

Label Zone Along Rear Pt
2 St. Trees
Curb Cut Location
Reverse Pitch

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy

2005-0236
Application I. D. Number
10/12/2005
Application Date
Ruby Lane #14
Project Name/Description

D.A. Brackett
Applicant
84 Country Lane, Portland, ME 04103
Applicant's Mailing Address

Jay Reynolds
RECEIVED OCT 18 2005

Job letter
11-9

OAK RIDGE

Consultant/Agent
Applicant Ph: (207) 772-8629 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

65 - 65 Ruby Ln , Portland, Maine
Address of Proposed Site
342 B032001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

1536 11730
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
- Flood Hazard Shoreland Historic Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Pla \$50.00 Subdivision _____ Engineer Review \$250.00 Date 10/12/2005

DRC Approval Status:

Approved Approved w/Conditions See Attached Denied
Approval Date 11-16-05 Approval Expiration _____ Extension to _____ Additional Sheets Attached
 Condition Compliance signature: Jay Reynolds date: 11-16-05

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____ date	_____ amount	_____ expiration date
<input type="checkbox"/> Inspection Fee Paid	_____ date	_____ amount	
<input type="checkbox"/> Building Permit Issue	_____ date		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date	_____ remaining balance	_____ signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date
<input type="checkbox"/> Final Inspection	_____ date	_____ signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date		
<input type="checkbox"/> Performance Guarantee Released	_____ date	_____ signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date
<input type="checkbox"/> Defect Guarantee Released	_____ date	_____ signature	



Fax # 772-8629

PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life * www.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

Mr. Dwight Brackett
84 Country Lane
Portland, ME 04103

November 9, 2005

Dear Mr. Brackett:

RE: Application for Single Family Residences, Ruby Lane lots #13 and lot #14

Upon review of the site plans, the City's Planning Division has the following comments:

Lot # 13:

1. Street tree shown over the utilities needs to be moved.
2. The topography and spot grades indicate that the rear yard will be pitched towards the building. Please correct.
3. Please label the no-cut/undisturb zone along the rear property line.
4. The curb cut on your plan does not match the curb cut location on the approved subdivision plans. Please clarify.

Lot #14:

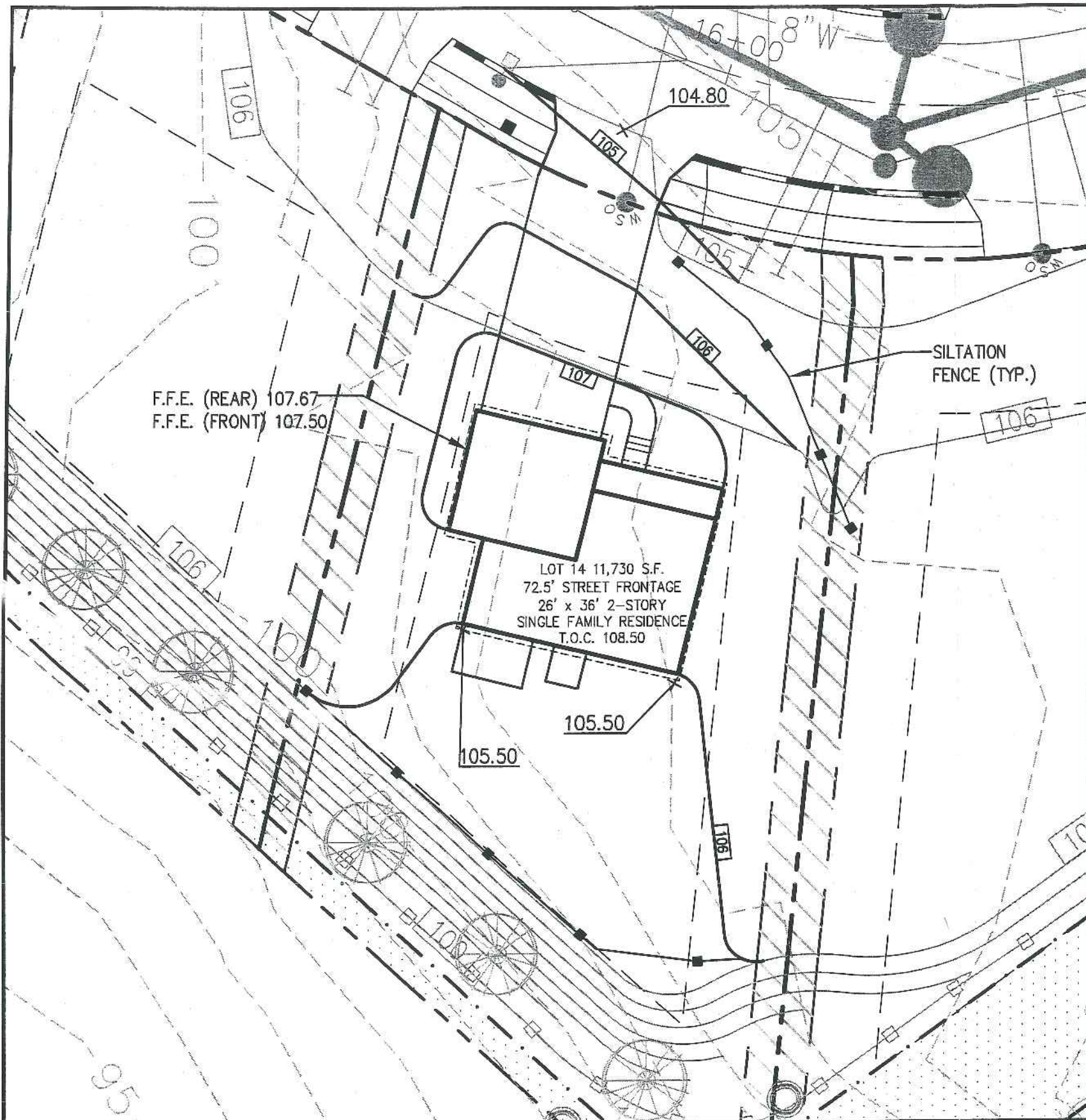
1. Please add two street trees to your plan.
2. Same items listed above (2., 3., and 4.).

Please resubmit 4 copies of the site plan to my attention.

Sincerely,

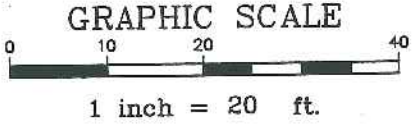
Jay Reynolds
Development Review Coordinator

