

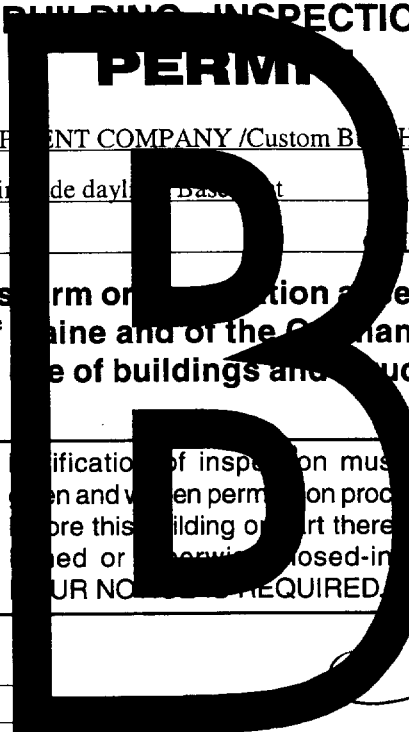
# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

## BUILDING INSPECTION

### PERMIT

Permit Number: 061210

Please Read  
Application And  
Notes, If Any,  
Attached



This is to certify that ROYAL RIVER DEVELOPMENT COMPANY /Custom Bldg Hom

has permission to Amend permit #060754 to include daylight Base

AT Q RUBY LN L. 342 B043001

provided that the person or persons who perform or supervise the work accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Verification of inspection must be given and when permit on proceed before this building or part thereof is closed or service closed-in. 4  
YOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

#### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
DepartmentName

*[Signature]*  
8/30/06  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1210	Issue Date:	CBL: 342 B043001
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Location of Construction: ORUBY LN (Lot 3 Willow)	Owner Name: ROYAL RIVER DEVELOPMENT	Owner Address: 35 MAIN ST	Phone:
Business Name: Kno (1)	Contractor Name: Custom Built Homes of Maine, Inc.	Contractor Address: 35 Main Street Windham	Phone: 2073100079
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	Zone: R3
Past Use: Single Family Home	Proposed Use: Single Family Home- Amendment to permit #060754- Amend permit #060754 to include daylight Basement	Permit Fee: \$30.00	Cost of Work \$30.00
Proposed Project Description: Amend permit #060754 to include daylight Basement		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: R-3 Type: SB <i>IRC 2003</i>
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____	

Permit Taken By: Idobson	Date Applied For: 08/46/2006	<b>Zoning Approval</b>	
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<p>1.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p><b>Special Zone or Reviews</b></p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input checked="" type="checkbox"/> Site Plan <i>2006 - 08/26</i></p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/></p> <p><i>OK w/ conditions</i> Date: <i>8/25/06</i> <i>ABN</i></p>	<p><b>Zoning Appeal</b></p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p><b>Historic Preservation</b></p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied <i>ABN</i></p> <p>Date: _____</p>
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 06-1210	<b>Date Applied For:</b> 08115/2006	<b>CBL:</b> 342 B043001
<b>Location of Construction:</b> 20 RUBY LN	<b>Owner Name:</b> ROYAL RIVER DEVELOPMENT	<b>Owner Address:</b> 35 MAIN ST
<b>Business Name:</b>	<b>Contractor Name:</b> Custom Built Homes of Maine, Inc.	<b>Contractor Address:</b> 35 Main Street Windham
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Phone:</b> (207) 310-0079
<b>Proposed Use:</b> Single Family Home- Amendment to permit #060754- Amend permit #060754 to include daylight Basement		<b>Proposed Project Description:</b> Amend permit #060754 to include daylight Basement
<b>Permit Type:</b>		

**Note:** Front and & right elevation are below grade and the rear has about 18% that is below grade so more than half of the basement is below grade, so it remains a two story building. **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 4) This permit is being issued with the understanding that less than half of the basement is above grade according to the submitted plans.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tammy Munson      **Approval Date:** 0813012006

