

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED	Permit No.: 02-0248	Issue Date: APR 10 2002	CBL: 343 A011001
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Location of Construction: 46 Plymouth St	Owner Name: Brackett, Judy	Owner Address: 46 Plymouth St Portland	Phone: 207-838-9926
Business Name: n/a	Contractor Name: no contractor / self	Contractor Address: Portland	Phone
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type:	Zone: R-3

Past Use: Single Family	Proposed Use: Single Family / Build 24' x 24' two bay garage and legalize two sheds 8' x 6' and 9'3" x 10'.	Permit Fee:	Cost of Work: \$2,000.00	CEO District: 2
Proposed Project Description: Build 24' x 24' garage and legalize two sheds 8' x 6' and 9'3" x 10'.		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-U Type: 5B 4/2/2002 Signature: <i>[Signature]</i>	
		Signature:	Signature:	

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____

Permit Taken By: gg	Date Applied For: 03/21/2002	<b>Zoning Approval</b>
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>3/15/02</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
	<i>to permit family</i>		
	<i>[Handwritten Signature]</i>		

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

JB **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

JB **Footing/Building Location Inspection:** Prior to pouring concrete  
*Provide any New Foundation Plan Changes*

JB **Re-Bar Schedule Inspection:** Prior to pouring concrete

NA **Foundation Inspection:** Prior to placing ANY backfill

JB **Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling  
*unfished walls*

NA **Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a ~~\$75.00~~ fee per inspection at this point.

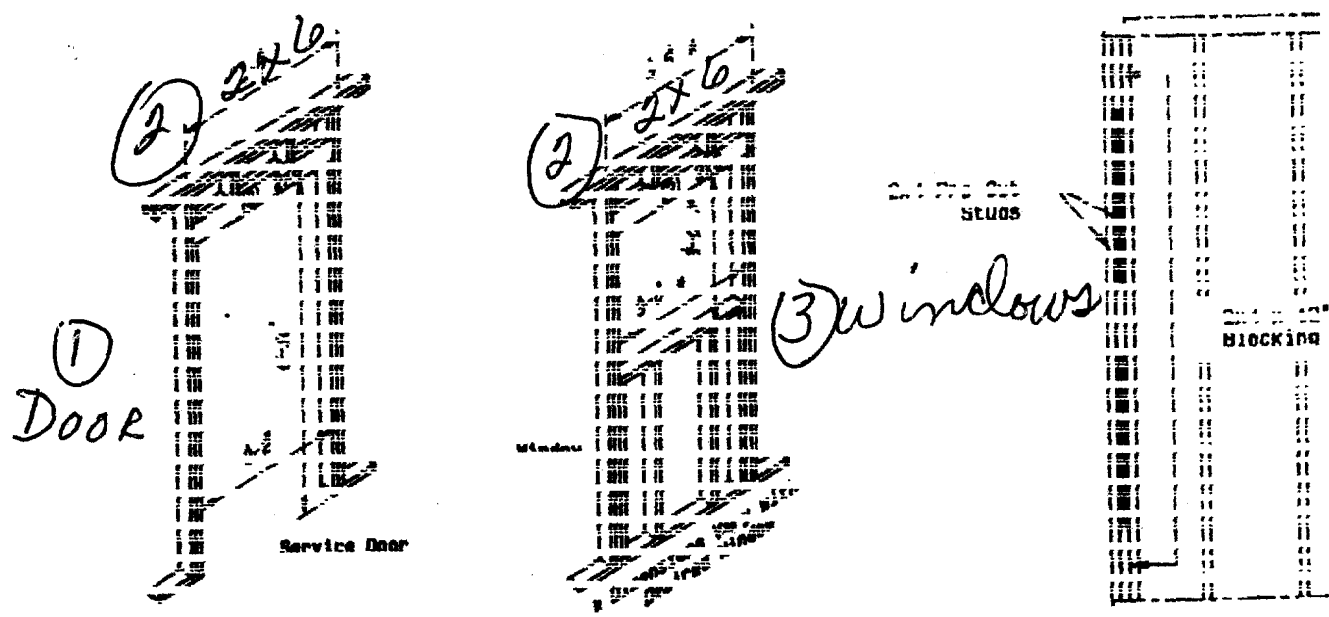
Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

JB If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

NA CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Frank E. Berdett Signature of applicant/designee Date 4/11/02  
Leanne Bourke Signature of Inspections Official Date 4/11/02