cc: Sarah Hopkins, Development Review Services Manager



ZONING REGULATIONS

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Rec'd 10-18

PREPARED 10.06.05

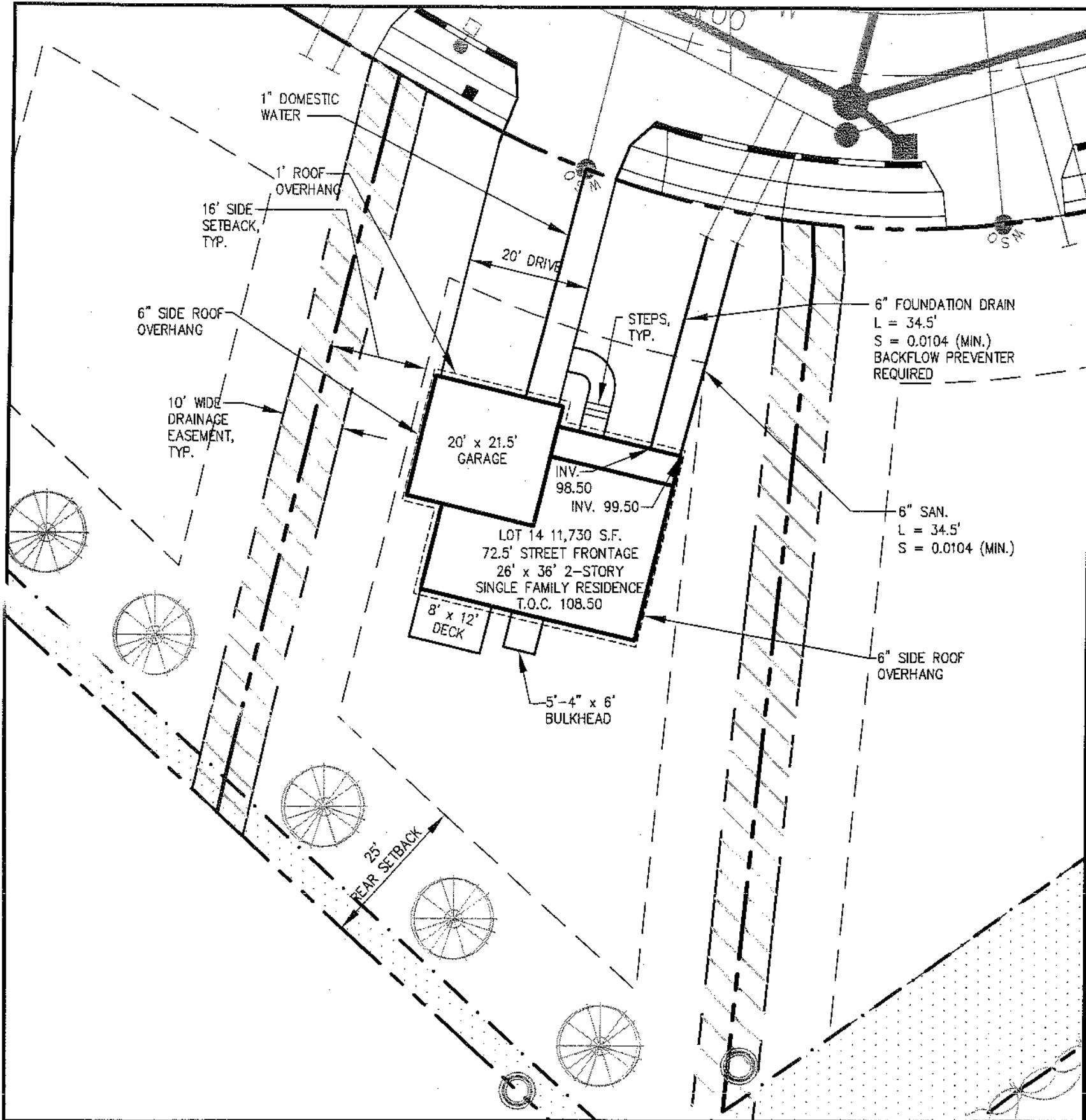
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 DeLuca-Hoffman Associates, Inc.
 778 MAIN STREET, SUITE 8
 SOUTH PORTLAND, ME 04106
 207.775.1121
 WWW.DELUCAHOFFMAN.COM

DRAWN:	CDD	DATE:	MAR. 2005
DESIGNED:	DDA	SCALE:	1" = 20'
CHECKED:	DDA	JOB NO.:	2568
FILE NAME:	2568-SP		

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 PORTLAND, MAINE

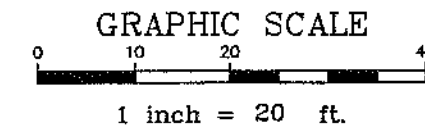
LOT 14 GRADING & EROSION
 CONTROL PLAN

FIGURE
 14-B



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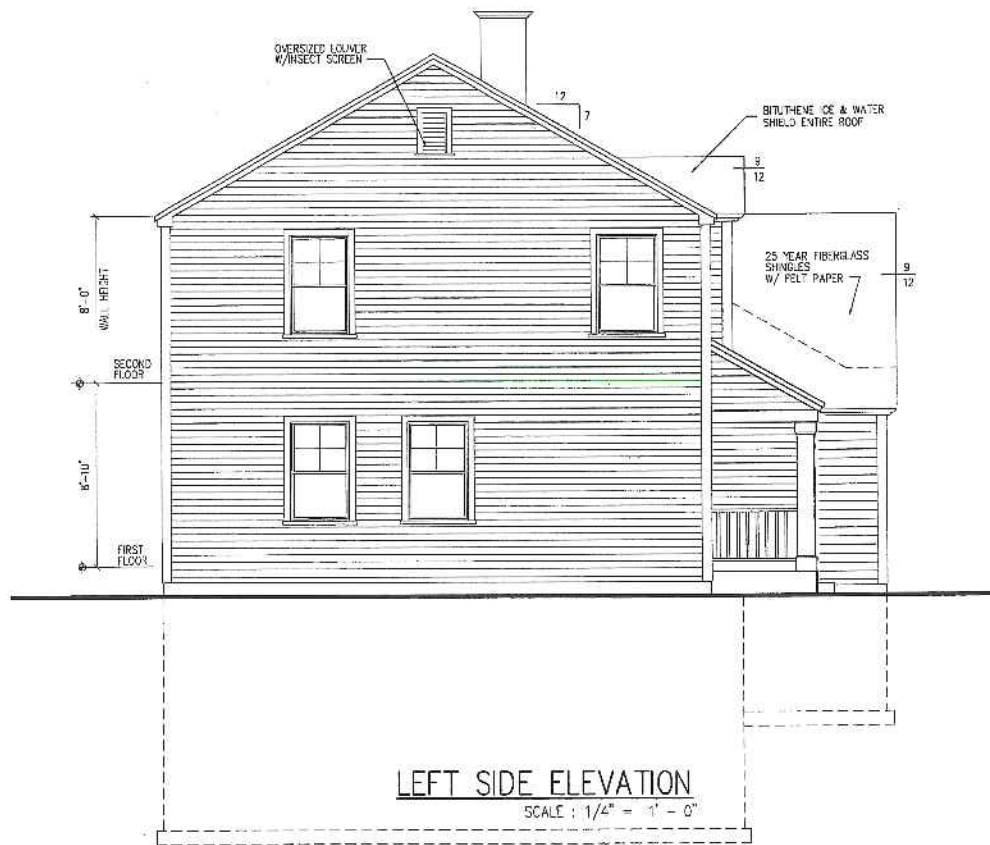
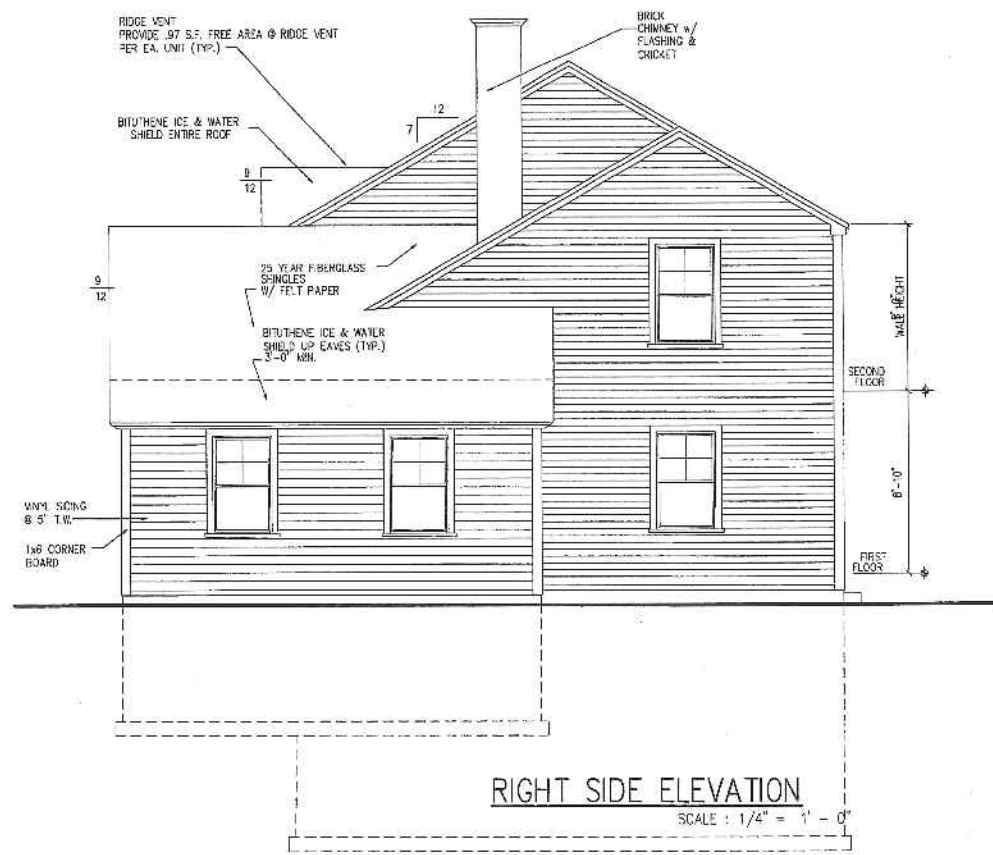
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 PORTLAND, MAINE