**Note:** **Ok to Issue:**

- 1) A copy of the enclosed chimney disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.
- 2) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 3) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 4) As discussed, the "den" located on the front left side of the basement is not permitted. The "Rec" is not allowed to be closed in with a door at the base of the stairs. It must remain open in this area for egress purposes.
- 5) There must be a 2" clearance maintained between the chimney and any combustible material, with draft stopping per code at each level

**Dept:** DRC      **Status:** Approved with Conditions      **Reviewer:** Jay Reynolds      **Approval Date:** 06/05/2006

**Note:** Amended site plan approved on 8/21/06. **Ok to Issue:**

- 1) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.
- 2) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 3) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 4) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext .8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 5) A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)

<b>Location of Construction:</b> 20 RUBY LN	<b>Owner Name:</b> ROYAL RIVER DEVELOPMENT	<b>Owner Address:</b> 35 MAIN ST	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Custom Built Homes of Maine, Inc.	<b>Contractor Address:</b> 35 Main Street Windham	<b>Phone</b> (207) 310-0079
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Amendment to Single Family	

**Dept:** Planning

**Status:** Not Applicable

**Reviewer:** Jay Reynolds

**Approval Date:** 06/05/2006

**Note:**

**Ok to Issue:**

**Comments:**

8129106-tmm: went over items missing w/Ted - this is a second review of missing items

20 Ruby Ln lot #3 342-B-43 Tied 310-0079  
 Tammy 874-8706

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1)		
<b>STRUCTURAL</b> Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1))	Need footing dimensions - OK 7'-0" deep 8'x16"	OK
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	not shown	OK
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	N/A	
Anchor Bolts/Straps, spacing (Section R403.1.6)	size & spacing?	OK
Lally Column Type (Section R407)	3-2x10's - 6" spacing -	
Girder & Header Spans (Table R 502.5(2))	OK	
Built-Up Wood Center Girder	"	
Dimension/Type	not shown	OK
Sill/Band Joist Type & Dimensions	not shown	OK
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2) )	2x8 - 16" oc	
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2) )	2x8 - 16" oc	
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	Trusses - 24 oc	

lot 3

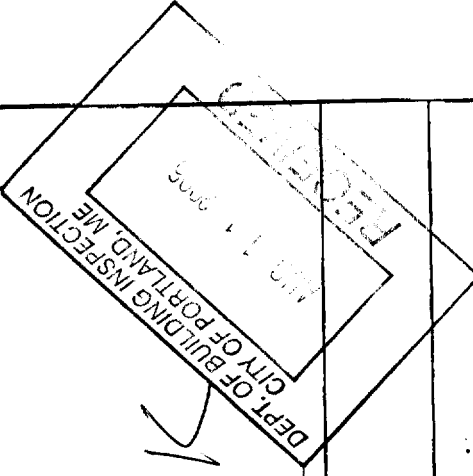
Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8))	Trusses	
Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	5/8" raft / 1/2" walls / 3/4" floor	
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	per IRE	
Fastener Schedule (Table R602.3(1) & (2))		
Private Garage (Section R309) Living Space? Attic (Above or beside)	Need better details	OK
Fire separation (Section R309.2) - Shows 1 hour		
Opening Protection (Section R309.1) - Not shown		
Emergency Escape and Rescue Openings (Section R310)	Not shown OK, 28 ft to roof	
Roof Covering (Chapter 9)	asphalt	OK noted
Safety Glazing (Section R308)	n/A	
Attic Access (Section R807)	Not large enough - need 22x30"	OK - OK shown
Chimney Clearances/Fire Blocking (Chap. 10)	Not shown	OK condition
Header Schedule (Section 502.5(1) & (2))	3-2x6 - 36" Max 3-2x8 - 57" Max	OK
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Penetration	Roof - R-38 wall - R-19	OK

Floors?