CBL: 343 A011001 Building Permit #: 02-0248



**Rough Opening Subassemblies**

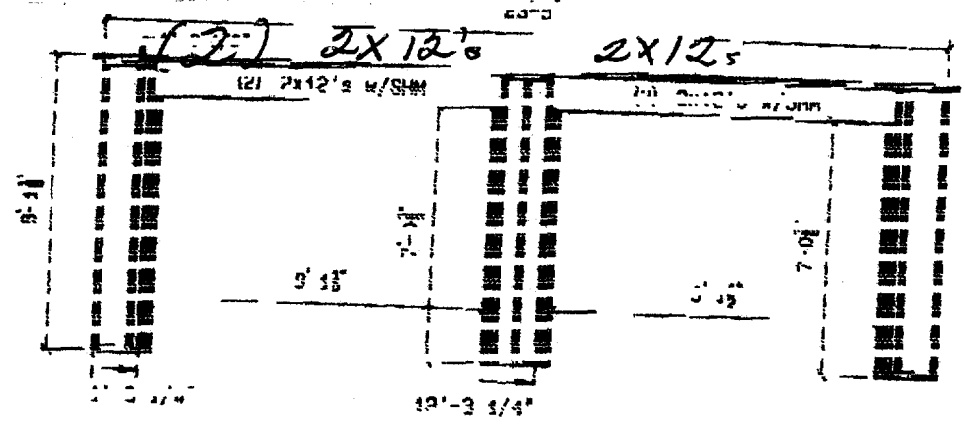
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**Corner Subassembly**

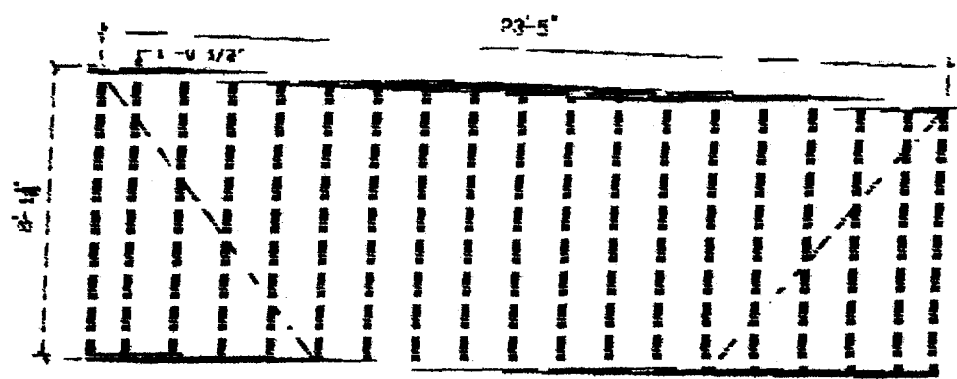
Scale: 1/8" = 1'-0"

Depending on the flexibility of your site and layout, you may position the optional service door(s) and/or window(s) to one or both sides and/or rear.

*FRANK E BROCKETT*



24' Front Panel - Elevation "E"



Typical 24' Rear Panel



*FRANK E BROCKETT* RE: 46 Plymouth

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>46 Plymouth St. Portland</u>		
Total Square Footage of Proposed Structure <u>576 sq ft</u>	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>343</u> Block# <u>A</u> Lot# <u>011</u>	Owner: <u>Judy Brockett</u>	Telephone: <u>838-9926</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Same</u>	Cost Of Work: \$ <u>5000</u> <del>_____</del> - w/ permit Fee: \$ <u>01-1327</u> that was denied
Current use: <u>Lawn Single family</u>	<u>30-</u>	
If the location is currently vacant, what was prior use: _____	<u>\$5800</u>	
Approximately how long has it been vacant: _____		
Proposed use: <u>24' x 24' 2 bay Garage + 2 sheds</u>		
Project description: <u>Garage → 8' x 16' + 9' x 10' sheds (build a 24' x 4')</u>		
Contractor's name, address & telephone: <u>Self</u>		
Who should we contact when the permit is ready: <u>Frank Brockett</u>		
Mailing address:		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>838-9926</u>		

**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: <u>Judy Brockett</u>	Date: <u>2-14-02</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.**  
**If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall**

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Total Square Footage of Proposed Structure <u>576 sq ft</u>	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart#          Block#          Lot#	Owner: <u>Judy Brockett</u>	Telephone: <u>838-9926</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Same</u>	Cost Of Work: \$ <u>5000</u> Fee: \$
Current use: <u>Lawn</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>24x24 2 bay Garage + 2 sheds</u> Project description:		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>Frank Brockett</u>		
Mailing address:		
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**DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK  
CITY OF PORTLAND**

