07/24/08 12:09 PM >>>

Doug

The code review shows that exit access corridors require a 1 hr. fire rating.

So the walls and doors to new room # 13 need to be up graded. The walls need 5/8" type x sheet rock not 1/2". and the doors need to be 1 hr. not 20 min.

See NFPA 101 chapter 7.1.3.1

Captain Greg Cass
Portland Fire Dept.
Fire Prevention Officer

>>> Douglas Sherwood 7/23/2008 9:57:59 AM >>>

Greg,

Good morning!

The proposed room (critical as a last and final requirement for Casco Bay High School to mature to their full potential) outside our main frame computer room will be 14 feet by 28 feet to accommodate 10 to 15 students leaving a minimum 6 foot corridor with more space opposite the restrooms. Mr. Tom Hamilton will be providing more detailed distance information when he resubmits per your request earlier today.

The location was chosen because the main frame computer room is not typically occupied and has two other means of egress. We plan to put double doors opening along the long side of the room for emergencies only with the classroom door opening on the short side away from the EOC.

You will notice that the room was placed on the third floor versus elsewhere due to limited occupancy with the density highest in Central Office (55 people plus or minus exiting doors on either side of the proposed new room). The other enclosed areas vary from 6 to 20 and are only occupied from 8:00 AM to 1:30 PM Monday through Friday. The primary and secondary egress from the EOC are also on each side of the proposed new classroom.

Mr. Herb Semple, formerly of Semple & Drane Architects, did review this proposal and deemed it consistent with previous life safety code assessment you have on file.

Regarding the doors and wall structure, Mr. Hamilton did submit the required cut sheets and other details. Unfortunately, I do not have these framing and related details in my office. If the wall, frame or door

assemblies we've specified do not meet the rated requirement for the classroom in the corridor, please advise us accordingly and that is what we will build.

Thank you for taking the time and providing your expertise to making this addition as safe as possible.

Regards,
Doug

P.S. You will, also, note that it is the only place in the corridor with a radiator.

P.P.S. We will relocate lights and fire support systems as required adding sprinkler heads where required.

>>> Gregory Cass 07/23/08 9:01 AM >>>

Doug

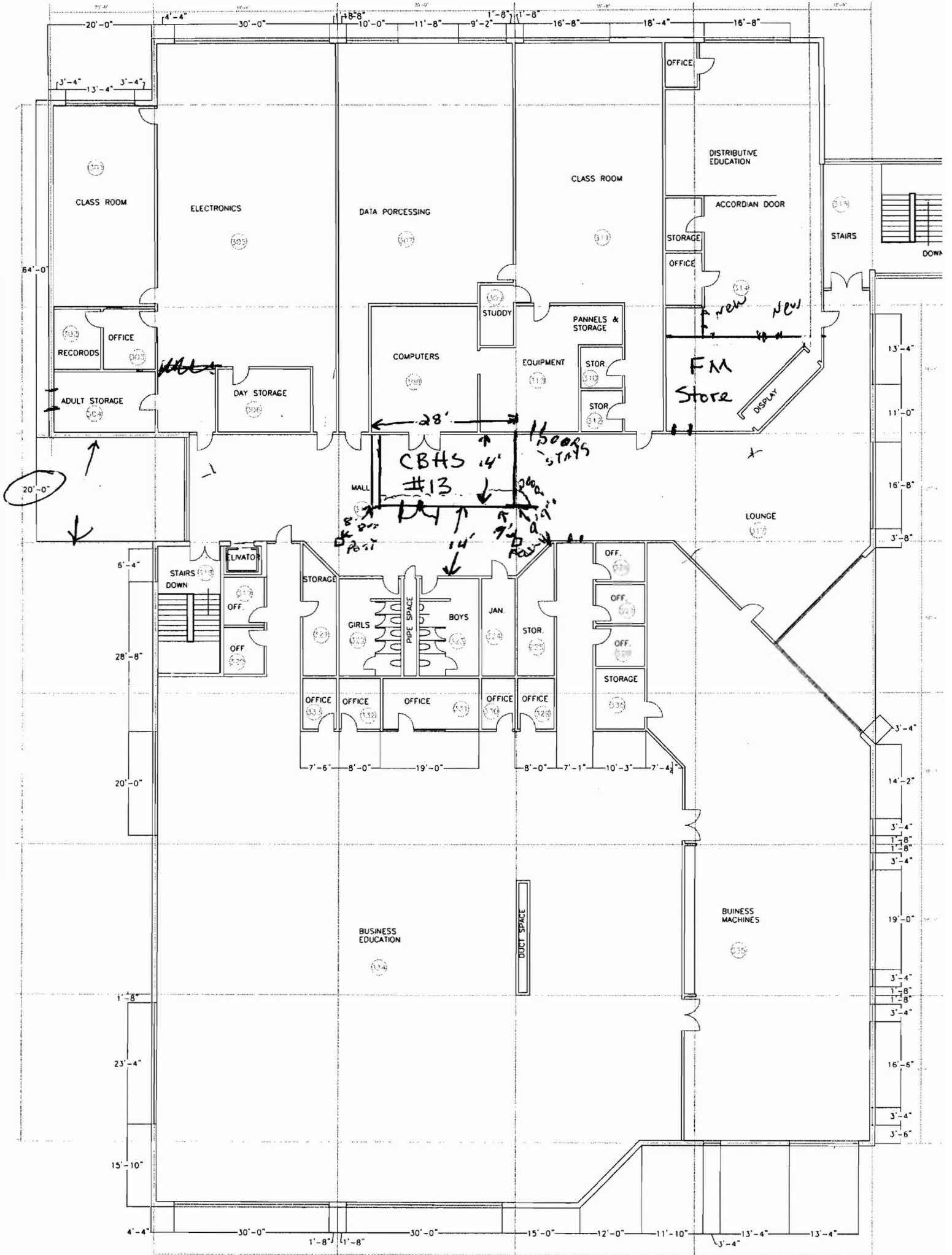
I started the review of the permit for PATHS and found there is not much detail.

I called Tom Hamilton and we talked about corridor width but I failed to mention that this expansion into the corridor now creates this room as the corridor. Please provide details for fire resistance for both the walls and the doors.

Or call me @ 874-8405 office
653-7619 cell

Greg

CC: Allan Higgins; Brian Ayers; Brian Britting; Dana Allen; Derek Pierce; Herbert Hopkins; Jeanie Bourke; Jeanne Whynot-Vickers; Jill Blackwood; Neal Bangs; Scott Wyman; Steven Thomes; Thomas Hamilton

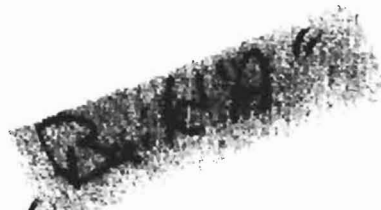


$3\frac{5}{8}$ " 25 GA, STEEL STUDS

$3\frac{1}{2}$ " SOUND INSULATION

$\frac{1}{2}$ TYPE C SHEET ROOF FIRE RATED

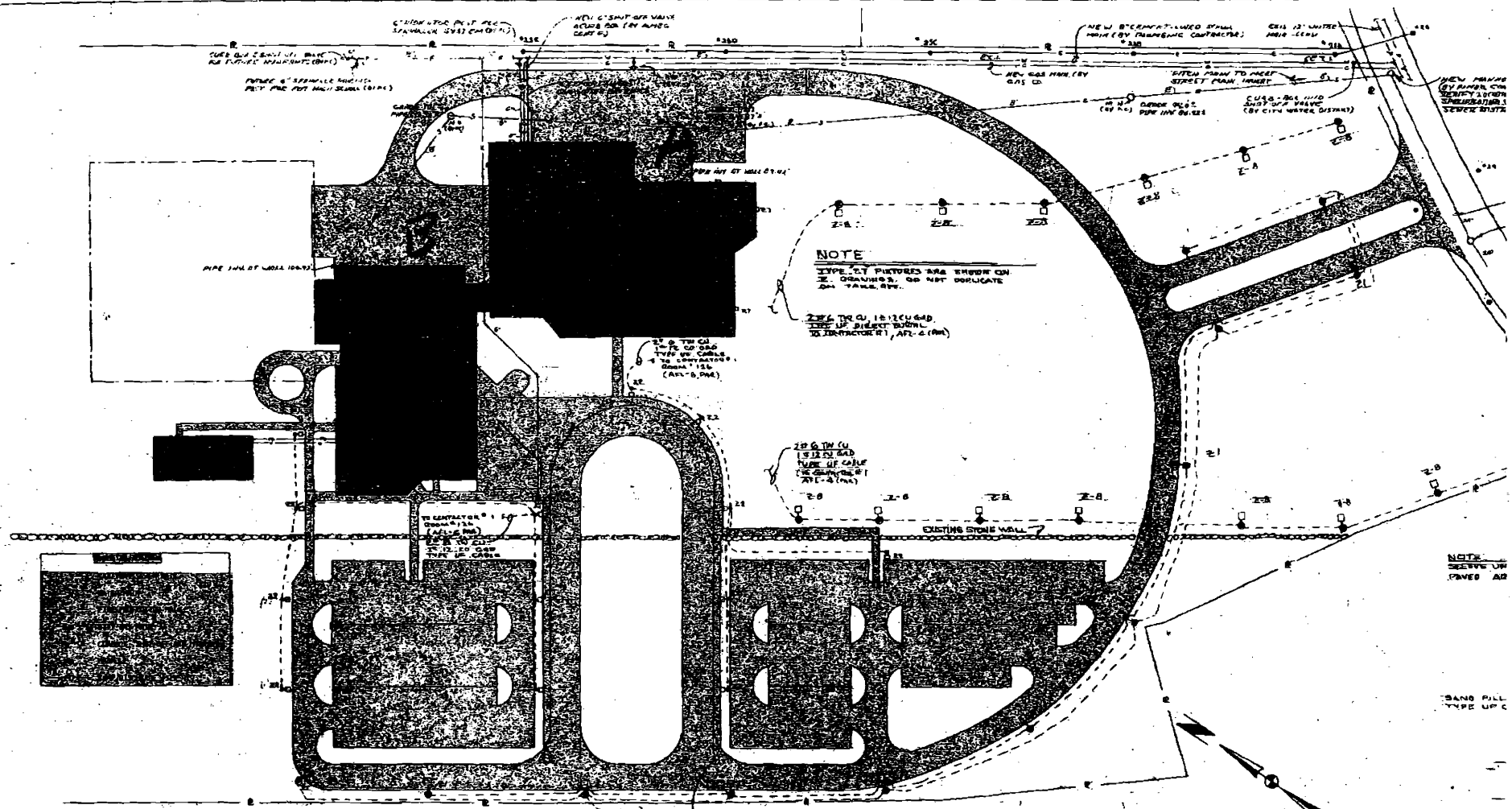
INT.
WINDOW



$\frac{1}{4}$ SAFETY GLASS / ALUM FRAME

also





NOTE
 TYPE "T" PICTURED ARE SHOWN ON
 2. DRAWINGS. DO NOT DUPLICATE
 ON TABLES, ETC.