1) - Value windows see window

Lot 3

<p>Type of Heating System</p>		
<p><b>Means of Egress (Sec R311 &amp; R312)</b></p>		
<p>Basement 2</p>		
<p>Number of Stairways 2</p>		
<p>Interior 1</p>		
<p>Exterior 1</p>		
<p>Treads and Risers (Section R311.5.3)</p>	<p>T-10" R-1 9/16"</p>	
<p>Width (Section R311.5.1)</p>	<p>36" T</p>	
<p>Headroom (Section R311.5.2)</p>	<p>not shown OK Shows - 7'0"</p>	
<p>Guardrails and Handrails (Section R312 &amp; R311.5.6 - R311.5.6.3)</p>	<p>not shown OK Need size &amp; location</p>	
<p>Smoke Detectors (Section R313) Location and type/Interconnected</p>	<p>Show's - SD in right locations</p>	
<p>Draftstopping (Section R502.12) and Fireblocking (Section (R602.8)</p>	<p>N/A</p>	
<p>Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)</p>	<p>N/A</p>	
<p>Deck Construction (Section R502.2.1)</p>	<p>need better details</p>	<p>FUTURE PECK</p>

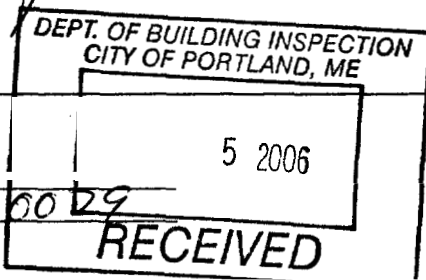


(13) Shows finished space in bsmt - need emergency egress in each room OK - Not allowed - Den



# General Building Permit Application

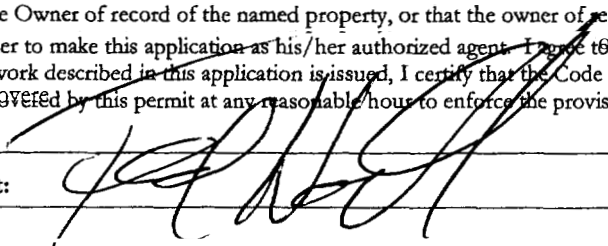
If you or the property owner owes real estate or personal property taxes or user charges on any property **within** the City, payment arrangements must be made before permits of any kind are accepted.

Total Square Footage of Proposed Structure <b>1536</b>		Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot#	Owner: <b>Custom Bldg. Homes, Inc. 35 Main St. Wincham MS04062</b>	Telephone: <b>892 3149</b>	
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone:	Cost Of Work \$ _____	Fee: \$ _____
<i>and - add - of</i>		C/p O Fee: \$ _____	
Project description: <b>Amend current plan</b>			
Contractor's name, address & telephone:			
Who should we contact when the permit is ready: <b>Ted</b>			
Mailing address: _____ Phone: <b>310 0029</b>			

**Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <b>8/15/06</b>
--	----------------------

**This is not a permit; you may not commence ANY work until the permit is issued.**



\* Amendment

Applicant: Royal River Development, Inc.

Date: 6/6/06

\*

Address: 20 Ruby Lane (Willowbrook Lot #3)

C-B-L: 342-B-043  
perm. # ~~06-0754~~

permit  
06-1210

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

Zone Location - R3

Interior or corner lot -

Proposed Use/Work - build 2 story 24'x32' single family w/ 16'x24' garage.

Sewage Disposal - City

Lot Street Frontage - 50' min. - 65.08' given

Front Yard - 25' min. - 53' scaled

Rear Yard - 25' min. 64' scaled

Side Yard - 1 1/2 story 8' 14' on right to steps  
2 " 14' 17' on left

Projections - 6'x20' porch, 4.5'x5' steps, ~~6'x5' bulkhead~~, 7'x4' steps

Width of Lot - 65' min - 65' scaled

Height - 35' max. - ~~22.75' scaled~~

\* 30' scaled ok

Lot Area - 6,500~~0~~ min - 12992.09 given

Lot Coverage Impervious Surface - 35% 4547.23

120  
+ 22.5  
82  
28

Area per Family - 6,500~~0~~

Off-street Parking - 2 spaces required - one in garage  
one in front of garage

Ok.