Please Read  
Application And  
Notes, If Any,  
Attached

**BUILDING DEPARTMENT**

**PERMIT**

Permit Number: 020248

This is to certify that Brackett, Judy/no contractor self  
has permission to Build 24' x 24' garage and lease two spaces 8' x 12' and 9'3" x 12'  
AT 46 Plymouth St Portland, OR 97202 343 A011001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is started or closed-in. **24 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

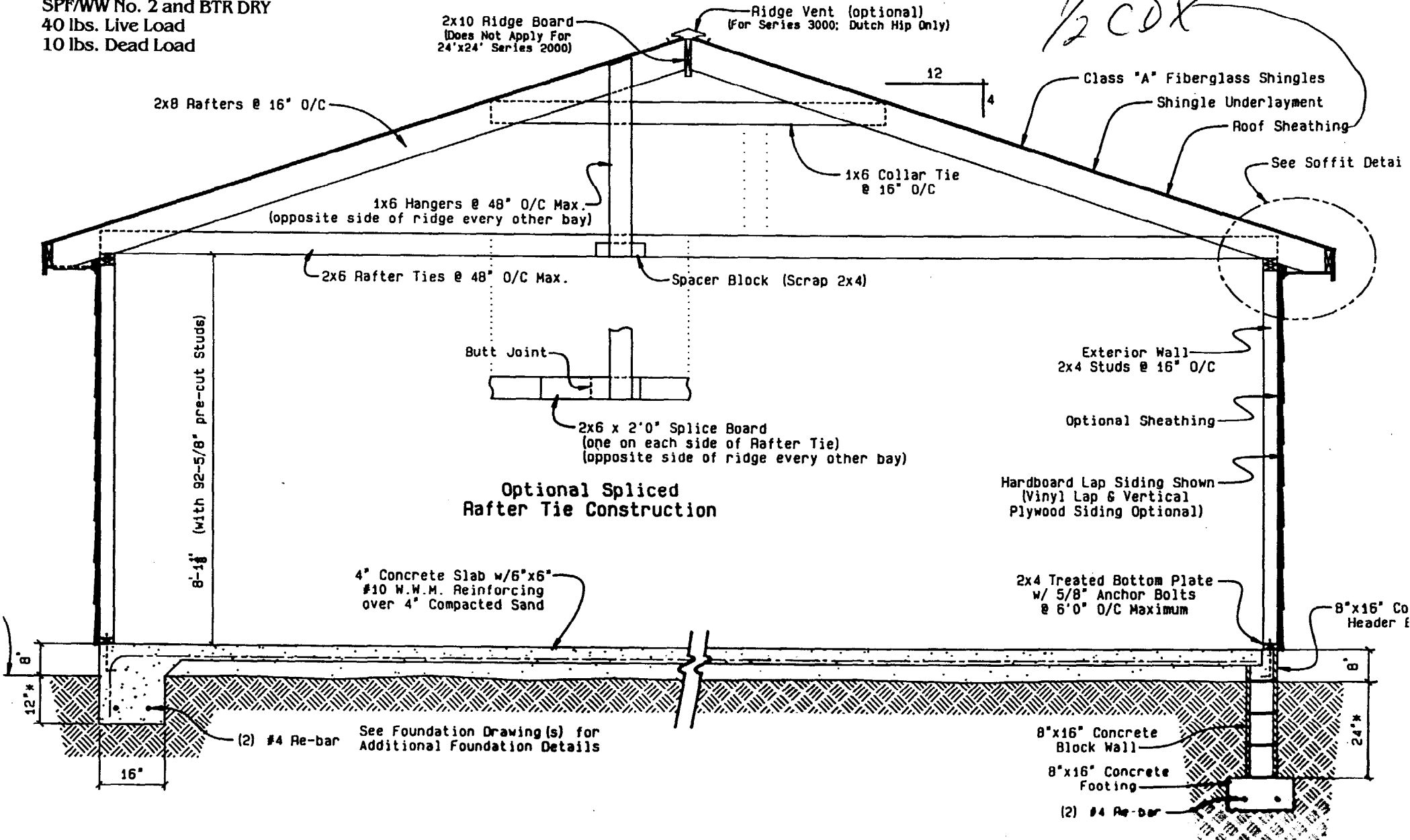
**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name \_\_\_\_\_

  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**Rafter Design Criteria:**  
 SPF/WW No. 2 and BTR DRY  
 40 lbs. Live Load  
 10 lbs. Dead Load

