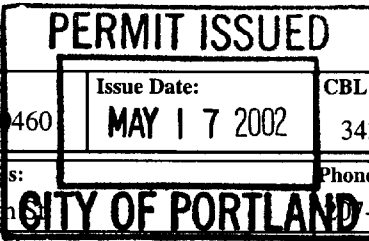


City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716



Permit No: 02-460	Issue Date: MAY 17 2002	CBL: 343 A011001
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Location of Construction: 46 Plymouth St	Owner Name: Wheeler Judy A	Owner Address: 46 Plymouth St	Phone: 838-9926
Business Name:	Contractor Name: no contractor / self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	Zone:

Past Use: single family	Proposed Use: single family, amendment to permit 01-1327	Permit Fee: \$58.00	Cost of Work: \$9,090.00	CEO District: 2
Proposed Project Description: amendment to original permit 01-1327		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied N/A	INSPECTION: Use Group: R-3 Type: SB BOCA 1999	
		Signature:	Signature: <i>[Signature]</i>	

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	N/A
Signature:	Date:

Permit Taken By: jodinea	Date Applied For: 05/02/2002	Zoning Approval	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 5/17/02	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 5/17/02
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

02-0460

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>46 PLYMOUTH ST PORTLAND ME</u>		
Total Square Footage of Proposed Structure	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>343</u> Block# <u>A</u> Lot# <u>11</u>	Owner: <u>JUDY BROCKETT</u>	Telephone: <u>838-9926</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>JUDY BROCKETT</u> <u>46 PLYMOUTH ST 838-9926</u>	Cost Of Work: \$ <u>9090</u> Fee: \$
Current use: <u>LAWN</u>		
If the location is currently vacant, what was prior use: <u>LAWN</u>		<u>01-1327</u>
Approximately how long has it been vacant:		<u>10</u> <u>TAMMY</u>
Proposed use: <u>24x24 garage</u>		
Project description: <u>Amendment to permit</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>FRANK or JUDY BROCKETT</u>		
Mailing address:		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>838-9926</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

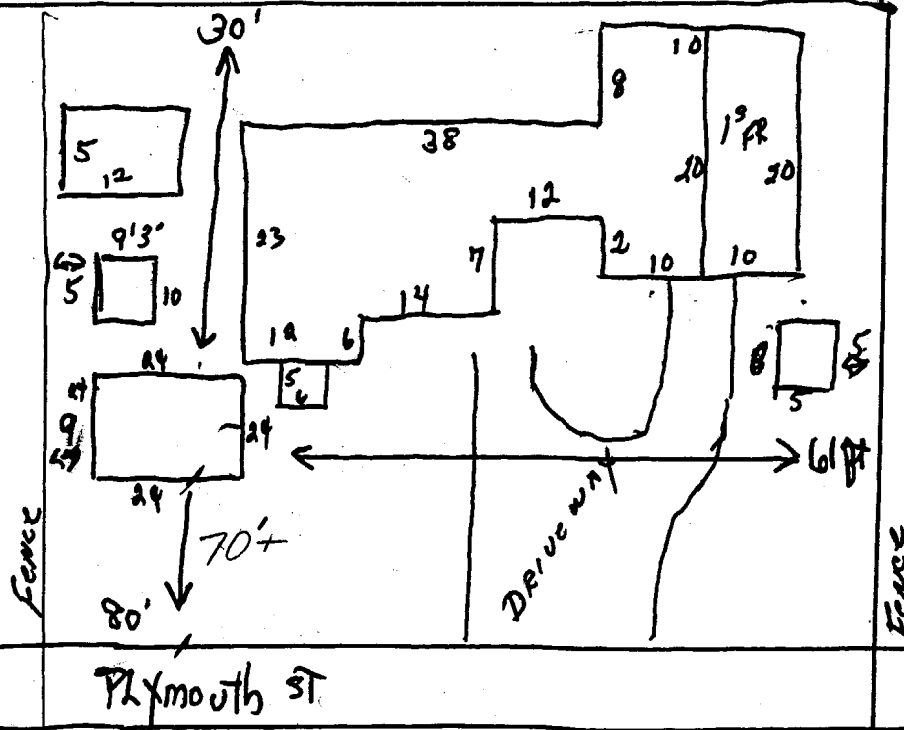
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Judy Brockett</u>	Date: <u>5/2/02</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