768  
384

Loading Bays - N/A

Site Plan - minor/minor 2006-0096

~~1352.5~~  
1322.5

Shoreland Zoning/Stream Protection - N/A

Flood Plains - panel 7 - zone X

\* partial day list basement  
removed bulkhead

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Zoning Copy**

**2006-0096**  
Application I. D. Number

**5/1912006**  
Application Date

**Willow Knoll Sub, lot #3**  
Project Name/Description

**Custom Built Homes**  
Applicant  
**27 Main Street, Windham, ME 04062**

**Marge Schmuckal  
AMENDMENT**

Applicant's Mailing Address  
**Ted Wandishin**  
Consultant/Agent  
**Applicant Ph: (207) 892-1383 Agent Fax:**

**Ruby Ln , Portland, Maine**  
Address of Proposed Site  
**342 8043001**

Applicant or Agent Daytime Telephone, Fax  
Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

Proposed Building square Feet or # of Units \_\_\_\_\_ Area of Site \_\_\_\_\_ Zoning \_\_\_\_\_

**Check Review Required:**

- |   |  |  |  |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                       | <input type="checkbox"/> Shoreland                   | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance             | <input type="checkbox"/> Other _____           |  |

Fees Paid: Site Plan \$50.00 Subdivision \_\_\_\_\_ Engineer Review \$250.00 Date 5/19/2006

**Zoning Approval Status:**

- Reviewer \_\_\_\_\_
- Approved  Approved w/Conditions See Attached  Denied
- Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets Attached
- Condition Compliance \_\_\_\_\_ signature \_\_\_\_\_ date \_\_\_\_\_

**Performance Guarantee**  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

- |  |                            |  |                             |
|--|----------------------------|--|-----------------------------|
| <input type="checkbox"/> Performance Guarantee Accepted      | _____ date _____           | _____ amount _____                                 | _____ expiration date _____ |
| <input type="checkbox"/> Inspection Fee Paid                 | _____ date _____           | _____ amount _____                                 |                             |
| <input type="checkbox"/> Building Permit Issue               | _____ date _____           |  |                             |
| <input type="checkbox"/> Performance Guarantee Reduced       | _____ date _____           | _____ remaining balance _____                      | _____ signature _____       |
| <input type="checkbox"/> Temporary Certificate of Occupancy  | _____ date _____           | <input type="checkbox"/> Conditions (See Attached) | _____ expiration date _____ |
| <input type="checkbox"/> Final Inspection                    | _____ date _____           | _____ signature _____                              |                             |
| <input checked="" type="checkbox"/> Certificate Of Occupancy | _____ date _____           |  |                             |
| <input type="checkbox"/> Performance Guarantee Released      | _____ date _____           | _____ signature _____                              |                             |
| <input type="checkbox"/> Defect Guarantee Submitted          | _____ submitted date _____ | _____ amount _____                                 | _____ expiration date _____ |
| <input type="checkbox"/> Defect Guarantee Released           | _____ date _____           | _____ signature _____                              |                             |

**From:** Jay Reynolds  
**To:** Single Family Signoff  
**Date:** 8/21/2006 4:48:47 PM  
**Subject:** 0 Ruby Lane, Willo Knoll Subdivision Lot #3

CbL 3428043,  
Amended site plan recently submitted has been reviewed and is hereby approved with the previous conditions still applicable.

Jay Reynolds  
Development Review Coordinator  
City of Portland Planning Division  
(207) 874-8632  
jayjr@portlandmaine.gov

**City of Portland, Maine - Building or Use Permit Application**

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Permit No: 06-1210	Issue Date:	CBL: 342 B043001
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		Signature: _____ Signature: _____	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
		Signature: _____	Date: _____

Permit Taken By: ldobson	Date Applied For: 08/16/2006
-----------------------------	---------------------------------

Zoning Approval		
<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> late: _____	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

**COPY**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE