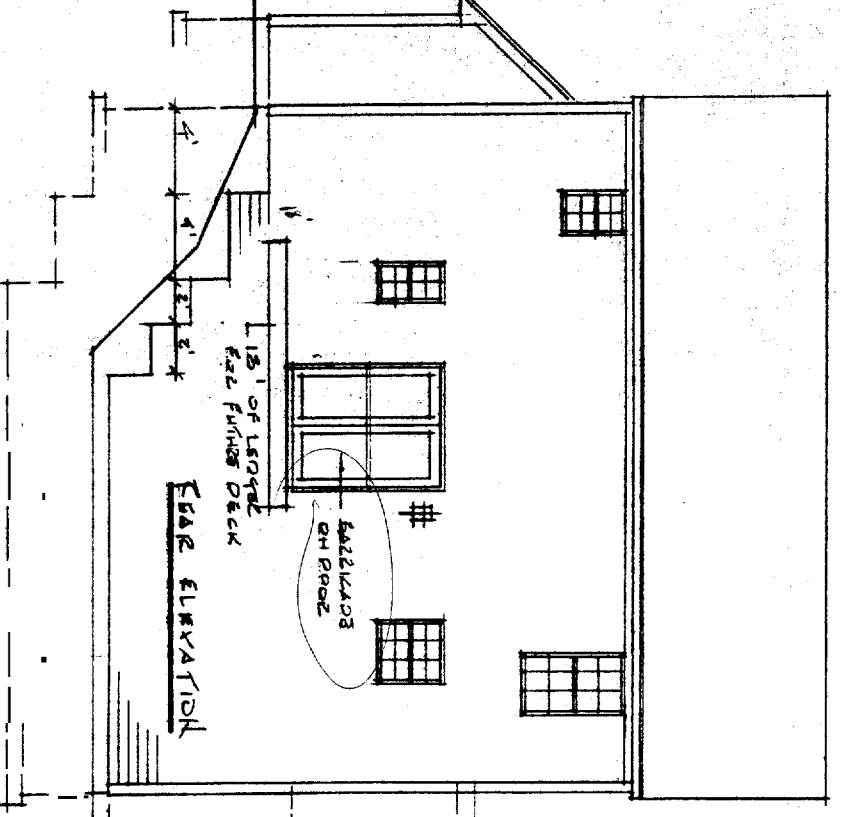
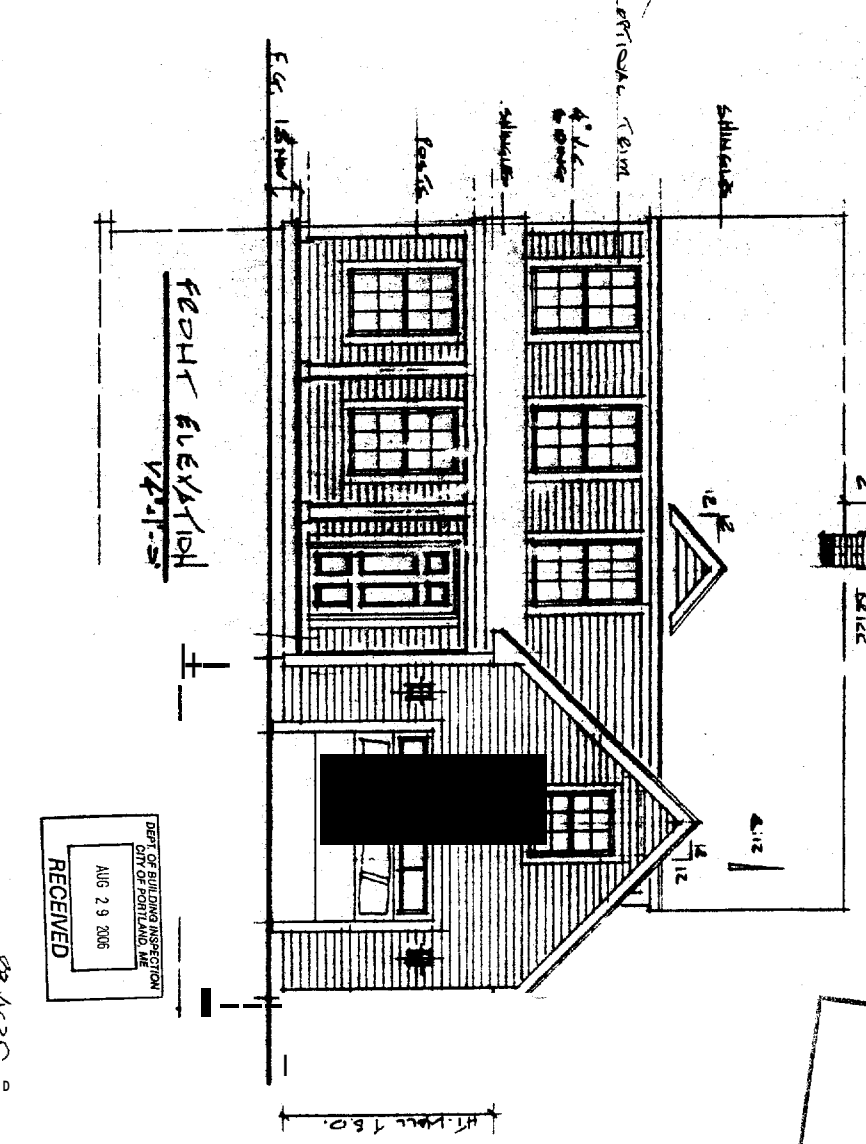


- GENERAL NOTES**
1. Plans are designed to comply with the 2006 International Building Code (IBC) and the 2006 International Residential Code (IRC). Compliance with other codes and ordinances shall be the responsibility of the general contractor.
 2. All new construction, electrical and safety equipment shall be installed in accordance with the applicable codes.
 3. Unless otherwise noted on the plans, all materials, finishes, fixtures and hardware shall be verified by a registered professional engineer.
 4. Contractor shall verify all dimensions prior to construction.
 5. Contractor shall ensure that all electrical, plumbing, and mechanical work is installed in accordance with applicable codes and standards.
 6. Contractor shall ensure that all construction is completed in accordance with the approved plans.
 7. All construction shall be completed in accordance with the approved plans.
 8. Contractor shall ensure that all construction is completed in accordance with the approved plans.



AUG 28 2006
 CITY OF PORTLAND, MAINE
 APPROVED CONSTRUCTION PLANS
 PRIOR DATED PLANS
 SUPERSEDES ALL

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 AUG 29 2006
 RECEIVED

NO. 1	DATE	BY	REVISION
1	5.10.06	W. J. M.	REVISED
2			
3			
4			
5			

NGUYEN RESIDENCE
 DEVELOPER: CUSTOM BUILT HOMES OF MAINE
 PLANNING / DESIGN ASSOCIATES
 RESIDENTIAL DESIGNERS / SITE PLANNERS
 34 WALTER PARTRIDGE ROAD, WICHAM, ME 04294

Item	Description	Quantity	Unit	Notes
1	Excavation	100	sq. ft.	
2	Foundation	100	sq. ft.	
3	Concrete Slab	100	sq. ft.	
4	Roofing	100	sq. ft.	
5	Interior Finishes	100	sq. ft.	
6	Exterior Finishes	100	sq. ft.	
7	Paint	100	sq. ft.	
8	Landscaping	100	sq. ft.	
9	Permit Fees	100	sq. ft.	
10	Contingency	100	sq. ft.	