46 Plymouth ST

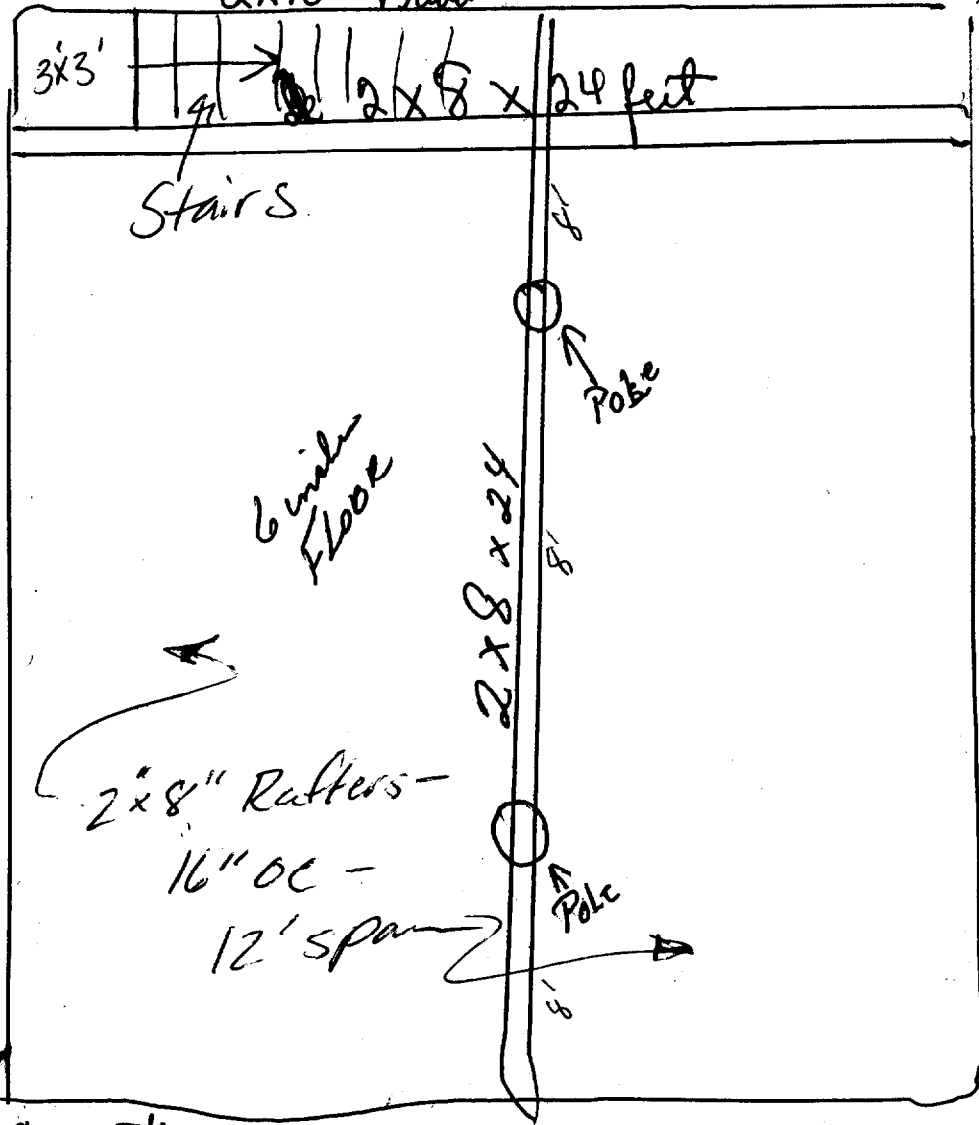
Side - 8' Reg
Front + rear - 25' Reg



Solid
36" high half wall
12" min
(3) protecting stair openings
2x12 STAIRS
2x10 Treads