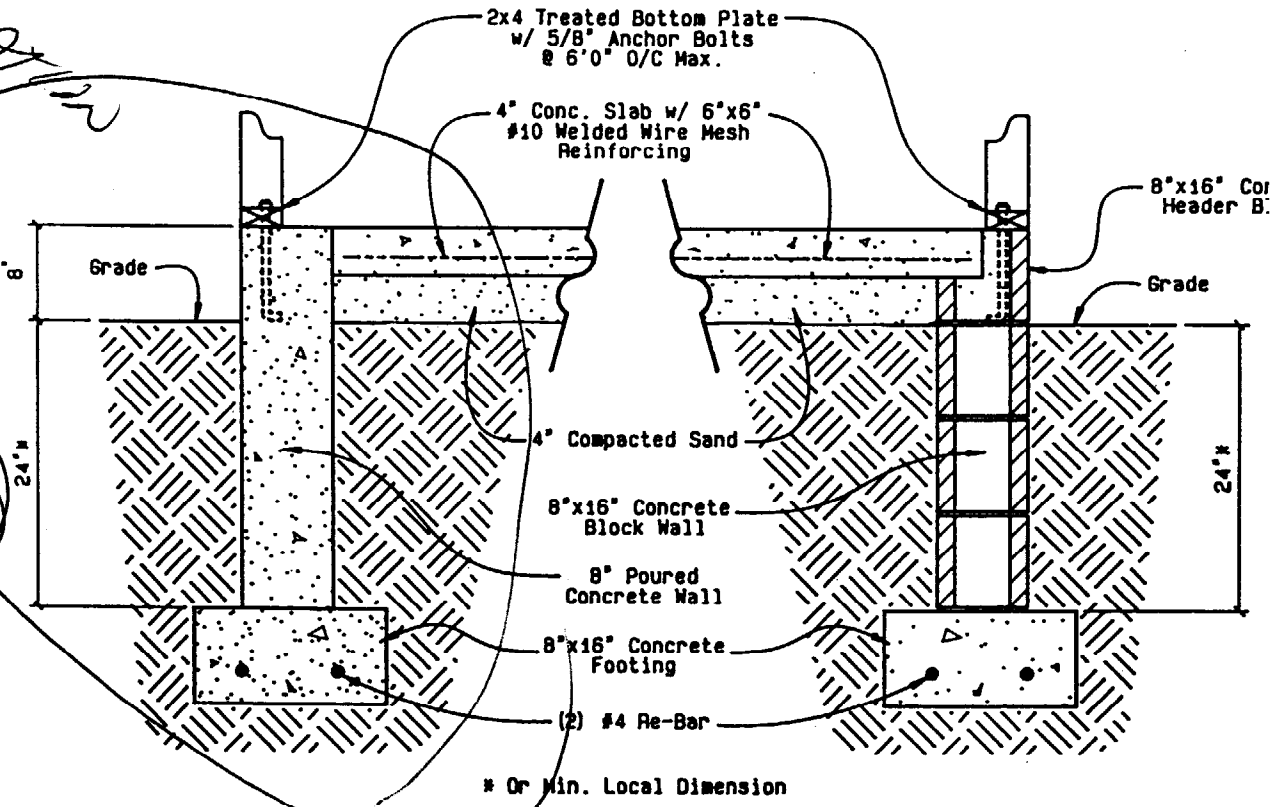


**Typical Monolithic Foundation**

**Typical "Perimeter" Foundation**

THIS IS THE FOUNDATION PER OWNERS

*[Handwritten scribbles]*