Item	Description	Quantity	Unit	Notes
11	Foundation	100	sq. ft.	
12	Concrete Slab	100	sq. ft.	
13	Roofing	100	sq. ft.	
14	Interior Finishes	100	sq. ft.	
15	Exterior Finishes	100	sq. ft.	
16	Paint	100	sq. ft.	
17	Landscaping	100	sq. ft.	
18	Permit Fees	100	sq. ft.	
19	Contingency	100	sq. ft.	
20	Foundation	100	sq. ft.	
21	Concrete Slab	100	sq. ft.	
22	Roofing	100	sq. ft.	
23	Interior Finishes	100	sq. ft.	
24	Exterior Finishes	100	sq. ft.	
25	Paint	100	sq. ft.	
26	Landscaping	100	sq. ft.	
27	Permit Fees	100	sq. ft.	
28	Contingency	100	sq. ft.	

FRAME SPECIFICATIONS

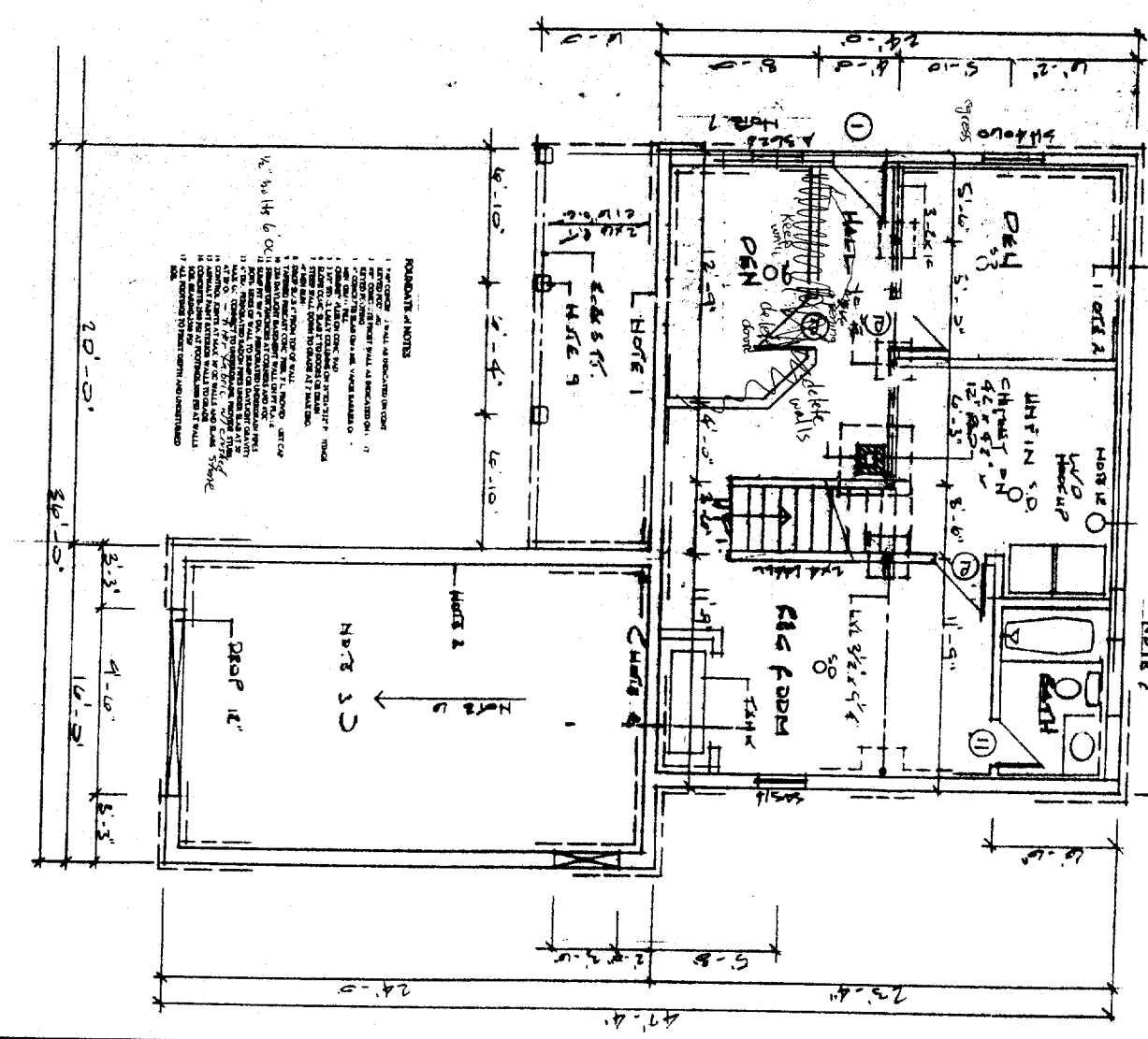
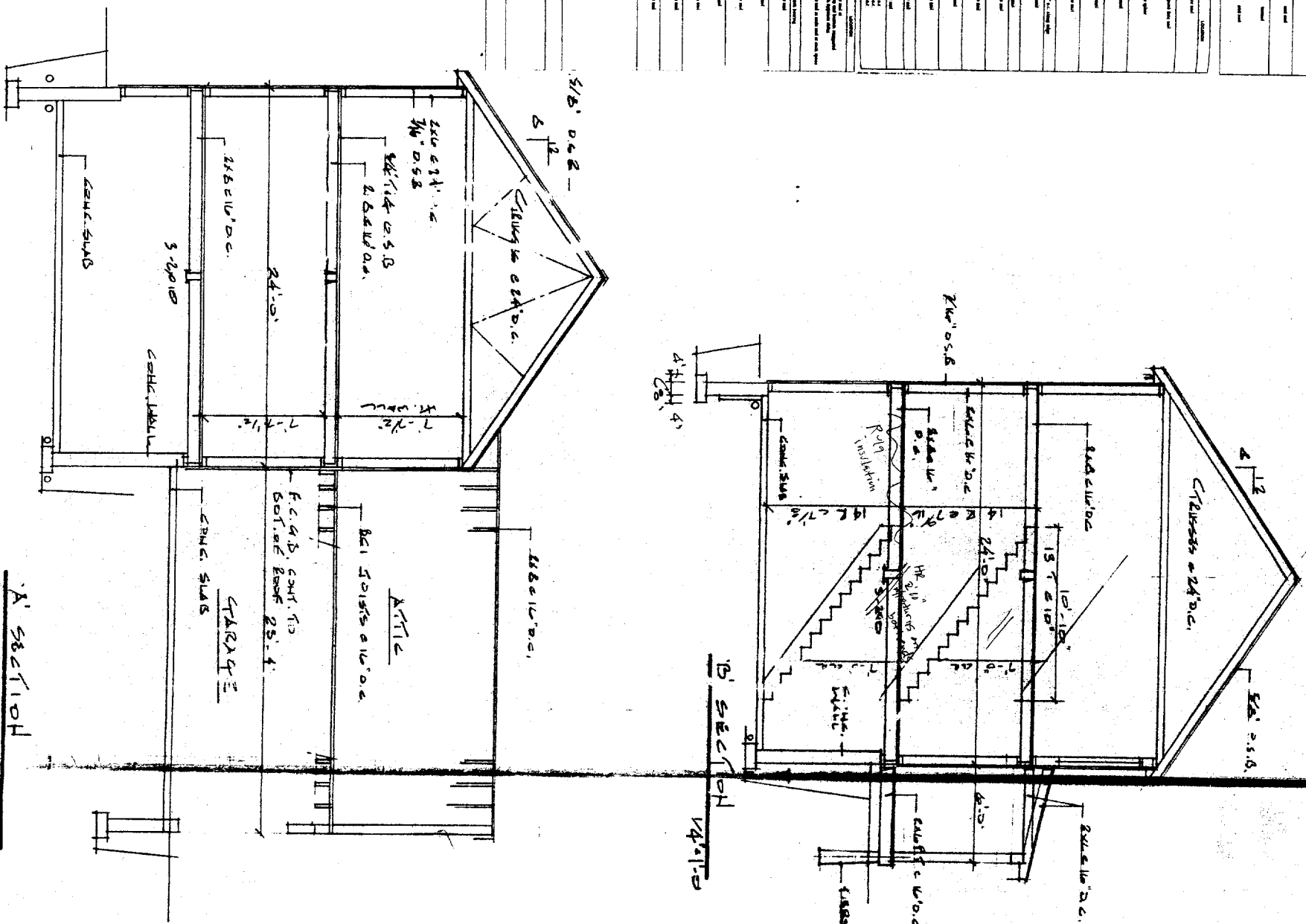
1. ALL FRAMING TO BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOKS (IRC) AND THE INTERNATIONAL BUILDING CODES (IBC).