LOT 14 LAYOUT & UTILITIES PLAN

FIGURE
 14-A



107 #14

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ELEVATIONS

DATE
10/04/05

GENERAL NOTES:

- All work shall be in accordance with: BOCA Basic Building Code, NFPA-70 National Electric Code, Home State Plumbing Code, ASHRAE, U.L., NFPA Codes, Americans with Disabilities Act 1990 (ADA) and all local, State and Federal requirements.
- All applicable Federal, State and Minnesota regulations shall be followed, including the Federal Department of Labor Occupational Safety and Health Act.
- All required City and State permits must be obtained before any construction begins.
- It is the contractor's sole responsibility to determine erection procedures and sequence to ensure the safety of the building and its components during erection. This includes the addition of necessary bracing, sheathing, temporary bracing, gys or tie-downs. Such materials shall remain the property of the contractor after completion of the project.
- Structural, Mechanical, Electrical and Plumbing design and installation by others shall be performed in accordance with local, State and Federal standards.
- All fire ratings indicated shall be continuous to underside of fire rated ceiling or underside of roof deck. Seal all openings & mechanical penetrations with approved fire rating material.
- Building shall be sprinkled in accordance with NFPA-13. Contractor shall submit plans for State Fire Marshal approval prior to construction in accordance to state law.
- Building shall have approved smoke detectors in accordance with NFPA-101 Life Safety Code. Smoke detectors shall initiate alarm that is audible in the sleeping rooms of each unit.
- Portable fire extinguishers shall be provided in all hazardous areas in accordance with NFPA-101. Local authority having jurisdiction needs to provide written requirements.
- Decks must maintain a 42" guardrail height and shall be kept free of ice and snow at all times to ensure the second means of egress.
- HVAC Installation to be in accordance with ASHRAE, NFPA-90A, OR NFPA-90B and all Federal, local and State codes. Ventilation or heat equipment shall be in accordance with NFPA-91, NFPA-211, NFPA-31, NFPA-54 and NFPA-70 as applicable.

FOUNDATION NOTES:

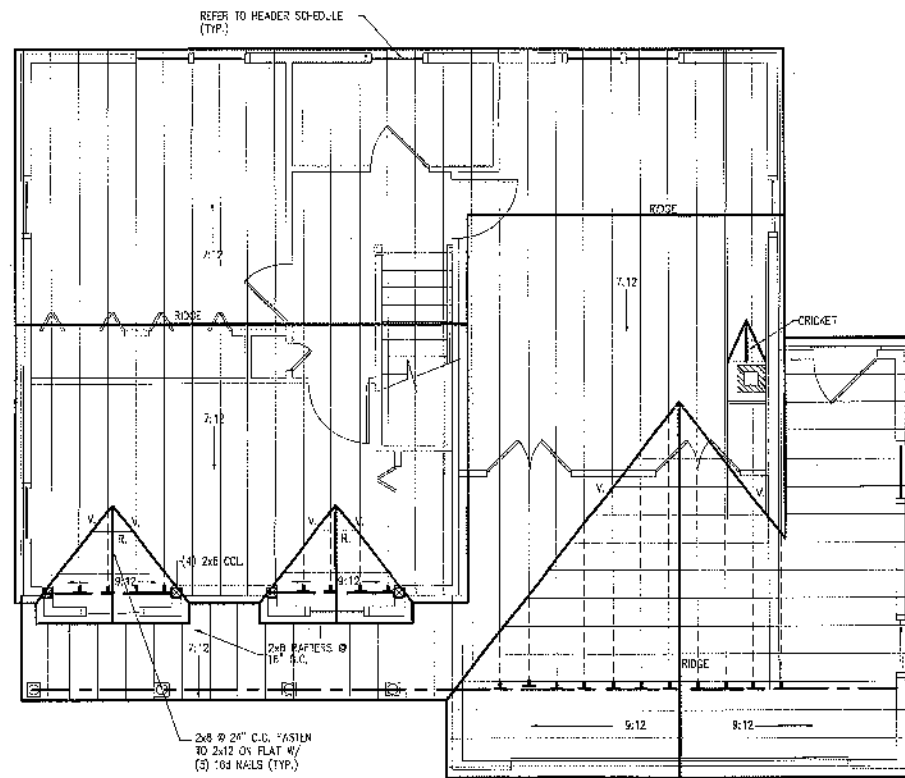
- PROVIDE SILL SEALER ON 101" OF ALL FOUNDATION WALLS.
- FOUNDATION WALLS SHALL BE BACKFILLED SIMULTANEOUSLY ON BOTH SIDES.
- ALL STEEL REINFORCING IN FOOTINGS TO BE A MINIMUM 3" CLEAR FROM BOTTOM OF FOOTING.
- ALL STEEL REINFORCING IN FOUNDATION WALLS BELOW GRADE TO BE MINIMUM OF 2" CLEAR FROM FACE OF WALL.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESURE PRESERVATIVE TREATED W/CCA TO 0.40/CF RETENTION PER AWPA.
- ALL CONCRETE SURFACES SHALL HAVE A STEEL TROWEL & LIGHT BROOM FINISH.
- SET BOTTOM OF FOOTINGS MIN. 4"-0" BELOW GRADE.
- SET ALL FOOTINGS ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL.
- RADIANT HEAT IN SLAB.
- FIRST FLOOR SLAB SHALL BE 4" THICK CONCRETE SLAB ON GRADE W/ FIBER MESH REINFORCEMENT. PROVIDE CONTROL JOINTS @ 15'-0" SPACING (225SF).
- ALL CONCRETE SHALL BE 4000 PSI (28) STRENGTH AT 28 DAYS.
- ALL CONCRETE SHALL BE AIR ENTRAINED 4-6%/A.
- ALL OTHER ADMIXTURES SHALL BE PRE-APPROVED.
- WATERPROOFING / DAMP PROOFING ASPHALT TAR.
- PROVIDE FILTER FABRIC OVER STONE.

FRAMING NOTES:

- ALL EXTERIOR WALLS TO BE 2X8 WOOD STUD WALLS @ 24" O.C. W/ 1/2" G.W.B. AND VAPOR BARRIER @ INSIDE FACE OF WALL, 6" BATT INSULATION (R-19) AND 7/16" APA RATED SHEATHING @ EXTERIOR FACE OF WALL.
- ALL INTERIOR WALLS TO BE 2X4 WOOD STUD WALLS (UNLESS NOTED OTHERWISE) W/ ONE LAYER 1/2" G.W.B. LATH & SOC.
- INSTALL BLOCKING BEHIND ALL SURFACE APPLIED FIXTURES, TRIM, AND SHELVES WHEN MOUNTED ON WALLS.
- THE LOCATION OF ALL DOOR FRAMES SHALL BE + 1/2" (UNLESS NOTED OTHERWISE) FROM ADJACENT WALLS.