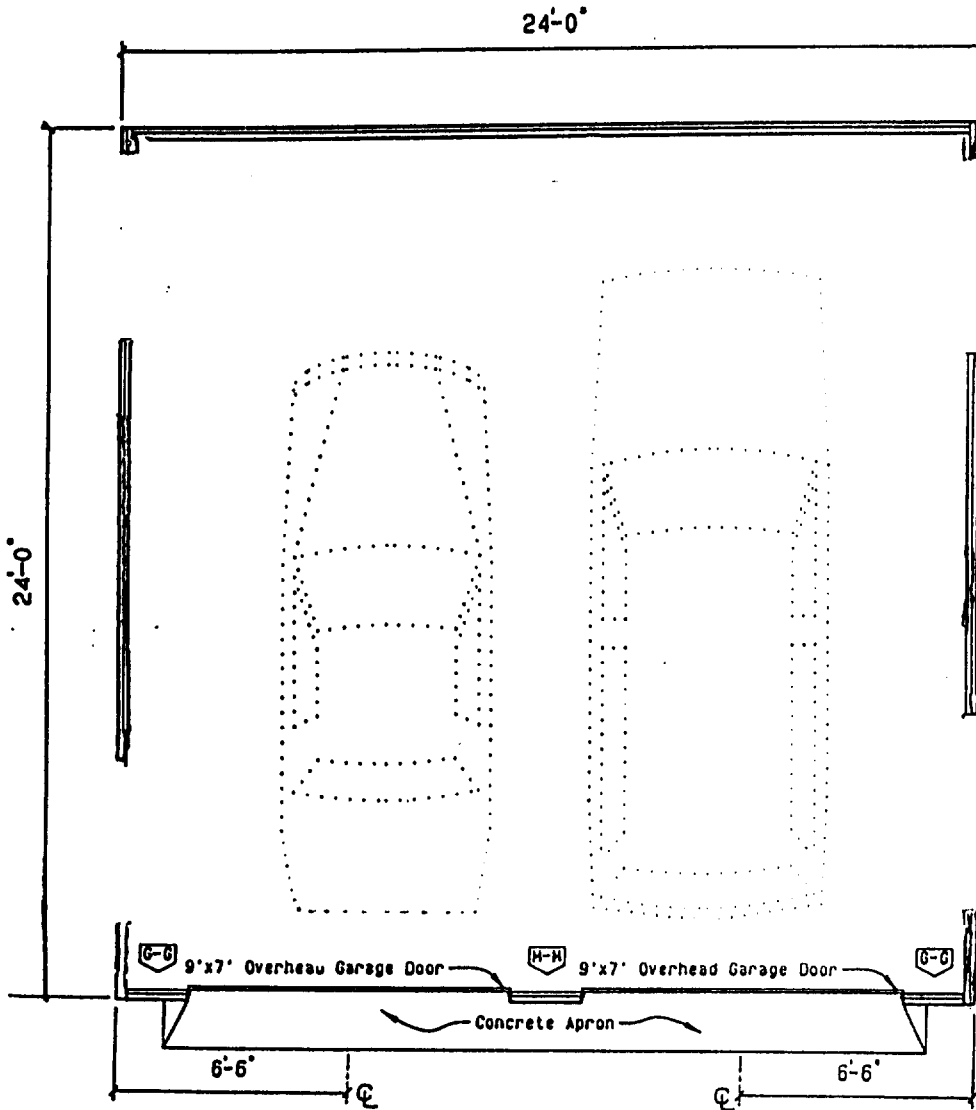


Poured Wall "Perimeter" — OR — Block Wall "Perimeter"

**Section "B-B"**

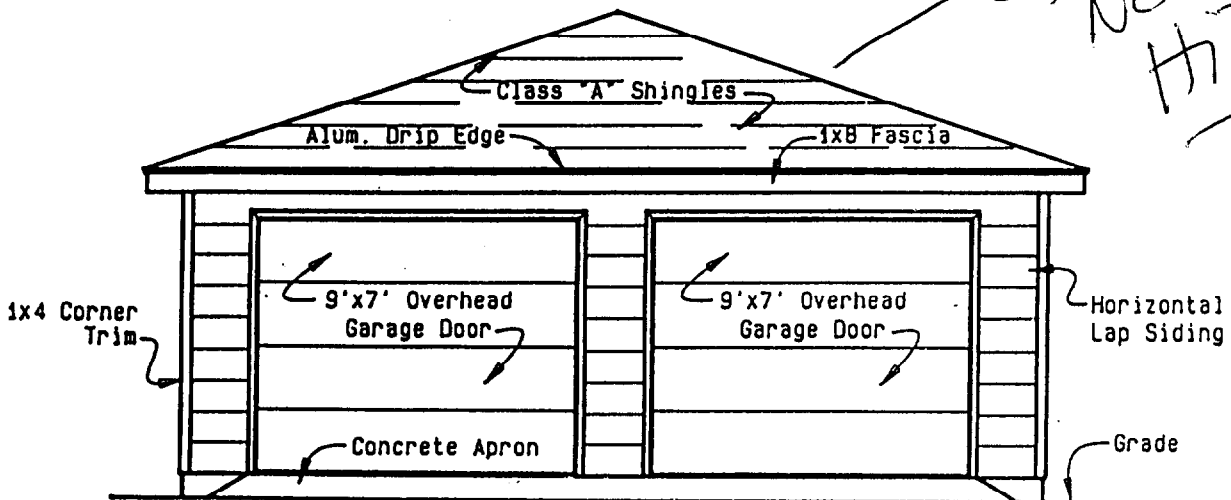
Scale: 3/4" = 1'-0"





**24 x 24 Floor Plan**

*Only a Gable  
Not a  
HIP.*

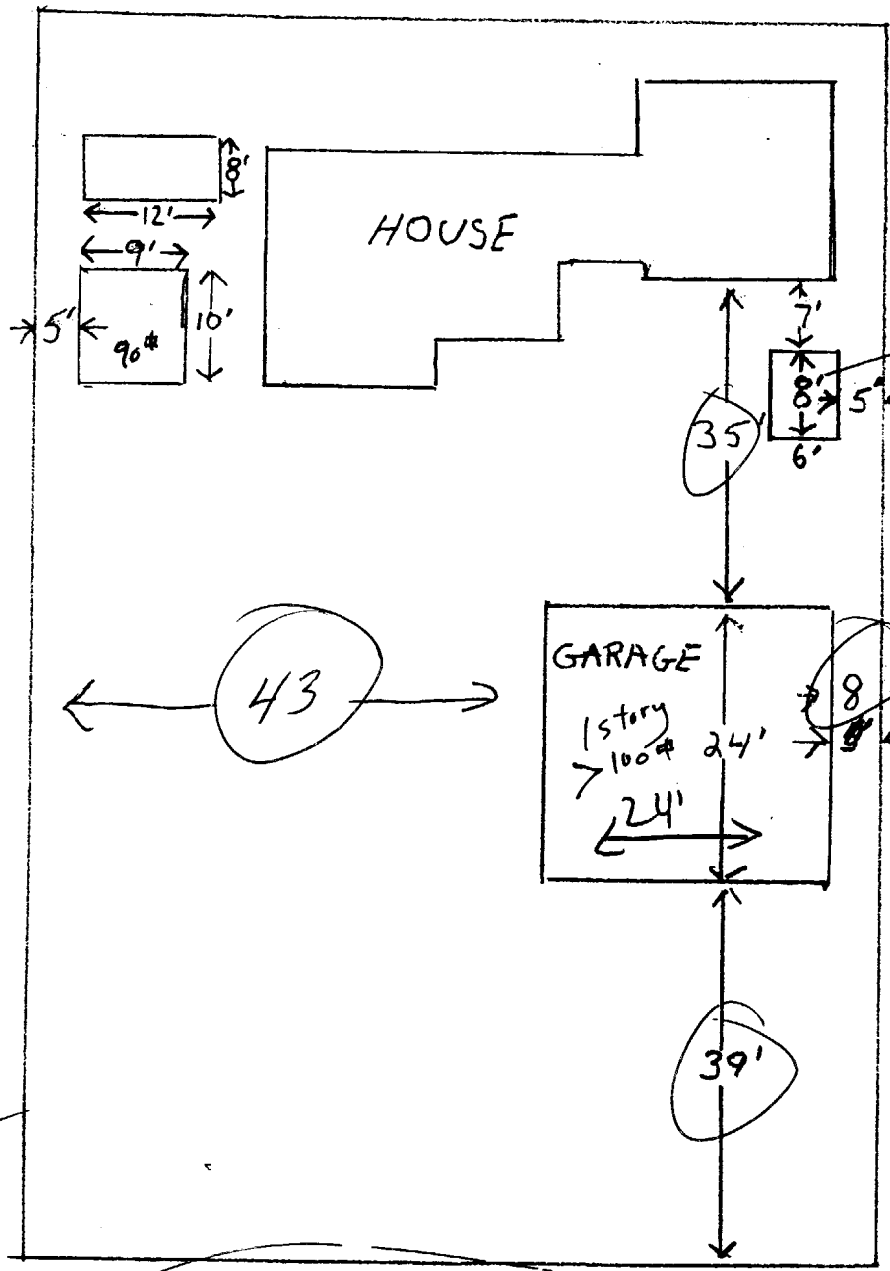


10,973 x 25' 6" = 2743.25 sq ft

8347 exist house  
200 sq ft

- 96 = 8x12 shed
- 90 = 9x10 shed
- 48 = 6x8 shed
- 5765 24x24 garage

1844 sq ft



R-3

Sheds < 100 ft  
may be 5' from rear  
and side lines

R-3

(Garage)

rear - 25' req - 35' Show

front - 25' req - 39' Show

Sides - 8' req - 8' & 43' Show

Front Street

Plymouth St

**High Gambrels Offer Maximum Storage\*  
And Headroom. There's Plenty Of Extra  
Storage Space And Room To Work In.**

- Rugged mid-wall and roof bracing for added strength.
- Corrosion resistant finish is baked-on polyester enamel paint over galvanized steel.
- Long-lasting 100% galvanized steel doors, wall and roof panels.
- **Get up to 852 cubic ft. of storage** on 10' x 13' model.
- Easy-to-assemble: pre-cut, precision drilled and numbered parts.
- Optional roof strengthening kit #68207 available for 10' x 9' only. Ideal for heavy snow load locations. Supports weight loads to 26.52 lbs./sq. ft.
- **12-year limited warranty.**

Walls: Eggshell Doors: Emery Gray Door Trim: Black Roof: Black

68385 Foundation Kit fits 10' x 9'  
68387 Foundation Kit fits 10' x 13'



Specifications At A Glance

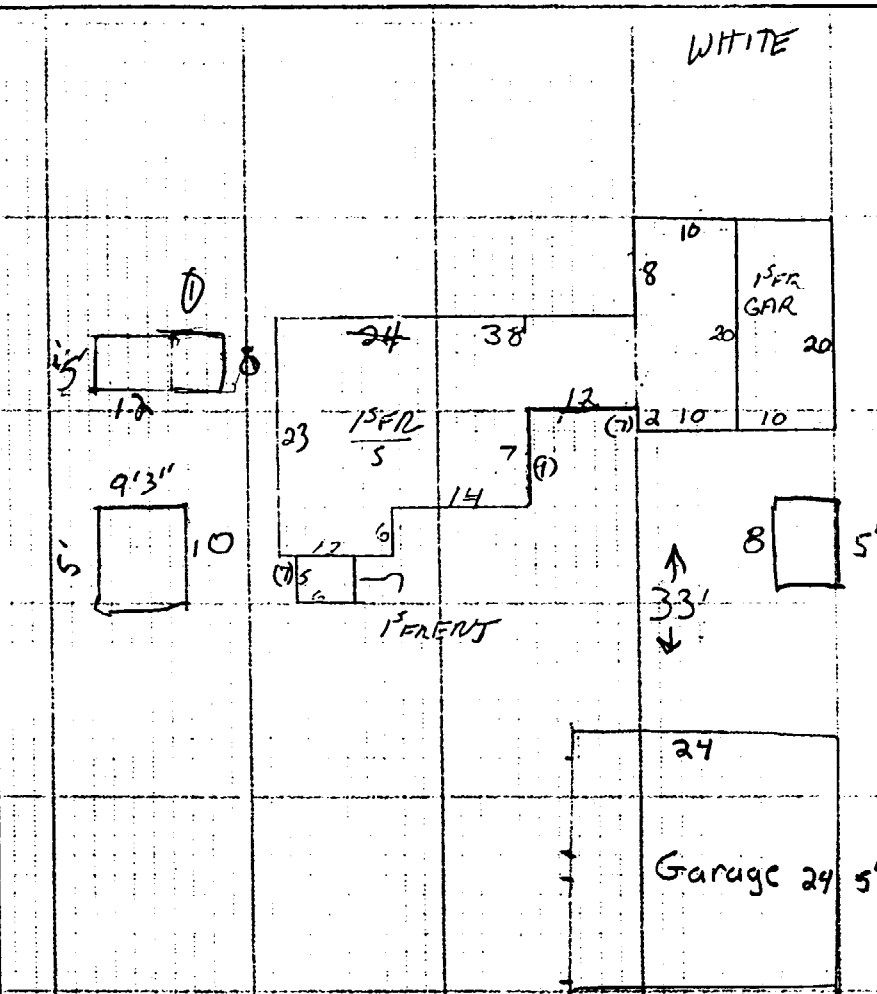
Stock #	Size*	Storage Area	Interior Dimensions (in.)			Door Opening		Slab Size	
			W	D	H	W	H	W	D
68755 Steel	10'x9'	84 sq. ft., 553 cu. ft.	118 1/4"	102 1/4"	86 3/8"	55 1/2"	60"	121"	105"
68756 Steel	10'x13'	129 sq. ft., 852 cu. ft.	118 1/4"	157 1/2"	86 3/8"	55 1/2"	60"	121"	160 1/4"

All buildings must be anchored. \*Exterior dimensions rounded to nearest foot.

Second shed  
on right of  
plan is a 5x8  
than has been  
there 10 years  
and must be  
legalized

existing 10'x9'  
this is existing  
for snow load!