2. ALL FRAMING TO BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOKS (IRC) AND THE INTERNATIONAL BUILDING CODES (IBC).

3. ALL FRAMING TO BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOKS (IRC) AND THE INTERNATIONAL BUILDING CODES (IBC).

4. ALL FRAMING TO BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOKS (IRC) AND THE INTERNATIONAL BUILDING CODES (IBC).

5. ALL FRAMING TO BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOKS (IRC) AND THE INTERNATIONAL BUILDING CODES (IBC).



CITY OF PORTLAND, MAINE
 APPROVED CONSTRUCTION PLANS
 AUG 22 2006
 SUPERSEDES ALL
 PRIOR DATED PLANS

PARADIGM
 WINDOW SOLUTIONS
 ENERGY PERFORMANCE

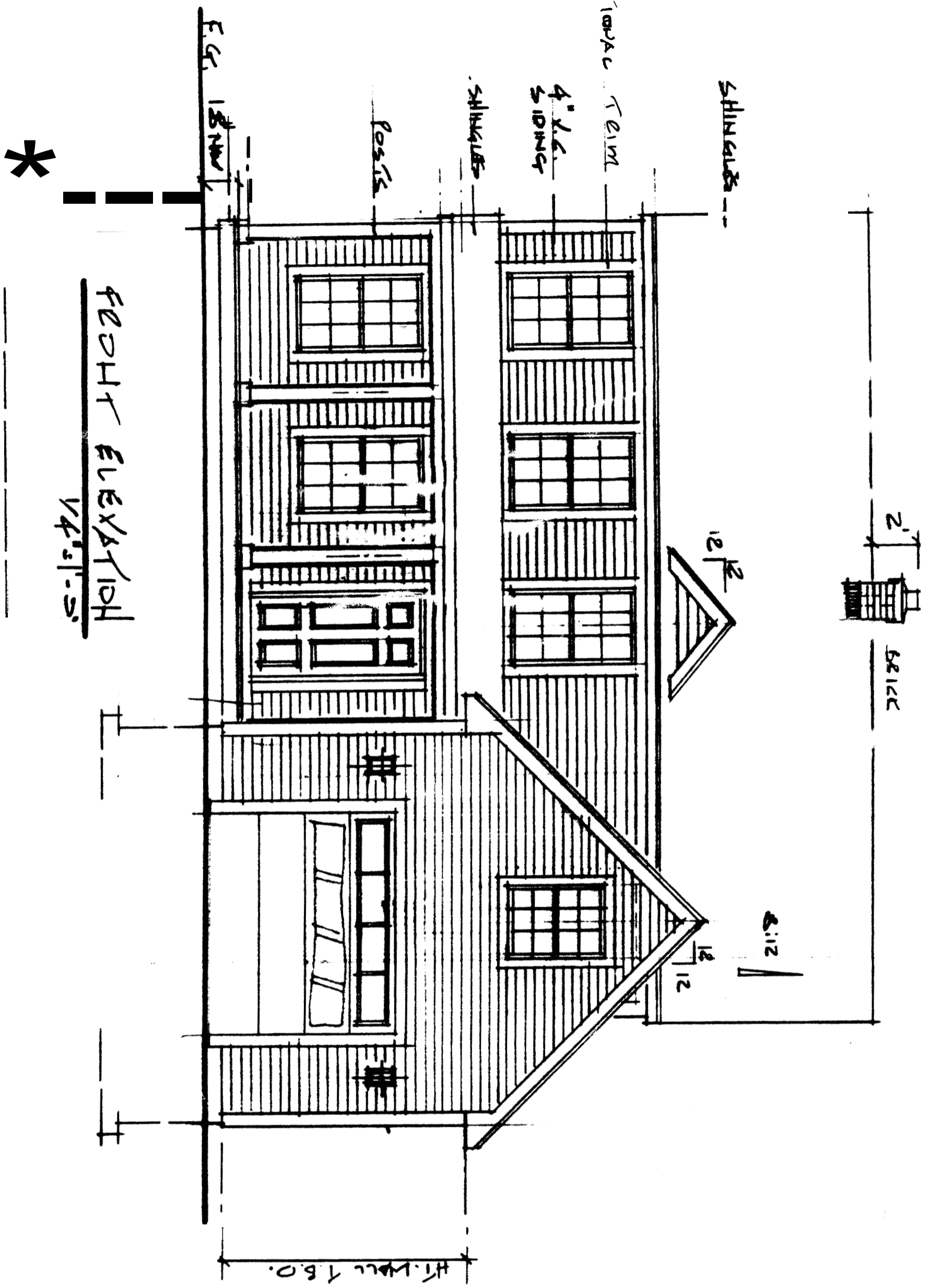
Energy ratings are based on the following conditions: 1. All windows are double-paneled with low-E coatings. 2. All windows are properly installed. 3. All windows are properly sealed. 4. All windows are properly maintained.