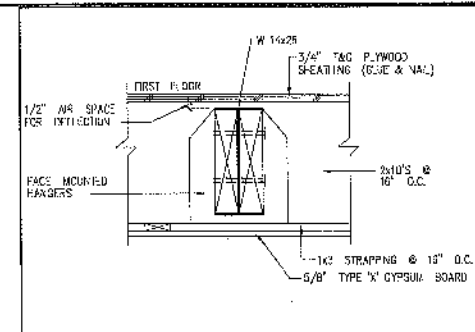
ROUGH OPENING	HEADER SIZE
0 - 3'-0"	(3) - 2x6
3'-1" - 4'-6"	(3) - 2x8
4'-7" - 5'-6"	(3) - 2x10
5'-9" - 7'-0"	(3) - 2x12

NOTE: PROVIDE JAMBS BOTH SIDES AS FOLLOWS:
 2x6 JACK PLUS 2x6 KING UP TO 4'-6" ROUGH OPENING
 (2) 2x6 JACKS PLUS (2) 2x6 KINGS UP TO 7'-0" ROUGH OPENING

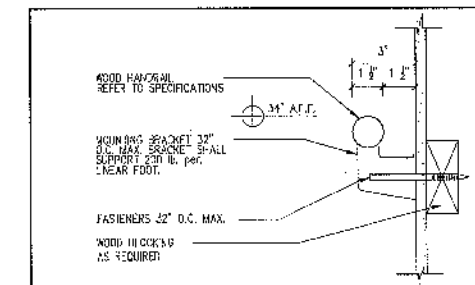


ROOF FRAMING PLAN

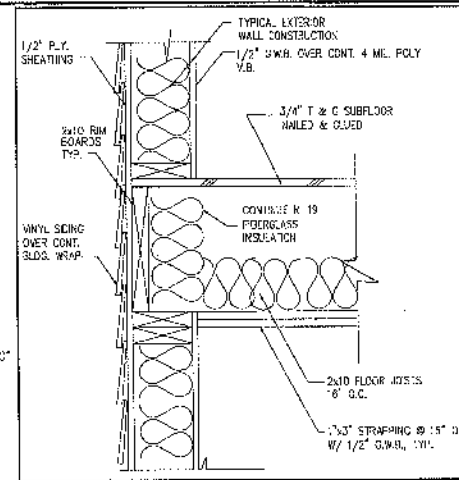
SCALE: 1/4" = 1' - 0"



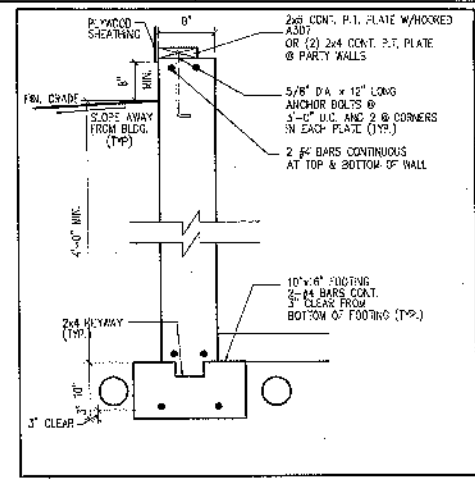
BEAM / JOIST CONNECTION 1 1/2" = 1'



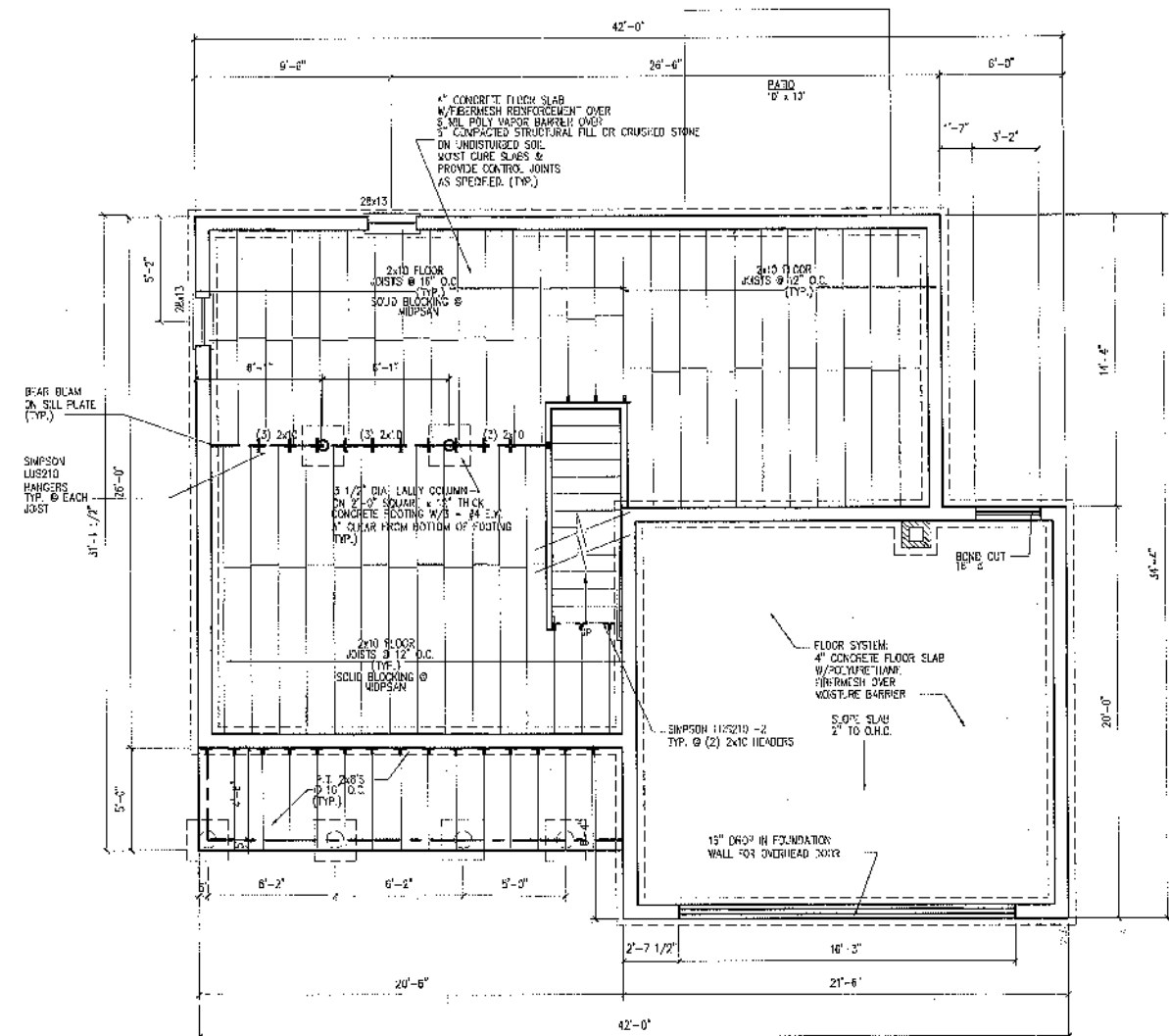
HANDRAIL DETAIL NTS



FLOOR FRAMING DETAIL 1 1/2" = 1'-0"



TYPICAL FOUNDATION WALL SCALE: 1" = 1'-0"



FOUNDATION PLAN

SCALE: 1/4" = 1' - 0"

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FOUNDATION PLAN

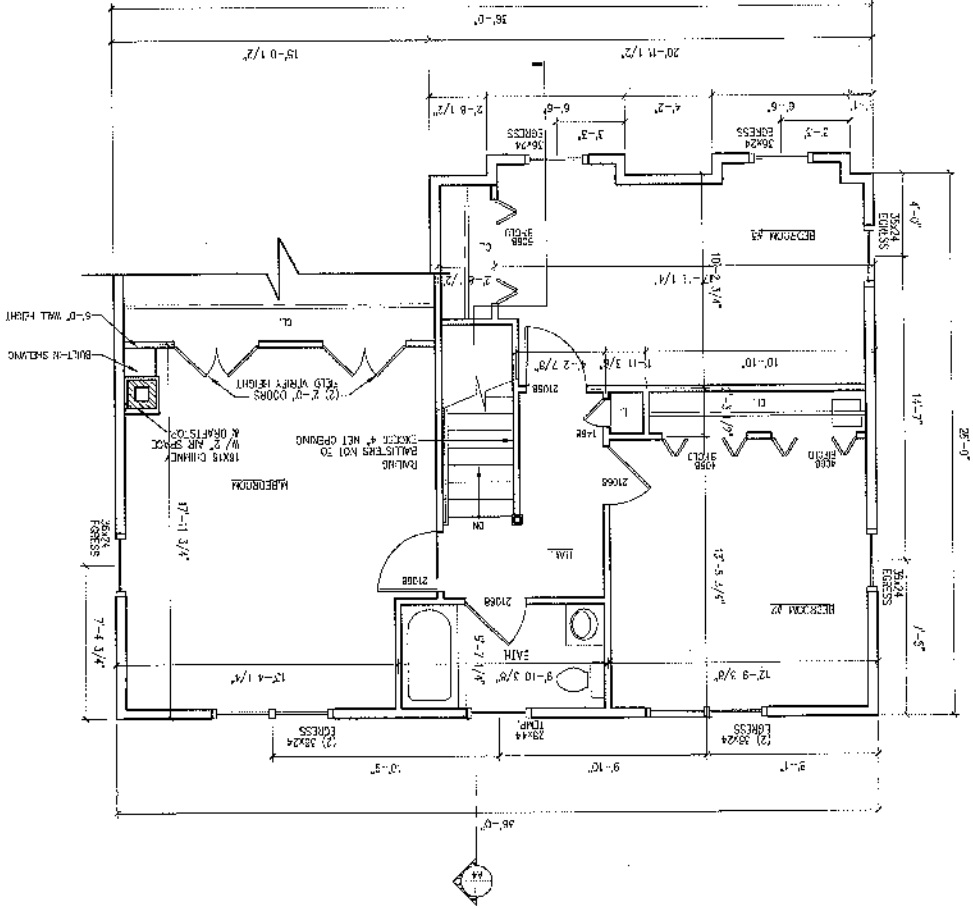
ROOF PLAN

NOTES

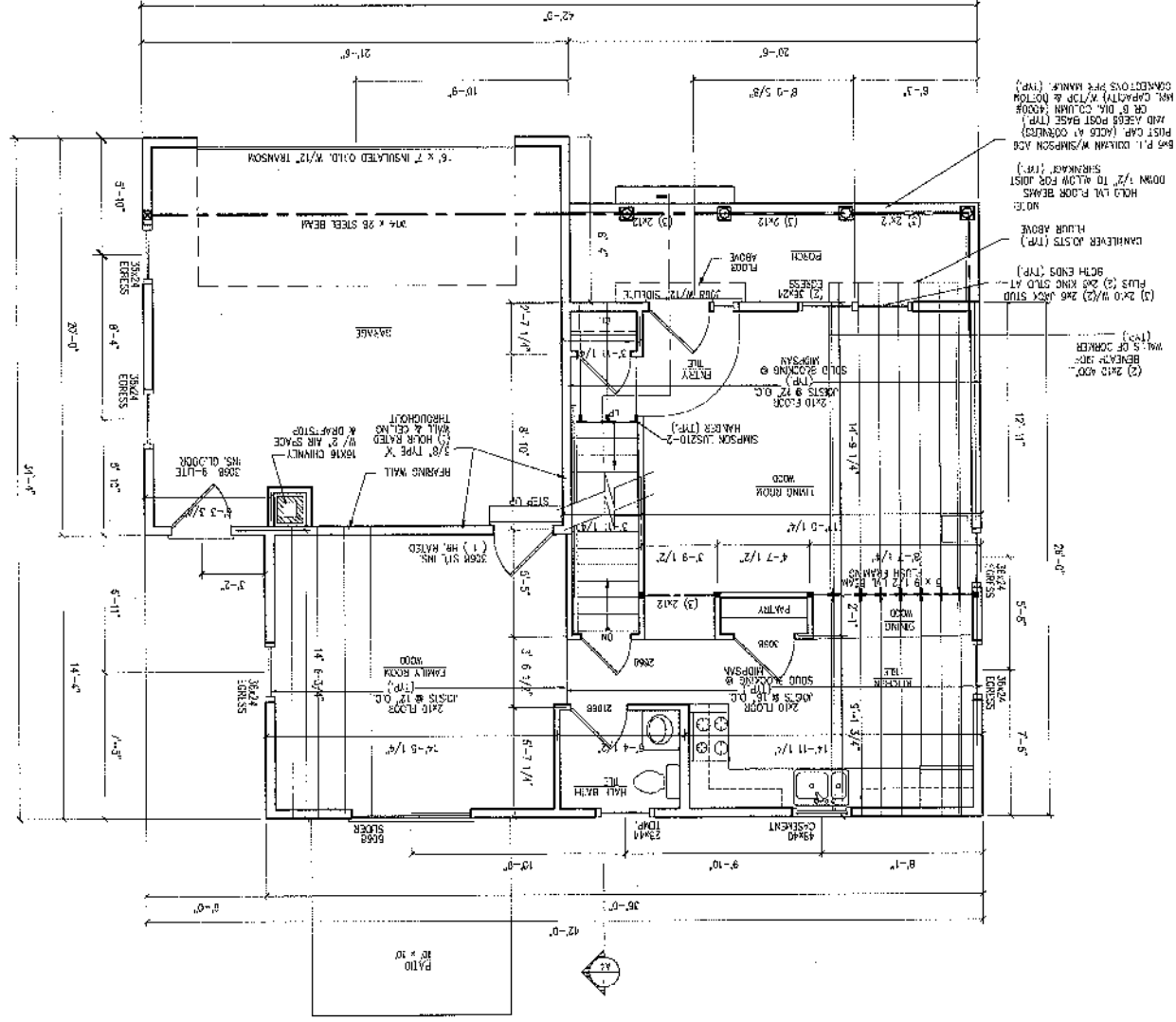
DATE: 10/04/05

A1

SECOND FLOOR PLAN
SCALE: 1/4" = 1' - 0"