5/8 plywood
FLOORING

7 3/4" Max Rise
10" Min. Tread



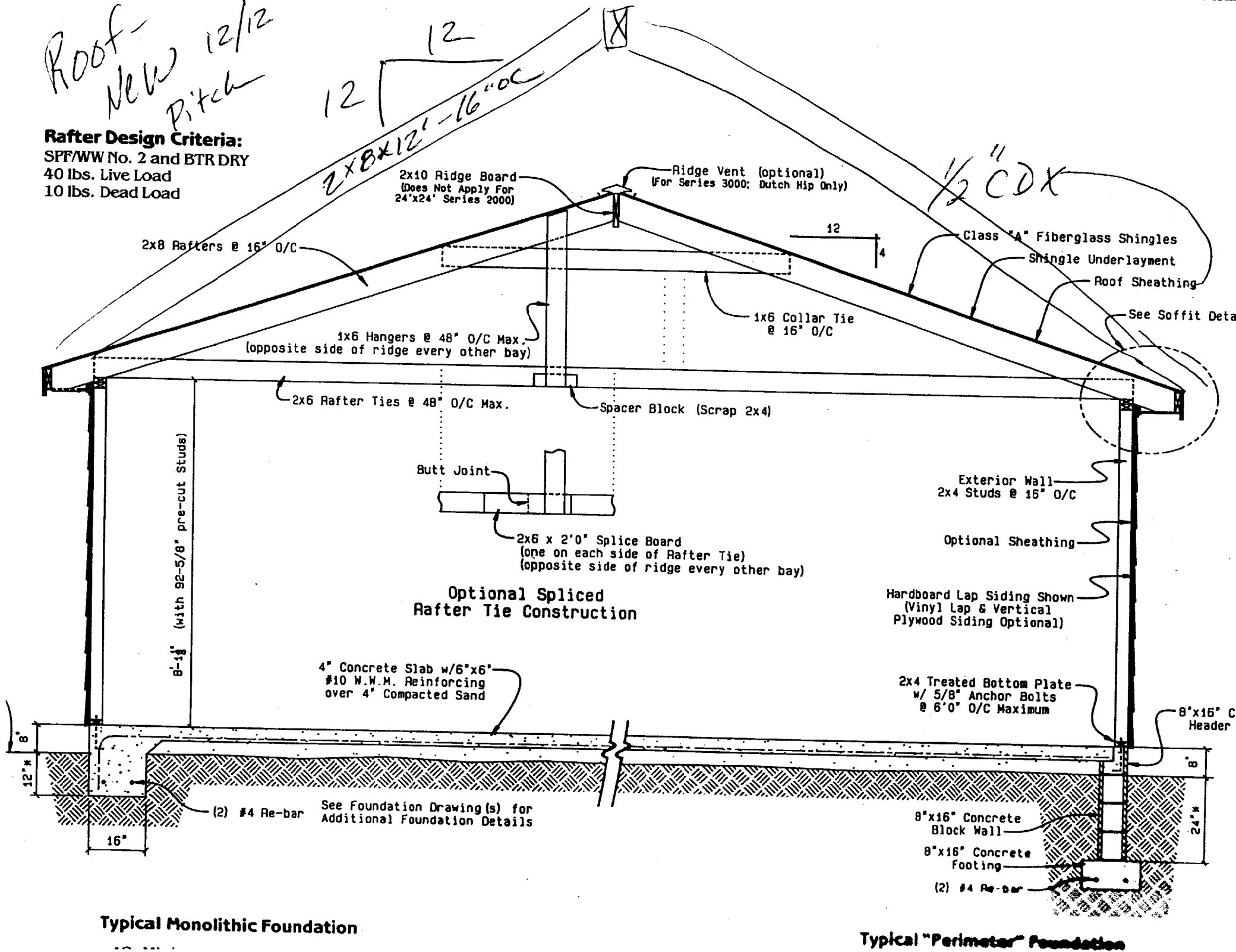
DOOR -
3x4

2-2x6 Headers



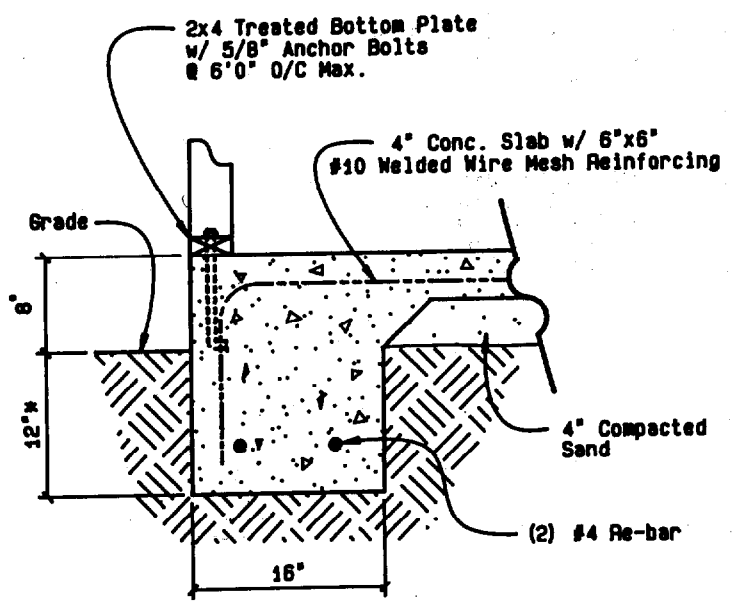
Roof -
New 12/12
Pitch

Rafter Design Criteria:
SPF/WW No. 2 and BTR DRY
40 lbs. Live Load
10 lbs. Dead Load



Typical Monolithic Foundation

Typical "Perimeter" Foundation



A-A

* Or Min. Local Dimension

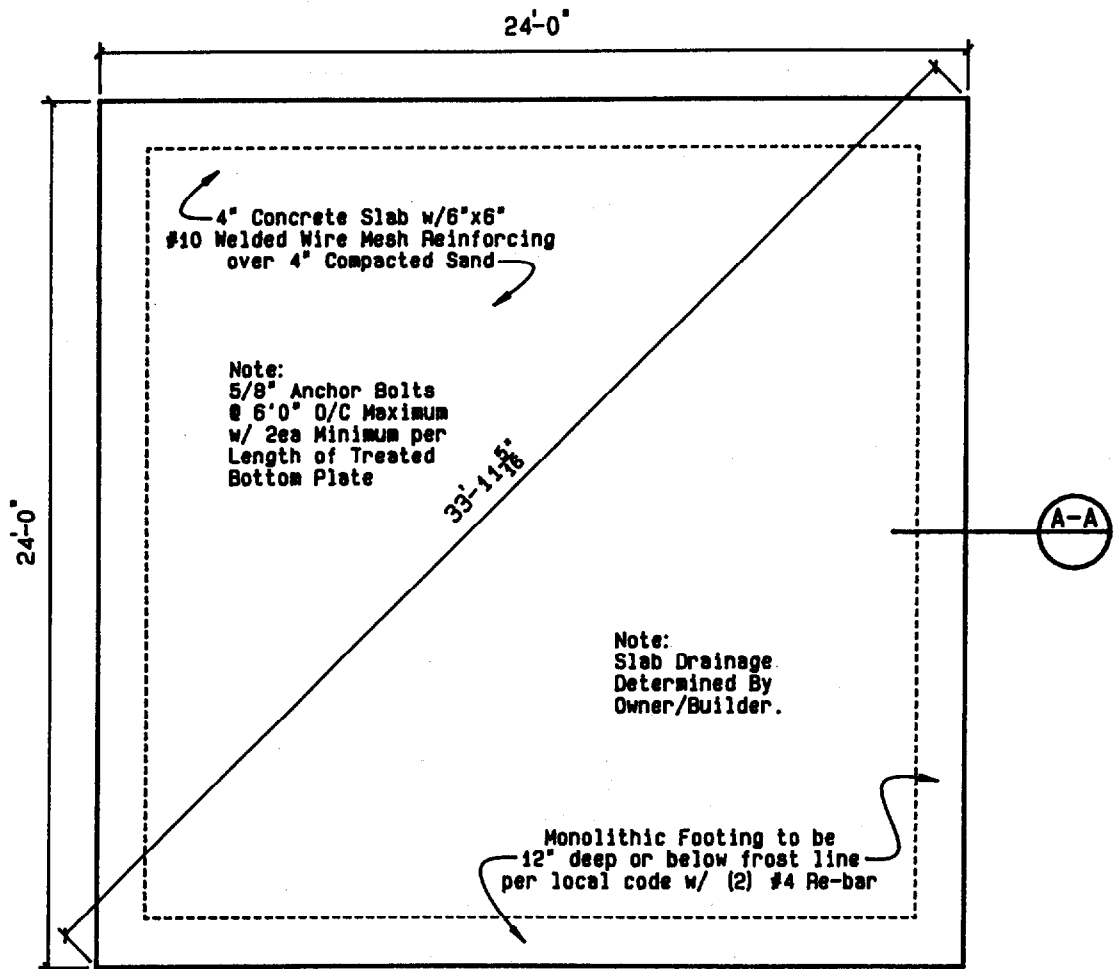
Section "A-A"
Scale: 3/4" = 1'-0"





MONOLITHIC FOUNDATIONS

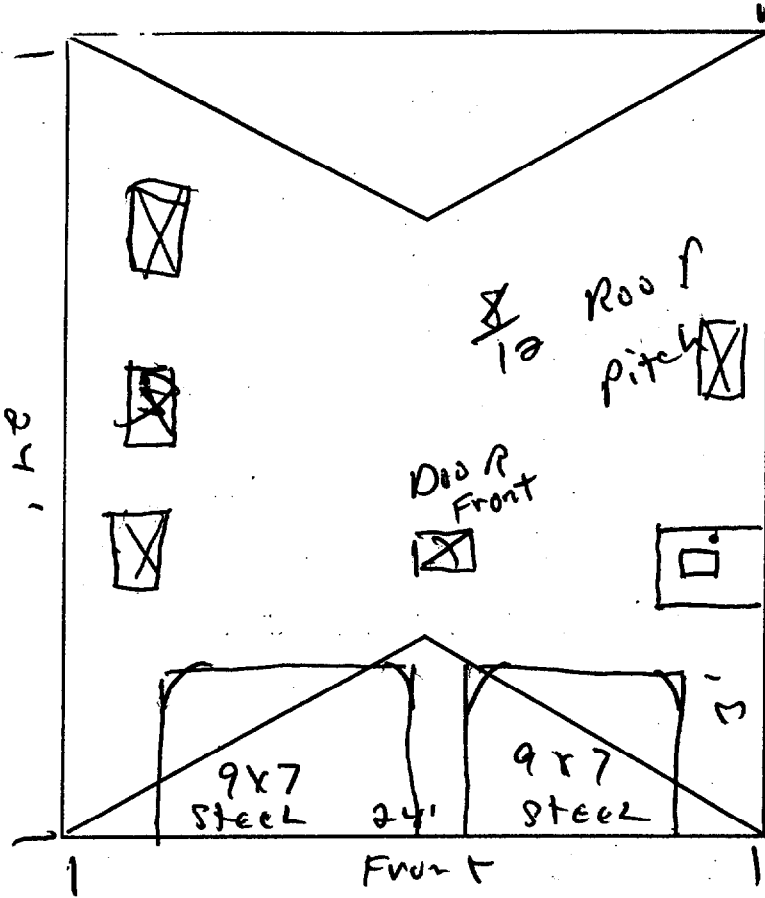
Note:
The term "Monolithic" is used
construction with footing and



24 x 24 Monolithic Foundation Plan

Scale: 3/16" = 1'-0"





Customer Frank & Judy Brochet
 Street 46 Paymouth St
 Town Portland Me
 Phone 839-9926 Date 4-26-
 Delivery Date ASAP
 Garage Size 24 x 24

SPECIFICATIONS

Siding S/S T-11 on wall's
 Window with Locks 1 Vinyl Window
 Overhead Doors 1 Steel Service Door
 Reinforced Concrete Slab "all Shab"
 Shingle Color Black Shingles
 Service Door 2/8 x 6/8
one Steel Service
door w/ glass.

* Building Permit and Zoning regulations are Responsibility of Owners.

SITE SPECIFICATIONS:

Is site level? NO
 Who orders fill? Customer
 Is customer to pay for fill? Yes
 Customer is to pay for all site work. yes

- Bottom Plate 2 x 4 Pressure Treated
- Studs - 2x4 - 16" O.C.
- Corner Posts - Triple 2x4
- Top Plate - Double 2x4
- Rafters - 2x8
- Rafter Ties 2x4
- Ridge Board 2x8
- Roof Deck Sheathing
- Asphalt Roof Shingles
- Soffit - 1x6 or 1x8
- Facia 1x4
- Corner Boards - 1x3 and 1x4 butted at right angles
- Rake 1x4
- Collar Ties
- Metal drip Edge
- One Year Free Service

- Gravel must be within 1/2 to 1' of being level or customer will be charged for time that men must shovel to make level.
- Gravel pad for slab needs to be 3-4 feet bigger all around the actual garage.
- Site must be accessible for all trucks to deliver materials.
- Site must have a power supply. If power has to be provided by contractor, there will be an additional cost to be paid by customer.

IMPORTANT: All site preparation including digging, dozing, fill, gravel, and tree removal will be **PAID BY OWNER** and is not included in contract price.

Plan Authorized by: Frank E Brochet
 Owners Signature

DATE OF ACCEPTANCE ~~4-26-2006~~

[Signature]

PROPOSAL SUBMITTED TO **Frank & Judy Brockett** PHONE **839-9926** DATE **4-26-02**
 STREET **46 Poxmuth St** JOB NAME _____
 CITY, STATE, AND ZIP CODE **Port Land Ore 04103** JOB LOCATION **Same**
 ARCHITECT/CONTRACTOR **STEVE JONES** DATE OF PLANS **ASHP** EST BEGIN DATE _____ JOB PHONE _____
 EST. COMPLETION DATE _____

We hereby submit specifications and estimates for 1 (one) **24' X 24'** garage, stick built on site. **(Gable)** Reverse Gable, Gambrel, Garage & Carport

STANDARD SPECIFICATIONS	ADDITIONS - ALTERATIONS
1. Wall Studs - 2 X 4 16" o.c.	Rafter Pitch 6/12 7/12 (8/12) 9/12 10/12
2. Bottom Plate - Treated	
3. Corner Posts - Triple 2 X 4	1.) 8/12 Roof pitch B450
4. Top Plate - Double 2 X 4	
5. Rafters - 2 X 8 Pitched at 5 1/2 Standard	
6. Rafter Ties at Top of Roof	Exterior ceiling joists 200
7. Ridge Board 2 X 8	
8. Overlays/Hurricane Braces	
9. 1/2" CDX Plywood or (OSB) Roof Sheathing	FLOOR RAFTERS
10. Roof Shingles	2X8 X 24
11. Metal Drip Edge All Around Roof	STRIPS
12. (1-11) - Vinyl (OSB under Vinyl)	(3) 2X16 feet
13. (2) (Steel) Overhead Doors (9' x 7')	2X10 TRAILS
14. One Window 3	
15. One Steel Service Door <input checked="" type="checkbox"/> w/glass	
16. 6" Reinforced Wire Mesh Concrete Slab	
17. FREE One Year Service Warranty	
	TOTAL \$

Payment to be made as follows:
 Payment, by bank check or cash upon arrival of contractor.
 Payment, by bank check or cash, of final balance at day & hour of completion.
 All building permits and zoning regulations to be applied for and picked up is the sole responsibility of the customer.
 All material is guaranteed to be specified. All work to be completed in a workmanlike manner according to standard practices. Any alterations or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our crews carry their own liability insurance as do we.

Price	\$ 8,640
Additions	\$ 450
Total Price	\$ 9,090
Less Deposit	\$
BALANCE	\$
Final Pmt.	\$

NOTE: This proposal may be withdrawn by us if not accepted within _____ days.
Acceptance of Proposal - The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.
 Contractor _____ Owner **X Frank & Brockett**
 Date of Acceptance _____ Owner _____

Customer Name Frank & Judy Brock Phone: 839-9926
 Address: 46 Plymouth me 04103

Description: TO Build one 24x24 Garage
on site w/ one vinyl window and one
door w/ glass, and a 6" slab and
2 steel curb boards No / Glass and a 12 pitch
and

Payment to be made as follows:

Payment given to contractor on arrival and start of job.
 Payment to be made by bank Check payable to Steve Jones or Garage Pros of Maine.
 Payment (by bank check or cash) of final balance is due at day and hour of completion.

Customer X Frank E Brock Date 4-26-02
 Contractor [Redacted] Date [Redacted]

	Amount	Date Rec'd
Materials	\$ 8090	at Sta
Final Pmt.	\$ 1000	at En

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or ~~874-8693~~ to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

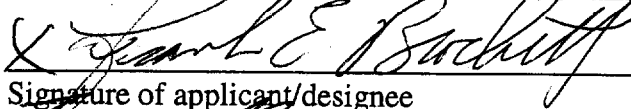
Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

- Footing/Building Location Inspection:** Prior to pouring concrete
- ~~N/A~~ **Re-Bar Schedule Inspection:** Prior to pouring concrete
- ~~N/A~~ **Foundation Inspection:** Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling
- Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

 If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

~~N/A~~ **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**


Signature of applicant/designee

Date
5/17/02


Signature of Inspections Official

Date

CBL: 343-A-11 Building Permit #: 02-0460