For more information, call 1-877-944-6666 or visit www.paradigmwindow.com

34	31	51
33	31	53

NGUYEN RESIDENCE
 DEVELOPER: CUSTOM BUILT HOMES OF MAINE
 PLANNING / DESIGN ASSOCIATES
 RESIDENTIAL DESIGNERS / SITE PLANNERS
 24 WALTON PARTRIDGE ROAD, WINDHAM, ME 03093

Sheet 3	of 5 Sheets
Scale 1/4" = 1'-0"	
Drawn RCP	
Check	



NGUYEN RESIDENCE
 DEVELOPER: CUSTOM BUILT HOMES OF MAINE
PLANNING / DESIGN ASSOCIATES
 RESIDENTIAL DESIGNERS / SITE PLANNERS
 36 WALTER PARTRIDGE ROAD, WINDHAM, ME 032-2640

Date 5.12.06

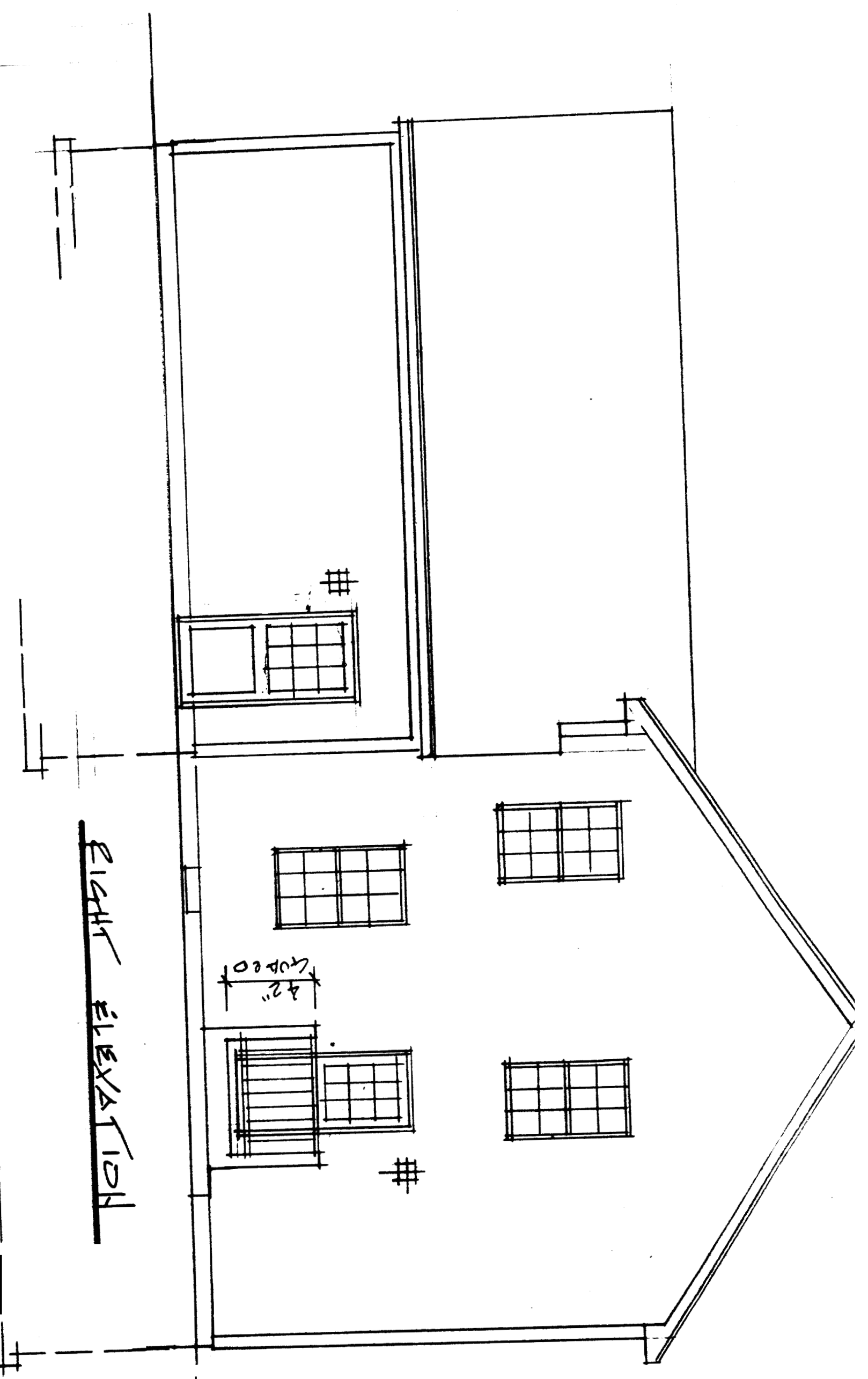
Scale 1/4"

Drawn

Job

Sheet 1

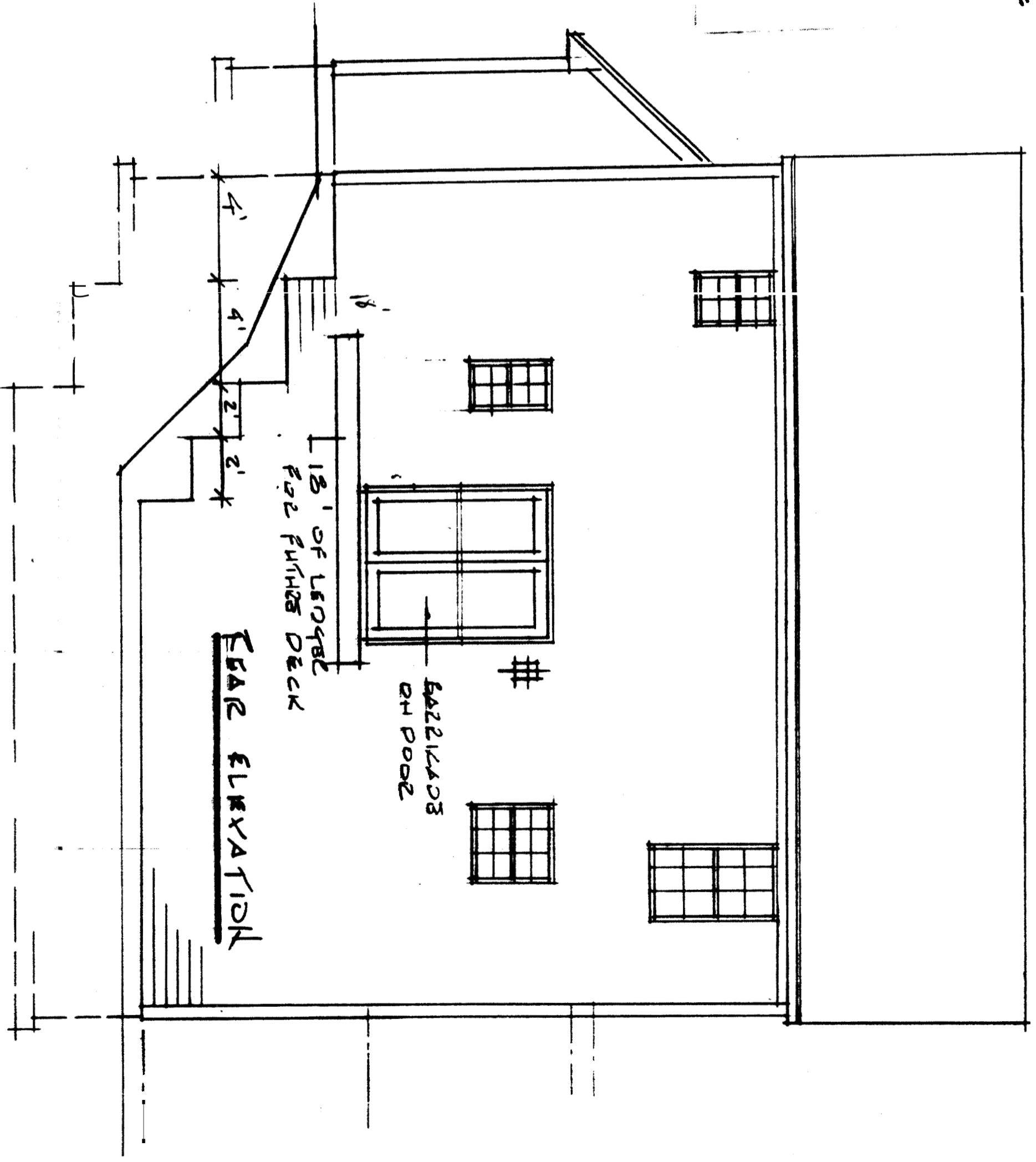
- GEN
 1. Plans:
 BOCA
 ordinan
 genera
 2. All sit
 shall b
 3. Unless
 structu
 shall b
 4. Contr
 plans
 5. Contr
 constn
 6. Contr
 constr
 211 st
 7. All m
 shall b
 instru
 recom

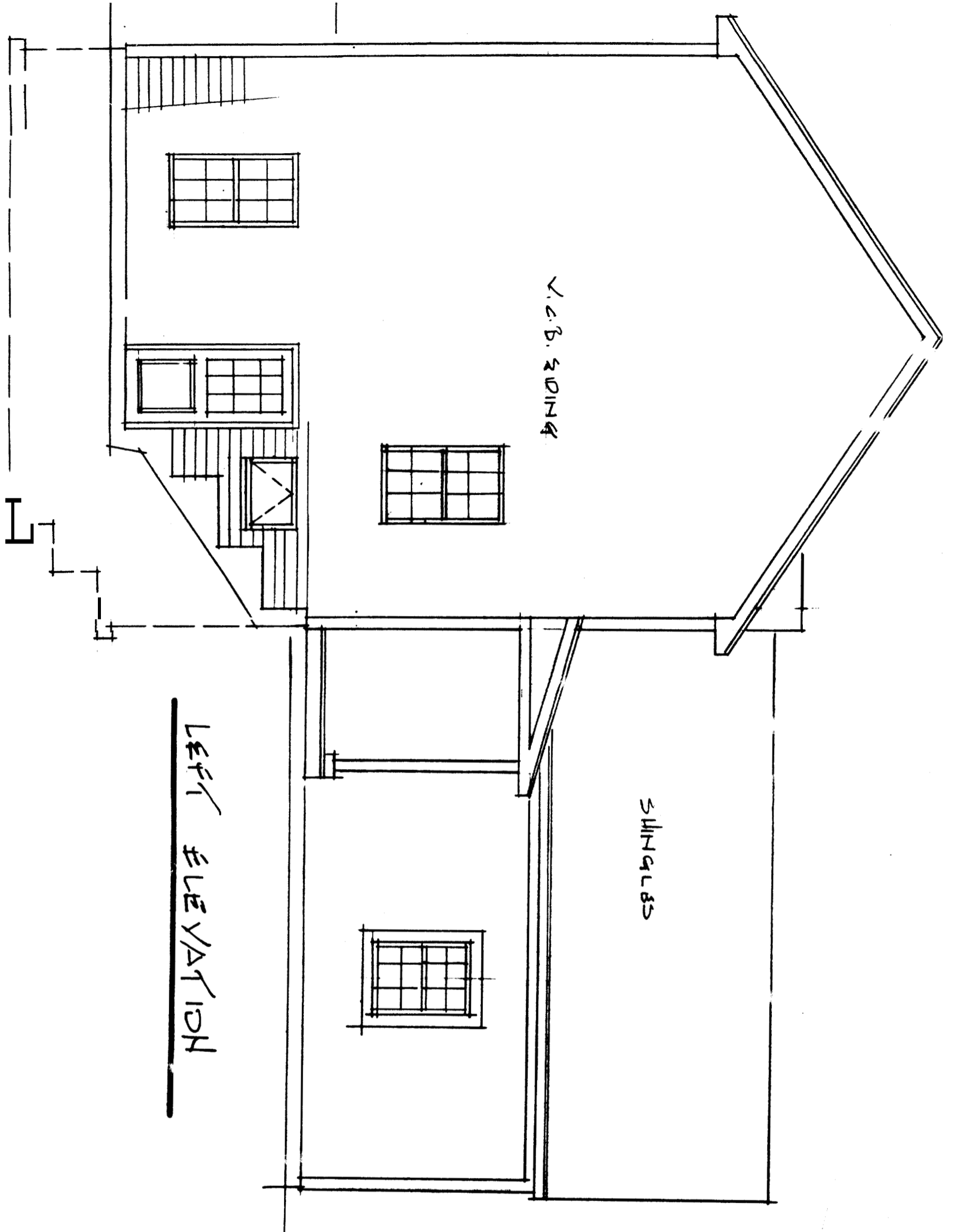


EIGHT ELEVATION

GENERAL NOTES

1. Plans are designed to comply with the 1999 2000 IRC BOCA code. Compliance with other codes and ordinances shall be the responsibility of the general contractor.
2. All site, mechanical, electrical and utility design shall be by others.
3. Unless otherwise certified on the plans, all structural beams, columns and frame members shall be verified by a structural engineer.
4. Contractor shall consult kitchen / bath millwork plans for framing around adjacent walls.
5. Contractor shall verify all dimensions prior to construction.
6. Contractor shall insure that fireplace/chimney construction conforms to the latest NFPA ch. 211 standards.
7. All manufactured structural lumber and trusses shall be installed in accordance with manufacturer instructions. Openings cut in members shall meet recommended guidelines.





V.C.B. SIDING

SHINGLES

LEFT ELEVATION

SHINGLES

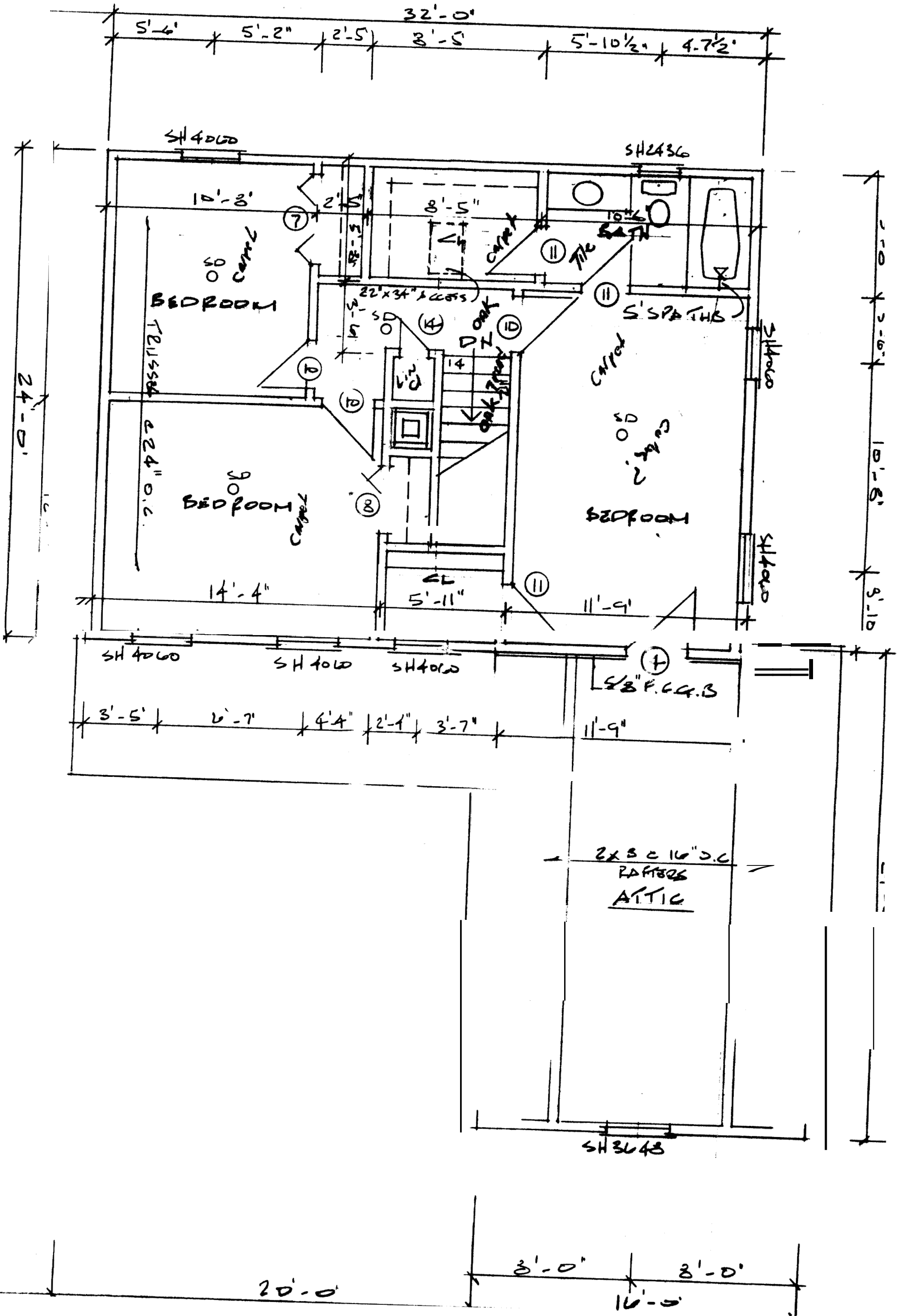
PORTLAND CEMENT

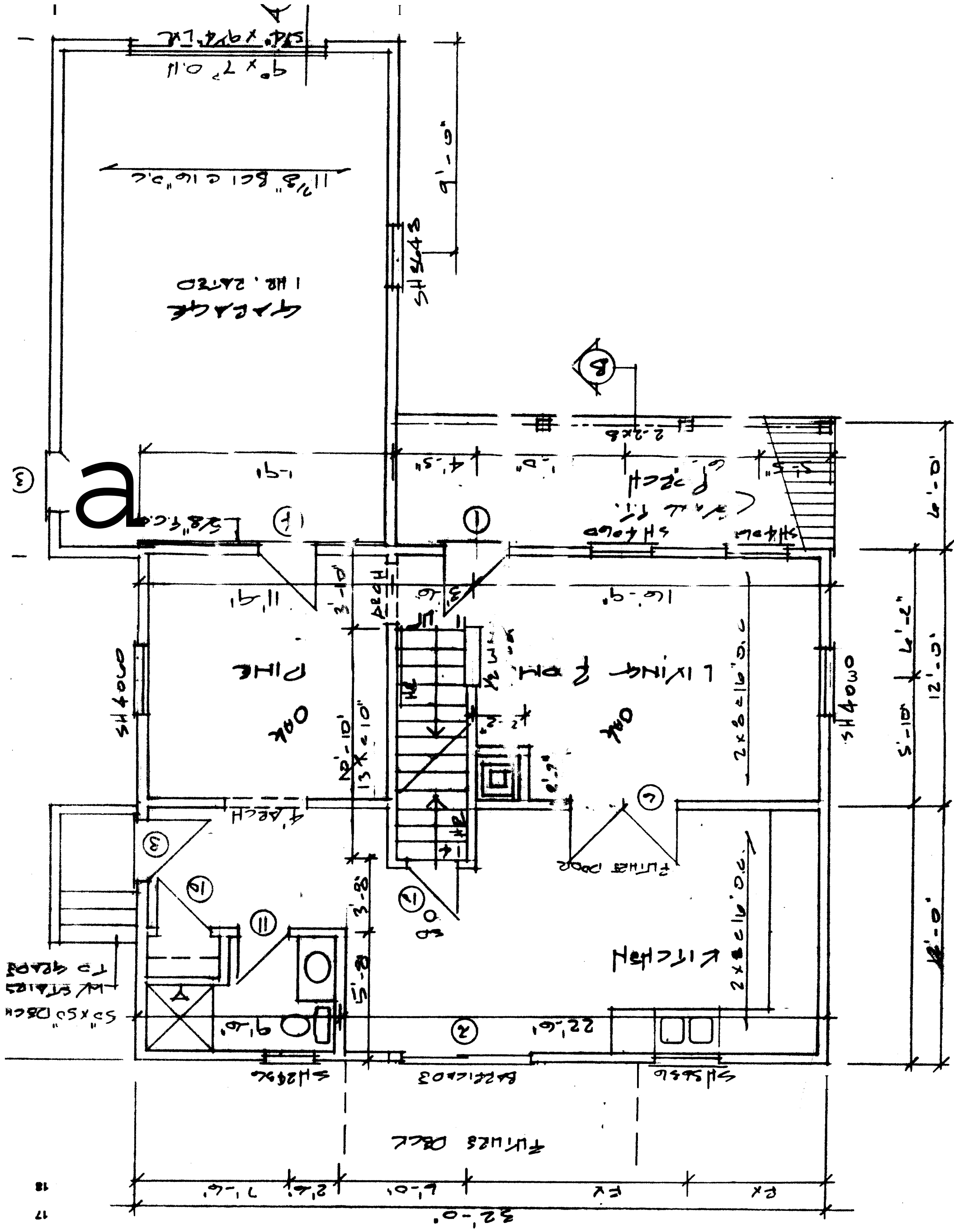