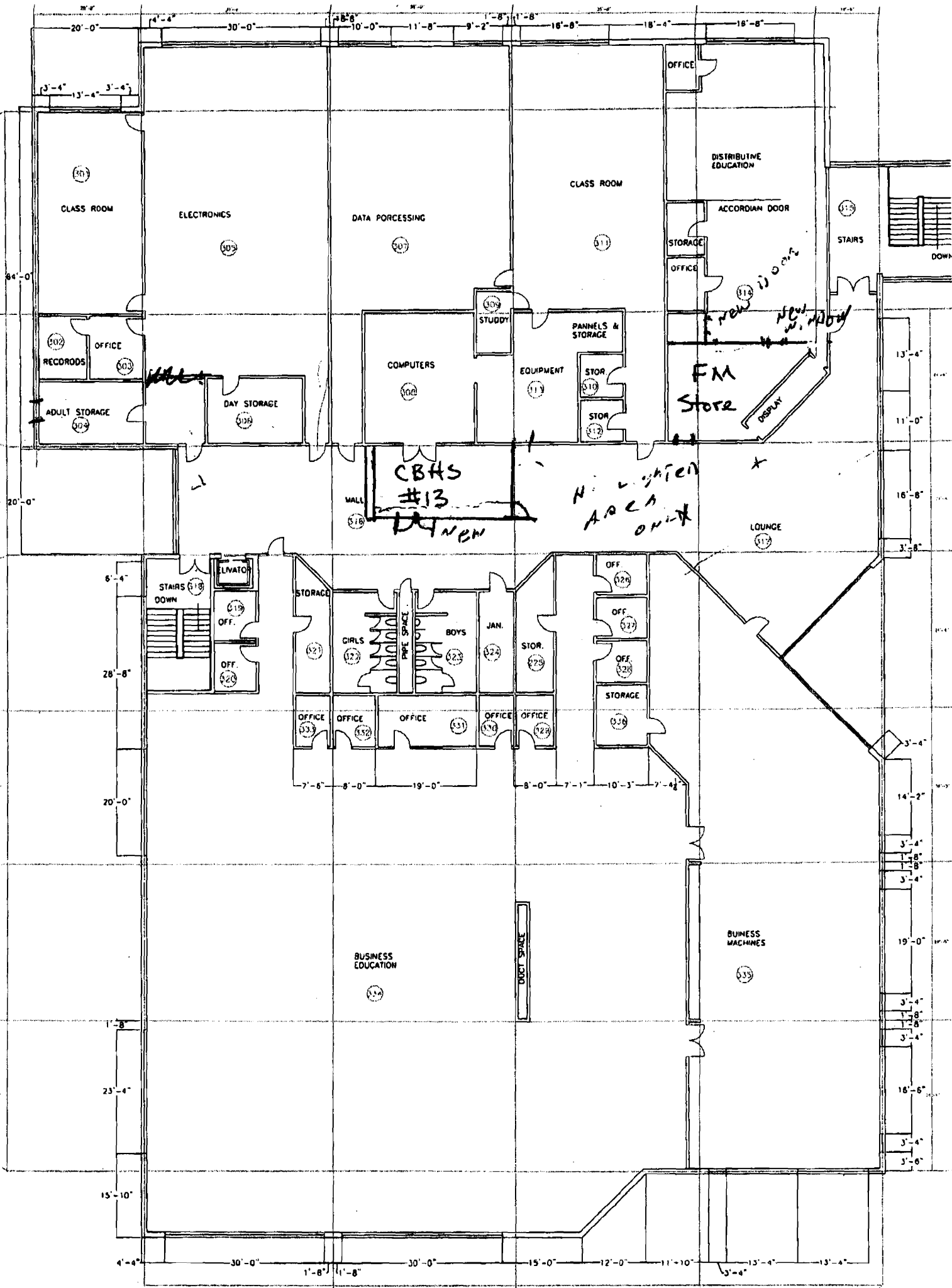
NOTE
 SEE UP
 PAGES 48

2" DIA. 12" DIA.
 12" DIA. 12" DIA.
 2" DIA. 12" DIA.
 (REV. 6, 1944)

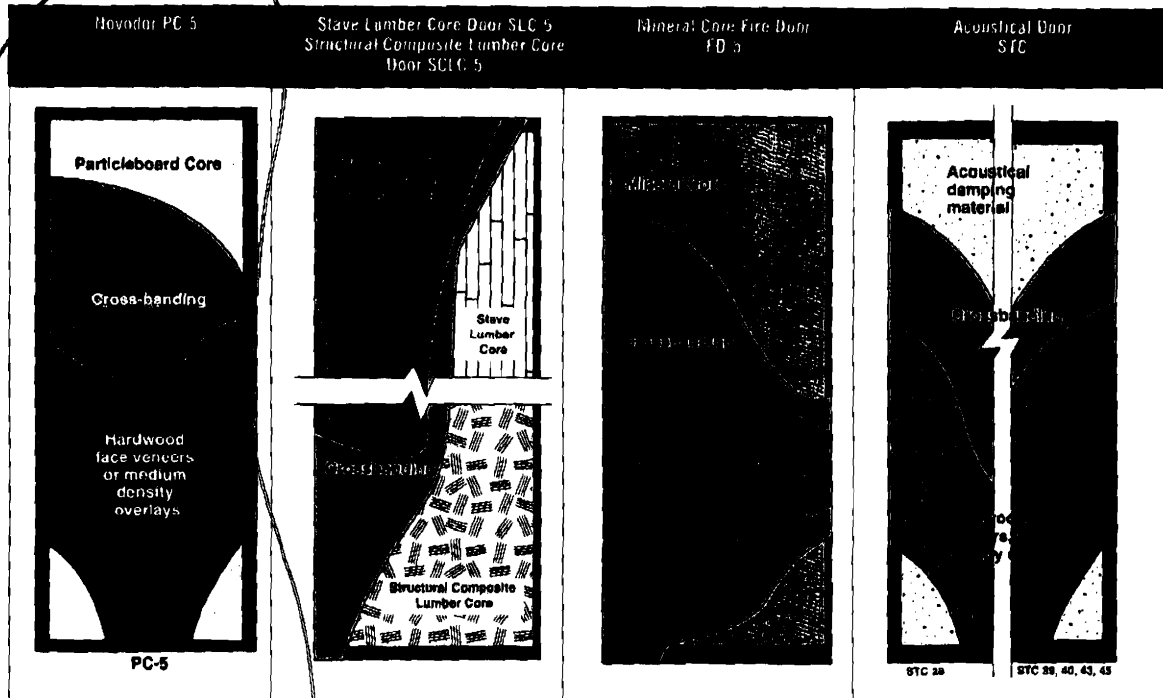
2" DIA. 12" DIA.
 12" DIA. 12" DIA.
 2" DIA. 12" DIA.
 (REV. 6, 1944)

SITE PLAN
 SCALE 1" = 20'-0"

NOTE
 DEDUCTIVE DISCOUNTS FOR EQUIPMENT
 SOUTH OF STONE WALLS SEE SPECIFICATION
 TABLES 1545-49.