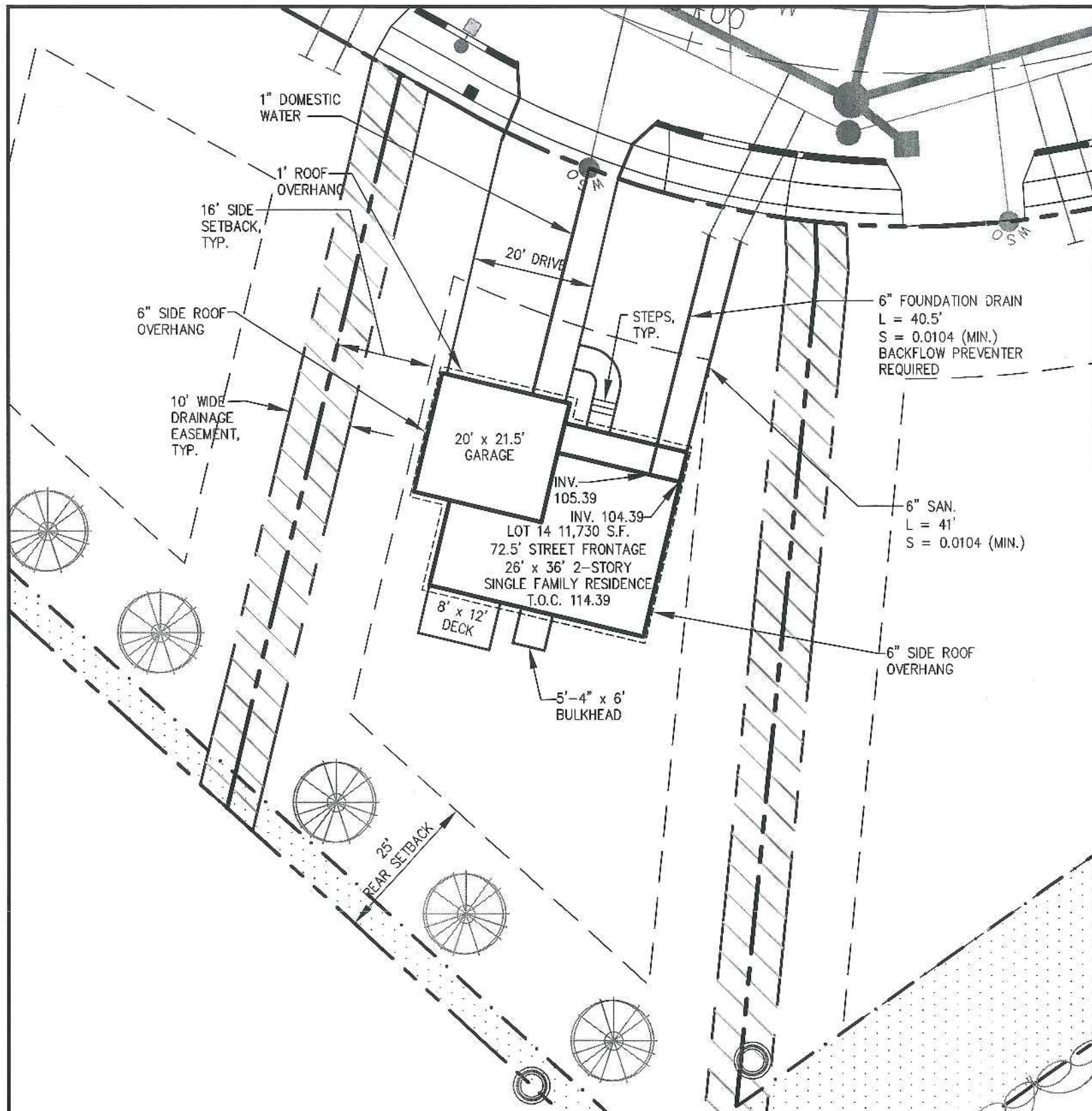
FIRST FLOOR PLAN
SCALE: 1/4" = 1' - 0"



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DATE
10/04/05

FLOOR PLANS

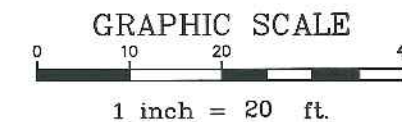
A2



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REVISED 11.02.05

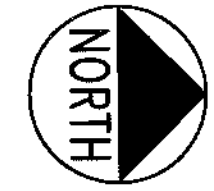
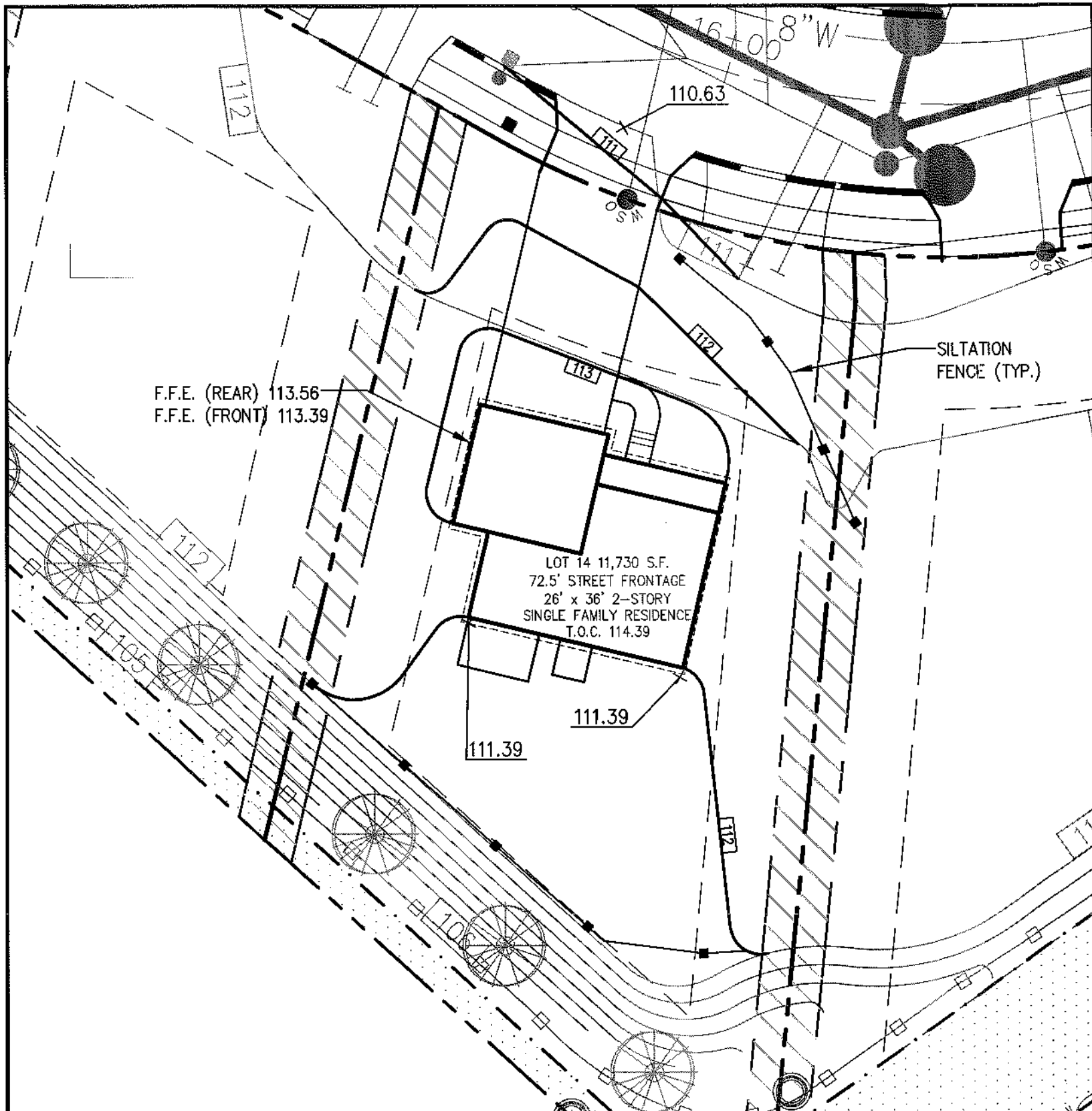
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FILE NAME:	245902-LOTS		

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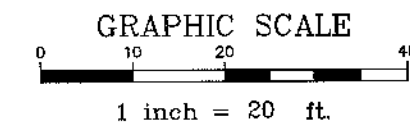
LOT 14 LAYOUT & UTILITIES PLAN

FIGURE
 14-A



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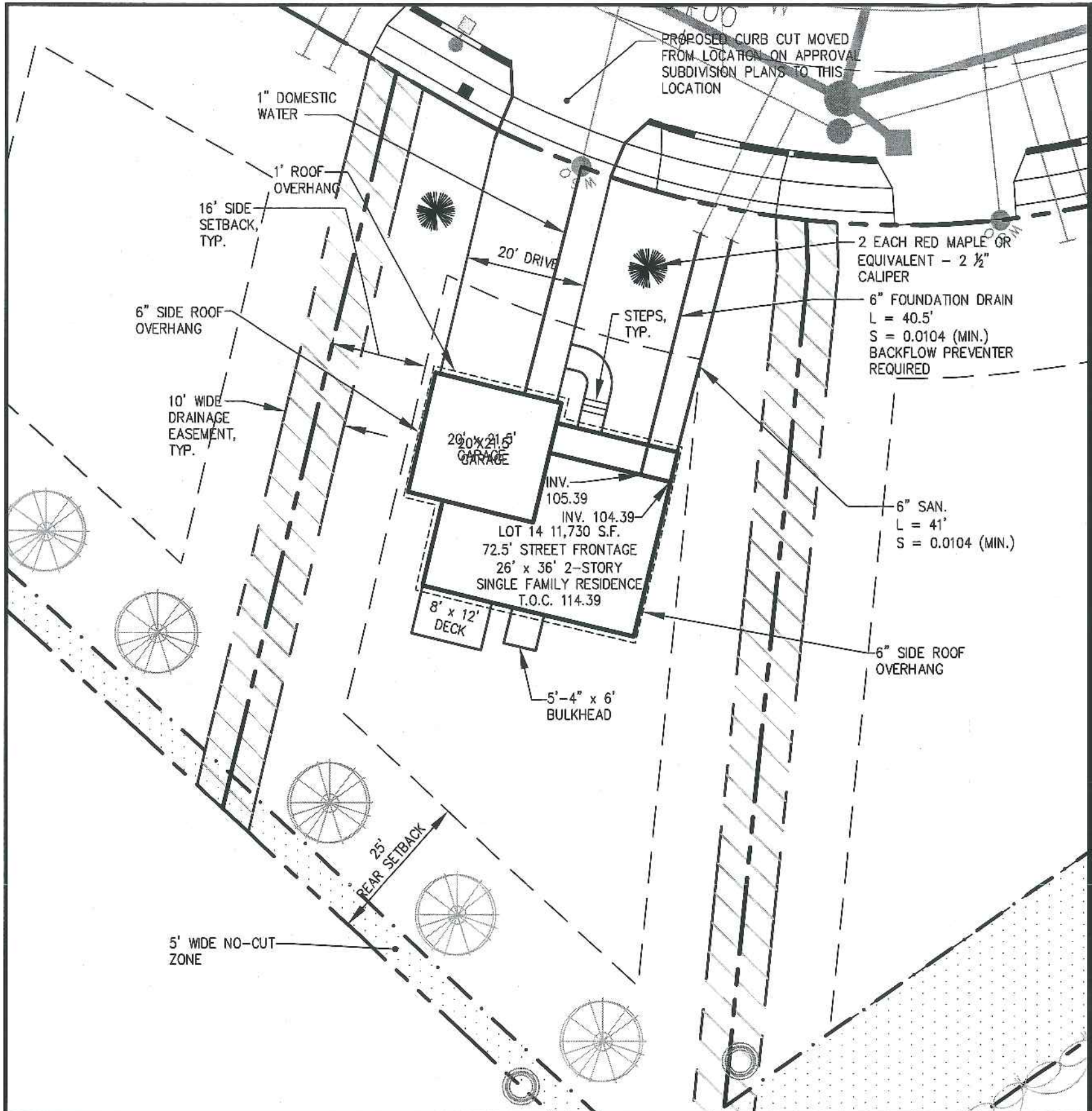
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PORTLAND, MAINE

LOT 14 GRADING & EROSION
CONTROL PLAN

FIGURE
14-B

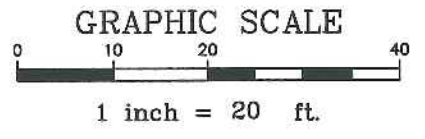


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**CITY OF PORTLAND
APPROVED SITE PLAN**
Subject to Dept. Conditions
Date of Approval: 11-16-05

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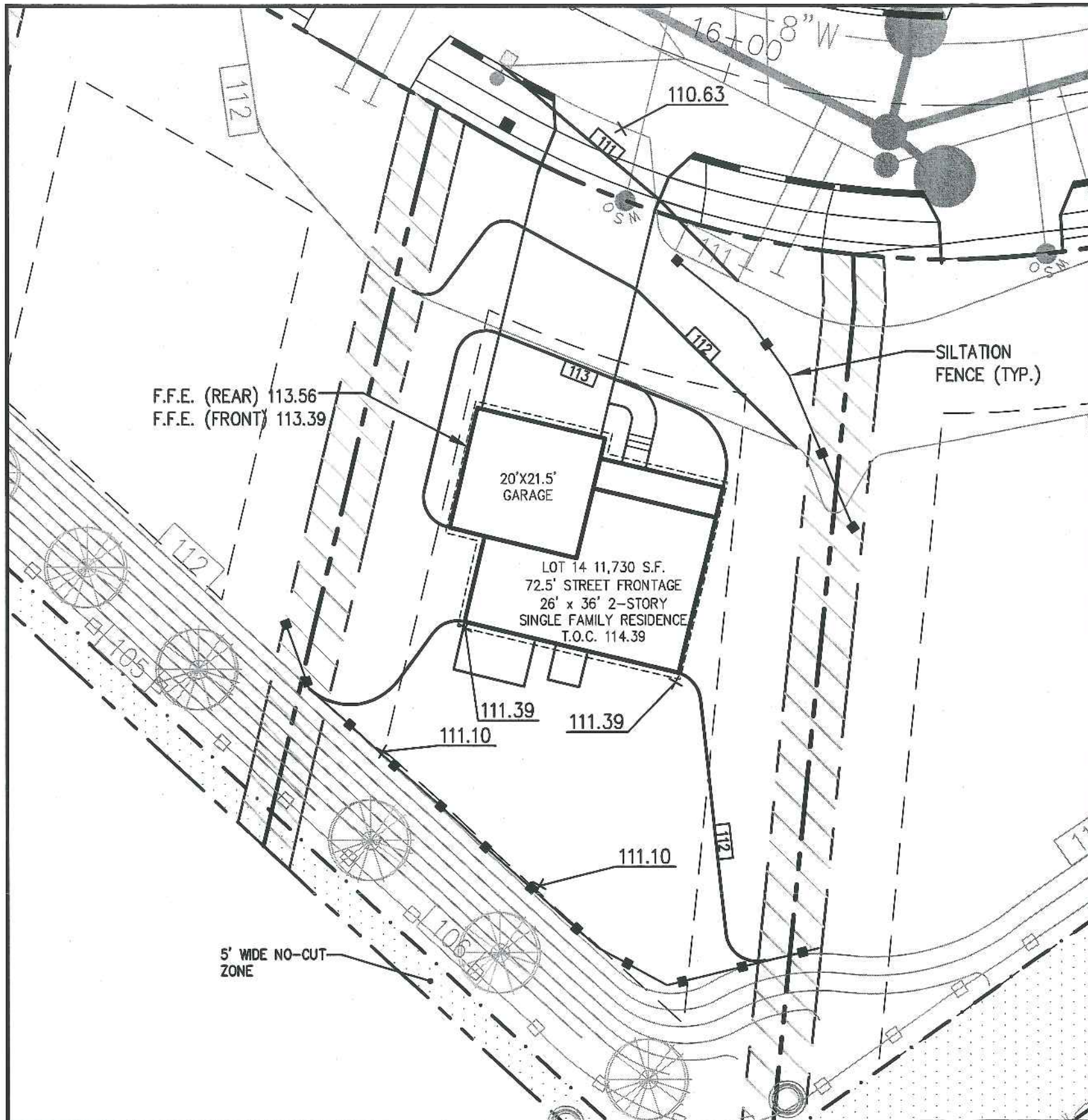
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**RUBY LANE
PORTLAND, MAINE**

LOT 14 LAYOUT & UTILITIES PLAN

FIGURE
14-A

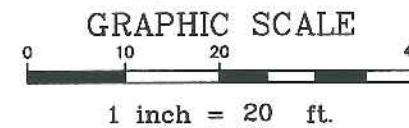


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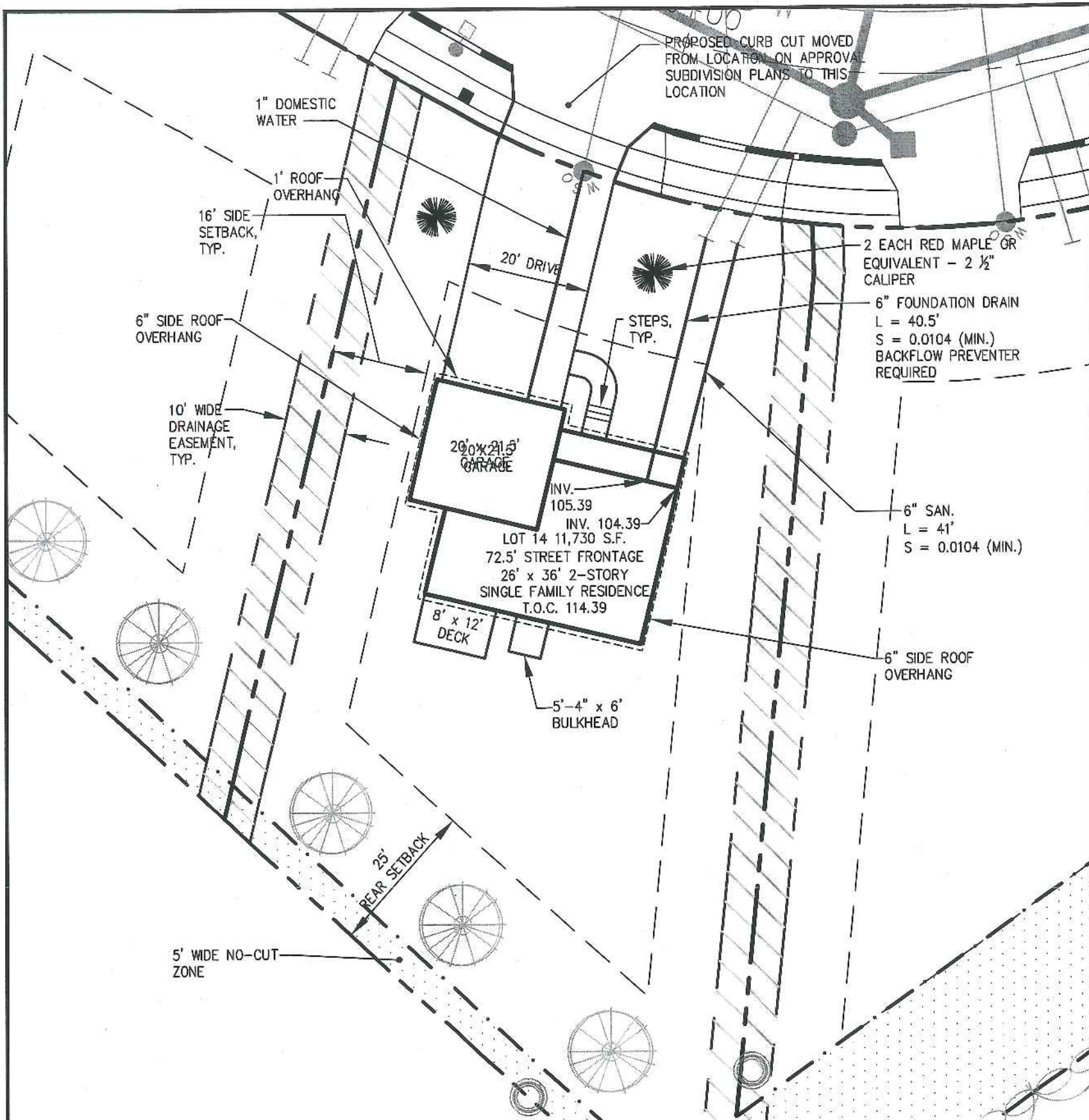
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LOT 14 GRADING & EROSION
CONTROL PLAN

FIGURE
14-B

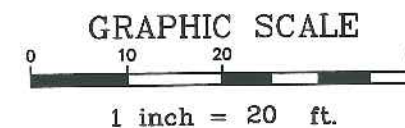


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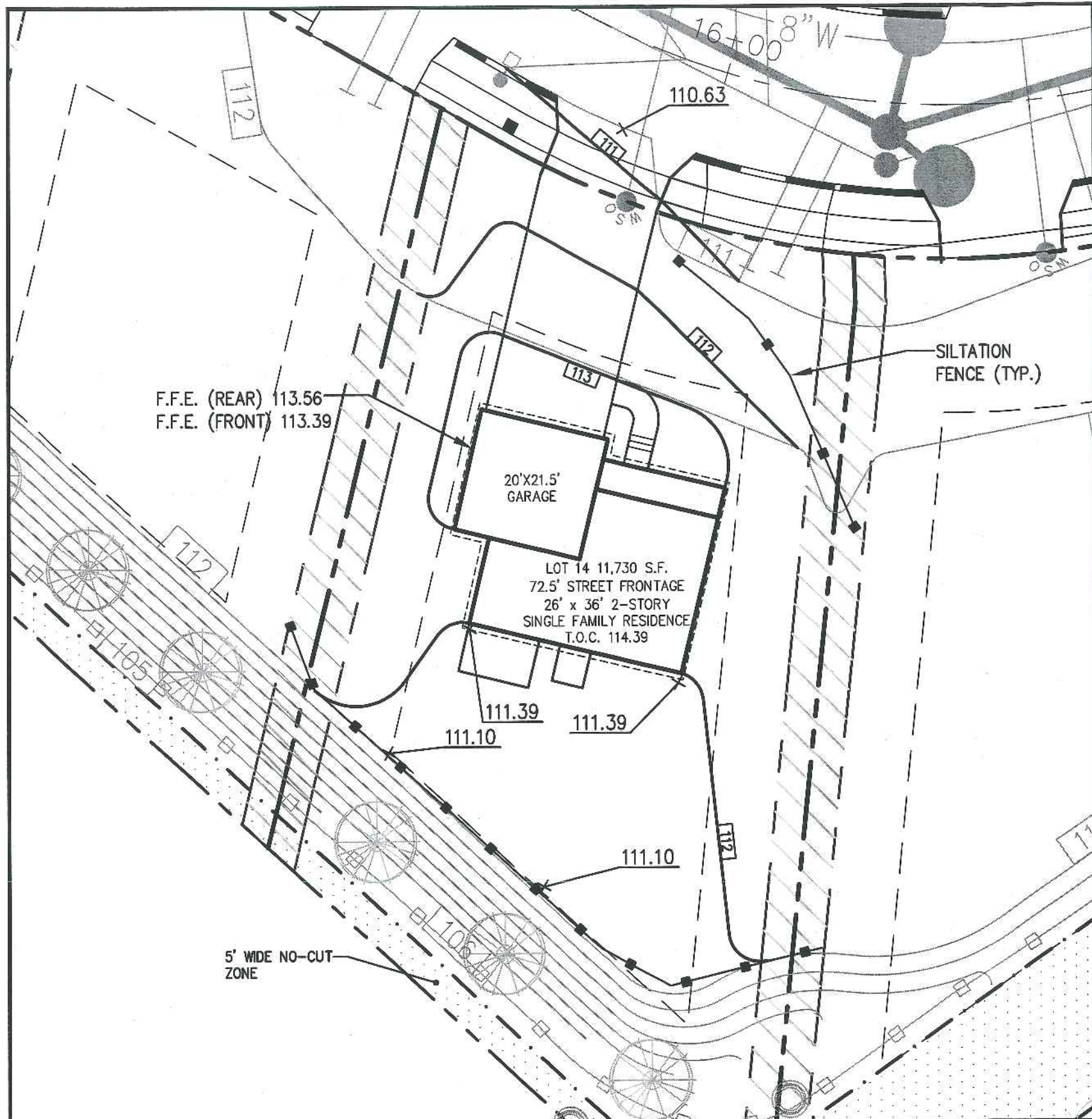
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FIGURE

14-A

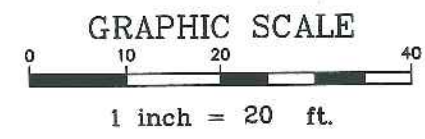


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FIGURE
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