4" X 4" SIDING

SHINGLES

POSS

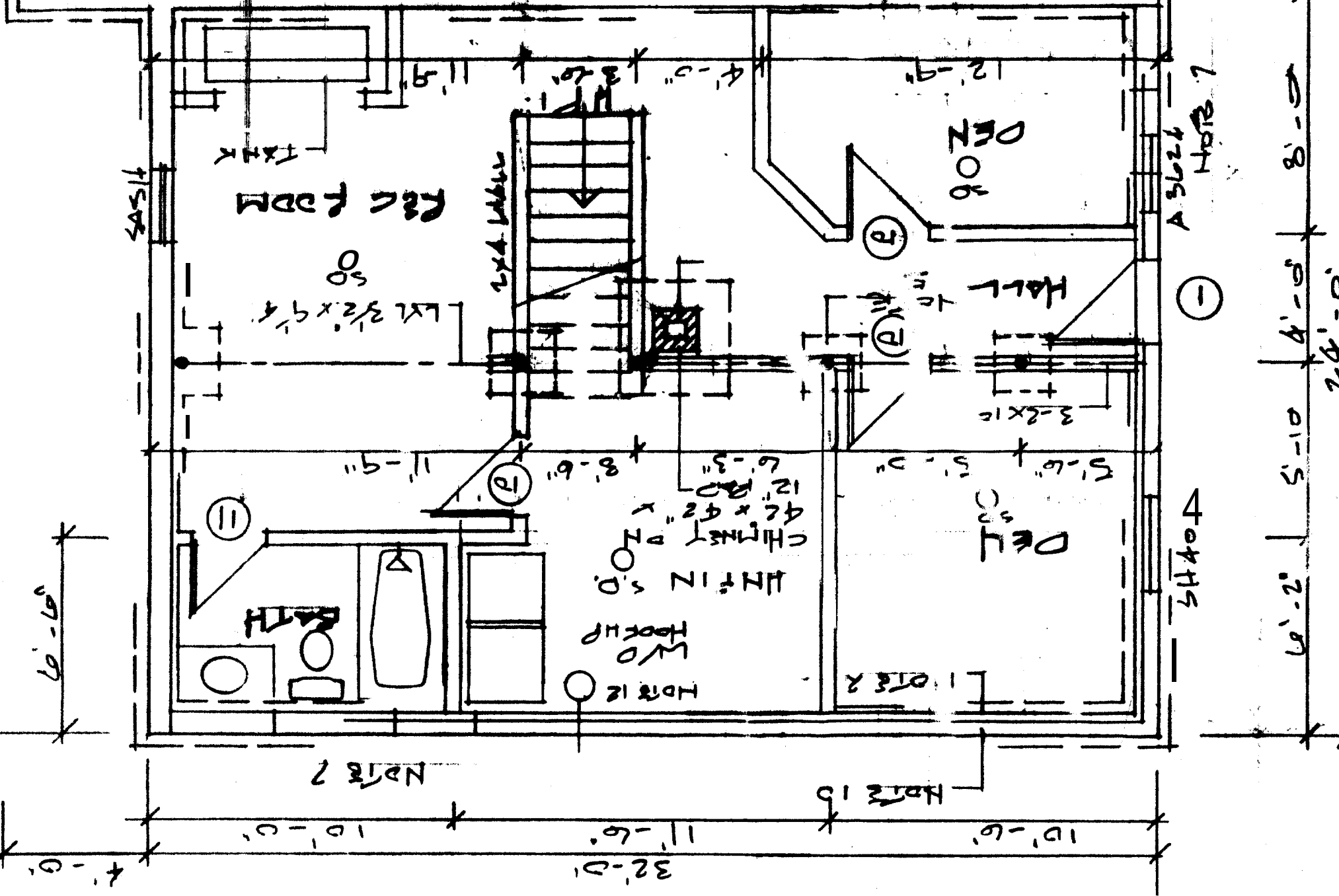
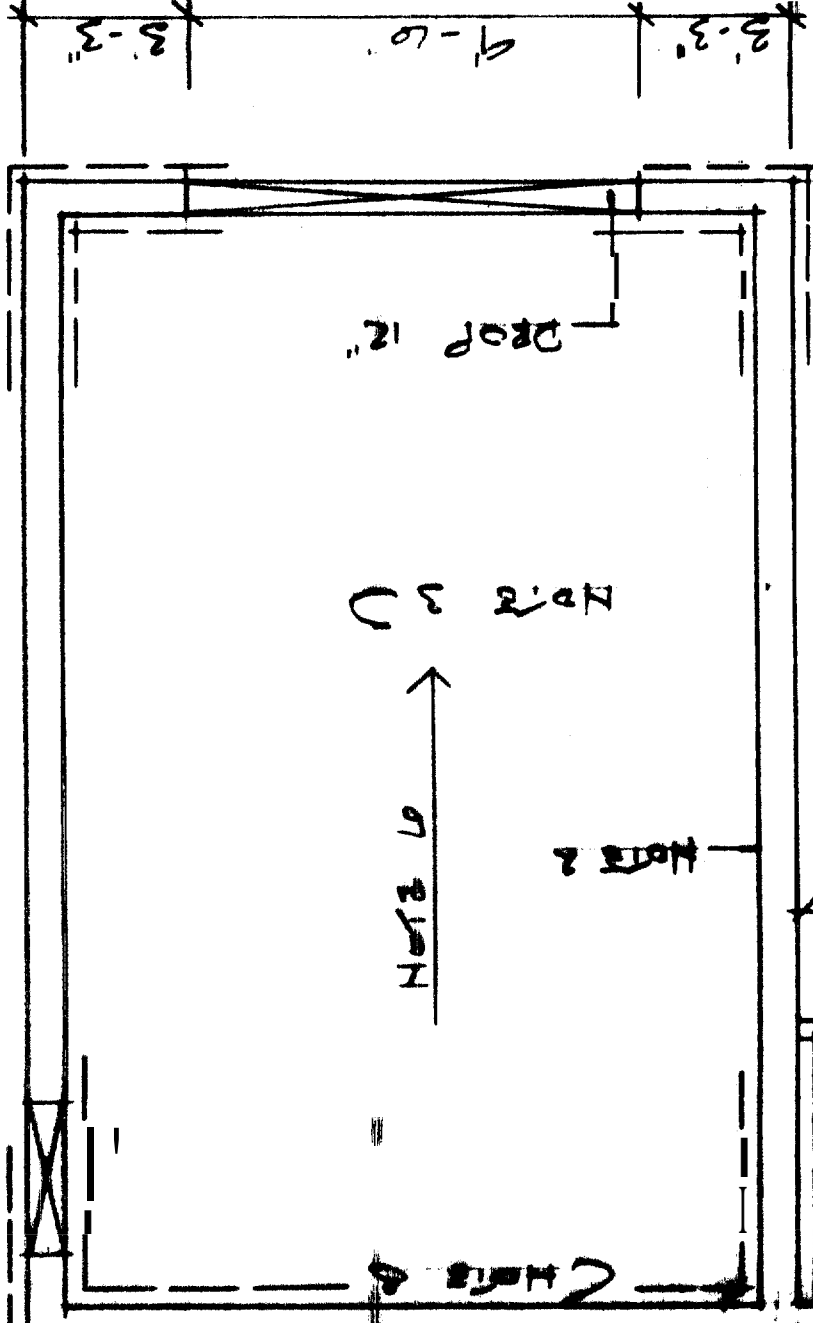
FIG. 187





11 24"
 12 20"
 13 18"
 14 13"
 15 10"
 16
 17
 18

- FOUNDATIONS NOTES**
- 1 7" CONCRETE WALL AS INDICATED ON CONT.
 - 2 4" CONCRETE FROST WALL AS INDICATED ON CONT.
 - 3 4" CONCRETE SLAB ON 6 MIL VAPOR BARRIER ON MIN GRASS FILL
 - 4 CHANGE PILE ON CONC PAD
 - 5 1/2" STEEL LALLY COLUMNS ON 24"X42" PILING
 - 6 SLOPE CONC SLAB 2" TO DOORS OR DRAIN
 - 7 STEEP WALL DOWN TO GRADE AT 2" MAX DRG
 - 8 MIN SLOPE
 - 9 DROP SLAB 4" FROM TOP OF WALL
 - 10 TAPERED PRECAST CONC PIER, 5" L. PROVIDE CAST CAP
 - 11 2X6 DAYLIGHT BASEMENT WALL ON FT. PLATE
 - 12 STRAPS OR ANCHORS AT CORNERS AND JOIC
 - 13 SUMP PITS W/ 4" DIA. PENETRATED UNDERDRAIN PIPES
 - 14 BOTH SIDES OF WALL TO SUMP OR DAYLIGHT GRAVITY
 - 15 4" DIA. PENETRATED RADON PIPES UNDER SLAB AT JOIC
 - 16 MAX G. CONNECT TO UNDERDRAIN. PROVIDE STUBS AT JOIC
 - 17 CONTROL JOINTS AT MAX JOIC WALLS AND SLABS
 - 18 ASPHALT PAINT EXTERIOR WALLS TO GRADE
 - 19 CONCRETE-2500 PSI AT FOOTINGS, 3000 PSI AT WALLS
 - 20 SOIL BEARING-2500 PSF
 - 21 ALL FOOTINGS TO FROST DEPTH AND UNDISTURBED SOIL

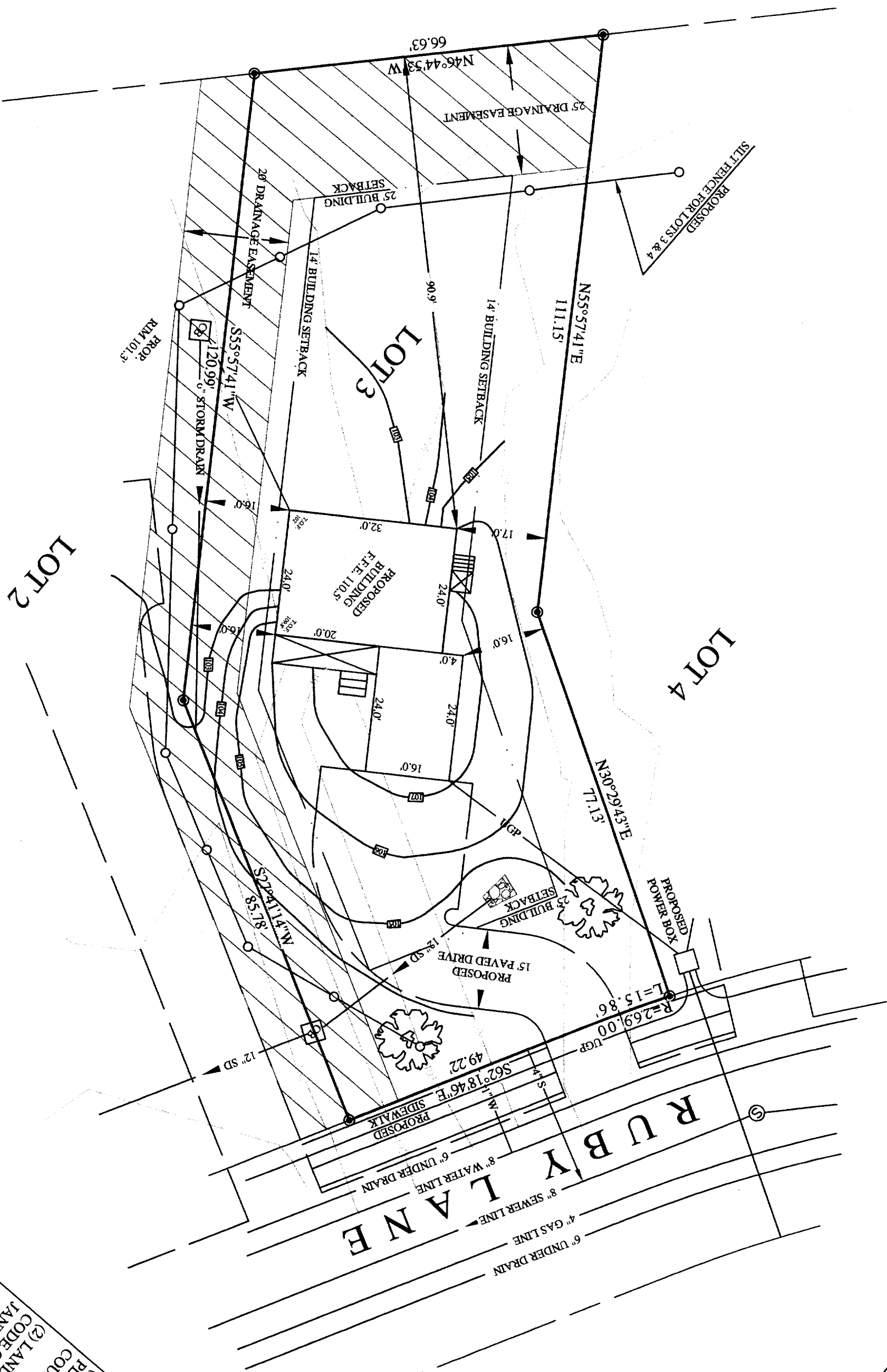


For more information, CALL 1-877-994-6380 or visit NFRC's web site www.nfrc.org

Technical Information	
U-Value	0.34
Center Heat Rate Coefficient	0.31
Visible Light Transmittance	0.31

Manufacturer certifies that these ratings conform to applicable NFRC procedures for determining product energy performance. NFRC ratings are determined for a fixed set of environmental conditions and specific product sizes.

STATE OF OREGON



LOT 2

LOT 3

LOT 4

RUBY LANE

NOTES:

- (1) PROPOSED SITE CHANGES TO PLAN APPROVED BY THE CITY OF CLATSOP COUNTY REGISTRY OF DEEDS IN PL. JANUARY 1999.
- (2) LAND USE: DIMENSIONAL REQUIREMENTS OF ORDINANCES OF THE CITY OF PORTLAND, OREGON, JANUARY 1999.
- (3) ZONING DISTRICT: R3
- (4) MINIMUM BUILDING SETBACKS: FRONT & REAR SIDE*
- (5) FINISH FLOOR
- (6) REMOVE
- (7) REVISION