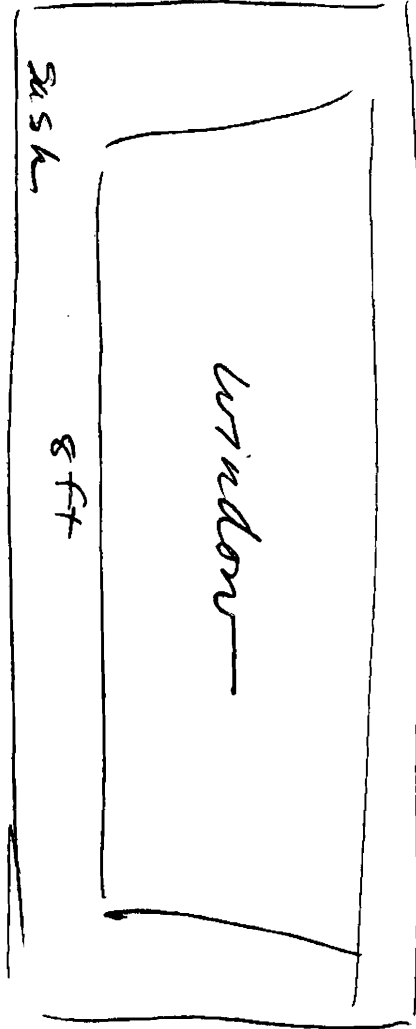


20 min



	Novodor PC-5	Stave Lumber Core Door SLC-5 Structural Composite Lumber Core Door SCLC-5	Mineral Core Fire Door FD-5	Acoustical Door SFC
Thickness Max. Size	1 3/8" and 1 3/4" 4/0 x 10/0	1 3/8", 1 3/4" and 2 1/4" 4/0 x 10/0	1 3/4", 2 1/4" 4/0 x 10/0	1 3/4" STC 28, 39, 40, 43, 45 4/0 x 10/0
Stiles	1 3/8" minimum; outer stile compatible with face.	1/2" minimum compatible stiles.	3/4" Superstiles with untreated maple outers. Matching outers optional.	2-ply stiles. Outer ply compatible with face; inner ply mill option.
Rails	1 3/8" minimum 5 1/2" or 13 1/2" rails optional.	SCLC-Structural composite lumber. SLC-1/2" top; 1 3/8" bottom solid lumber.	Heavy duty rails and lock blocks optional.	2 1/8" min. glued to core. (STC 28)
Core	Conforms to ANSI STD. A208. LD-2 covering mat-formed particleboard. Protective lead shielding also available on PC-5.	Solid wood stave lumber core (SLC). Structural composite lumber core (SCLC). Protective lead shielding also available in SLC only.	Mineral core manufactured by Algoma Hardwoods.	Special constructions to meet acoustical ratings shown. STC 55 rating available for communicating door applications. Contact factory for details.
Adhesives	Water resistant glue for assembling core parts and bonding faces and crossbands to core.	Water resistant glue for assem- bling core parts and for bonding faces and crossbands to core.	Water resistant glue for assem- bling core parts and bonding faces and crossbands to core.	Water resistant glue for assem- bling core parts and bonding faces and crossbands to core.
Crossbands	1/8" minimum engineered wood composite.	1/8" minimum engineered wood composite.	1/8" minimum engineered wood composite.	STC 28: 1/8" minimum engineered wood composite. Special acoustical veneer construction on all other STC ratings.
Face	All veneer species; medium density overlay on PC-5.	All veneer species, medium density overlay.	All veneer species; medium density overlay.	All veneer species; medium density overlay.
Veneer matching	Pairs, sets and/or matching transoms.	Pairs, sets and/or matching transoms.	Pairs and end matched doors and transoms.	Pairs, sets and/or matching transoms factory certified only.
Machining	Factory machining for all forms of hardware except screw holes for surface mounted hardware.	Factory machining for all forms of hardware except screw holes for surface mounted hardware.	Information on labeled door/hard- ware assemblies available from factory.	Factory machining for all forms of hardware except screw holes for surface mounted hardware.
Details	Standard lites and louvers not to exceed 40% of door area or 54" in height.	Standard lites and louvers not to exceed 40% of door area or 54" in height. Lead-lined beads available on lead-lined doors. Full glass/full warranty door available.	Information on details available from factory. Call or write.	400 sq. in. max. lite opening for STC 39. All gasketing, drop seals and thresholds supplied with door.
Finishing	Meets WDMA Section G17 Finish Systems TR-6/OP-6	Meets WDMA Section G17 Finish Systems TR-6/OP-6	Meets WDMA Section G17 Finish Systems TR-6/OP-6	Meets WDMA Section G17 Finish Systems TR-6/OP-6
Fire ratings available	1/2 hour. 1 3/8", 1 3/4".	1/2 hour. 1 3/8", 1 3/4" and 2 1/4".	3/4, 1 and 1 1/2 hour singles and pairs. Doors and transoms single only.	STC 28: 1/2, 3/4, 1 and 1 1/2 hour STC 43: 1/2 hour.
Standards	WDMA I.S.1-A-97 Series	WDMA I.S.1-A-97 Series	WDMA I.S.1-A-97 Series	WDMA I.S.1-A-97 Series

36"



36"

8 ft

Window