499	DELTYE 505 532
500	V VACANT <input checked="" type="radio"/> DWELLING <input type="radio"/> OTHER
505	STORY HEIGHT ① 1.5 2.0 2.5 3.0
506	EXTERIOR WALLS ① FRAME 4 BLOCK 7 STONE 2 BRICK 5 STUCCO 8 ASBESTOS 3 MAS. & FRAME 6 ALUM./VINYL 9 CONCRETE
507	STYLE 1 RAISED RANCH 7 CONDO 13 MANSION 2 SPLIT LEVEL 8 CONTEMP. 14 GAMBREL 3 RANCH 9 TOWNHSE/ROW 15 GARRISON 4 CAPE 10 COTTAGE 16 OTHER 5 OLD STYLE ① BUNGALOW 6 COLONIAL 12 DUPLEX
508	AGE ERECTED 1 950 EST. 1 REMODELED 19
509	LIVING ACCOMMODATIONS TOTAL ROOMS 06 BED ROOMS 03 FAMILY ROOMS 0 FULL BATHS 1 HALF BATHS 0 ADD'L FIXT. 0 TOTAL 02
510	NO. KITCHEN REMODELED <input checked="" type="radio"/> YES <input checked="" type="radio"/> NO <input type="radio"/> YES <input checked="" type="radio"/> NO
512	BASEMENT ① NONE 2 CRAWL 3 PART 4 FULL
513	HEATING ① NONE 2 BASIC 3 CENTRAL AIR COND. HEATING FUEL TYPE ① NONE 2 GAS 3 ELEC 4 OIL 5 COAL 6 SOLAR HEATING SYSTEM TYPE ① NONE 2 WARM AIR 3 ELEC 4 HOT WATER 5 STEAM
514	ATTIC ① NONE 2 UNFIN 3 PT FIN 4 FULL FIN 5 FULL FIN/WH
515	INTERIOR CONDITION 1 BETTER 2 ③ SAME 3 POORER
516	PHYSICAL CONDITION 1 EX 2 GD 3 ③ XV 4 FR 5 PR 6 VP 7 UN
517	SFLA
518	CONDO LEVEL 518 CONDO TYPE 1-INTERIOR 2-CORNER
520	OTHER FEATURES 1 BRICK TRIM 2 STONE TRIM 3 REC ROOM 4 FIN. BSMT LIVING AREA 5 WB FP: STACKS OPENINGS 6 METAL FP: STACKS OPENINGS 7 WOOD COAL BURNING 8 BSMT GARAGE NO. OF CARS 9 UNFINISHED AREA (-) % 10 UNHEATED AREA (-) %
530	GROUND FLOOR AREA
531	GRADE FACTOR AA A B ③ C D E F
532	COST & DESIGN FACTOR [ ] %
533	CDU EX VG ③ GD AV FR PR VP UN
534	MARKET ADJUSTMENT %



NOTES	
471	
472	
473	
474	

BUILDING PERMIT RECORD			
NUMBER	DATE	AMOUNT	DI
461			
462			
463			
464			
465			

599 DELETE 601-608 ADDITIONS					
ADD	CO	LWR	1ST	2ND	3RD
601	A1		13		
602	A2				
603	A3				
604	A4				
605	A5				
606	A6				
607	A7				
608	A8				

RESIDENTIAL	POOLS	ADDITION CODES	DWELLING COMI
RC1 Carport RC2 Canopy RG1 Frame/CB Detached Garage RG2 Brick/Stone Detached Garage RS1 Frame Shed RS2 Metal Shed	RP1 Plastic Liner RP2 Prefabricated Vinyl RP3 Reinforced Concrete RP4 Fiberglass RP5 Gunite	10 1s Frame 11 OFF 12 EFP 13 Frame Garage 14 Frame Utility	15 Frame Bay 16 Frame OH 17 1/2 Frame 18 Unfin. Attic 19 Fin. Attic
799 DELETE 801-810 OTHER BUILDINGS & YARD IMPROVEMENTS		20 1s Mas 21 OMP 22 EMP 23 Mas. Garage 24 Mas. Utility	25 Mas. Bay 30 Carport 31 Wood Deck 32 Canopy 33 Conc. Patio
TYPE CODE QTY YR		34 Stone Patio 35 Mas. Stoop 36 Att. Greenhouse 50 Unfin. Bsmt. 99 Misc. Value	BASE PRICE BASEMENT HEATING PLUMBING ATTIC ADDITIONS OTHER FEATURES SUB TOTAL x GRADE FACTOR x C & D FACTOR = BASE VALUE x MARKET ADJ. = TRUE VALUE
801	RS1 01 50	02x012	C A
802			
803			
804			
810 MISCELLANEOUS IMPROVEMENTS			
800 1 SEE DETAILED CARD			

