

Label Zone Allow Rear #
2 St. Trees
Curb Cut Location
Reverse Pitch

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy

2005-0236

Application I. D. Number

10/12/2005

Application Date

Ruby Lane #14

Project Name/Description

DAK RIDGE

D.A. Brackett

Applicant

84 Country Lane, Portland, ME 04103

Applicant's Mailing Address

Jay Reynolds

RECEIVED OCT 18 2005

sat letter
11-9

65 - 65 Ruby Ln, Portland, Maine

Address of Proposed Site

342 B032001

Assessor's Reference: Chart-Block-Lot

Consultant/Agent

Applicant Ph: (207) 772-8629 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply):
 New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify)

1536

Proposed Building square Feet or # of Units

11730

Acreage of Site

Zoning

Check Review Required:

- Site Plan (major/minor)
- Subdivision # of lots
- PAD Review
- 14-403 Streets Review
- Flood Hazard
- Shoreland
- Historic Preservation
- DEP Local Certification
- Zoning Conditional Use (ZBA/PB)
- Zoning Variance
- Other

Fees Paid: Site Pla \$50.00 Subdivision Engineer Review \$250.00 Date 10/12/2005

DRC Approval Status:

- Approved
- Approved w/Conditions See Attached
- Denied

Reviewer Jay Reynolds

Approval Date 11-16-05

Approval Expiration

Extension to

Additional Sheets Attached

Condition Compliance

Jay Reynolds signature

11-16-05 date

Performance Guarantee

- Required*
- Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

| | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

Per # 772-8629



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life ® www.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

November 9, 2005

Mr. Dwight Brackett
84 Country Lane
Portland, ME 04103

Dear Mr. Brackett:

RE: Application for Single Family Residences, Ruby Lane lots #13 and lot #14

Upon review of the site plans, the City's Planning Division has the following comments:

Lot # 13:

1. Street tree shown over the utilities needs to be moved.
2. The topography and spot grades indicate that the rear yard will be pitched towards the building. Please correct.
3. Please label the no-cut/undisturb zone along the rear property line.
4. The curb cut on your plan does not match the curb cut location on the approved subdivision plans. Please clarify.

Lot #14:

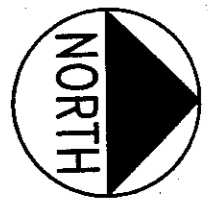
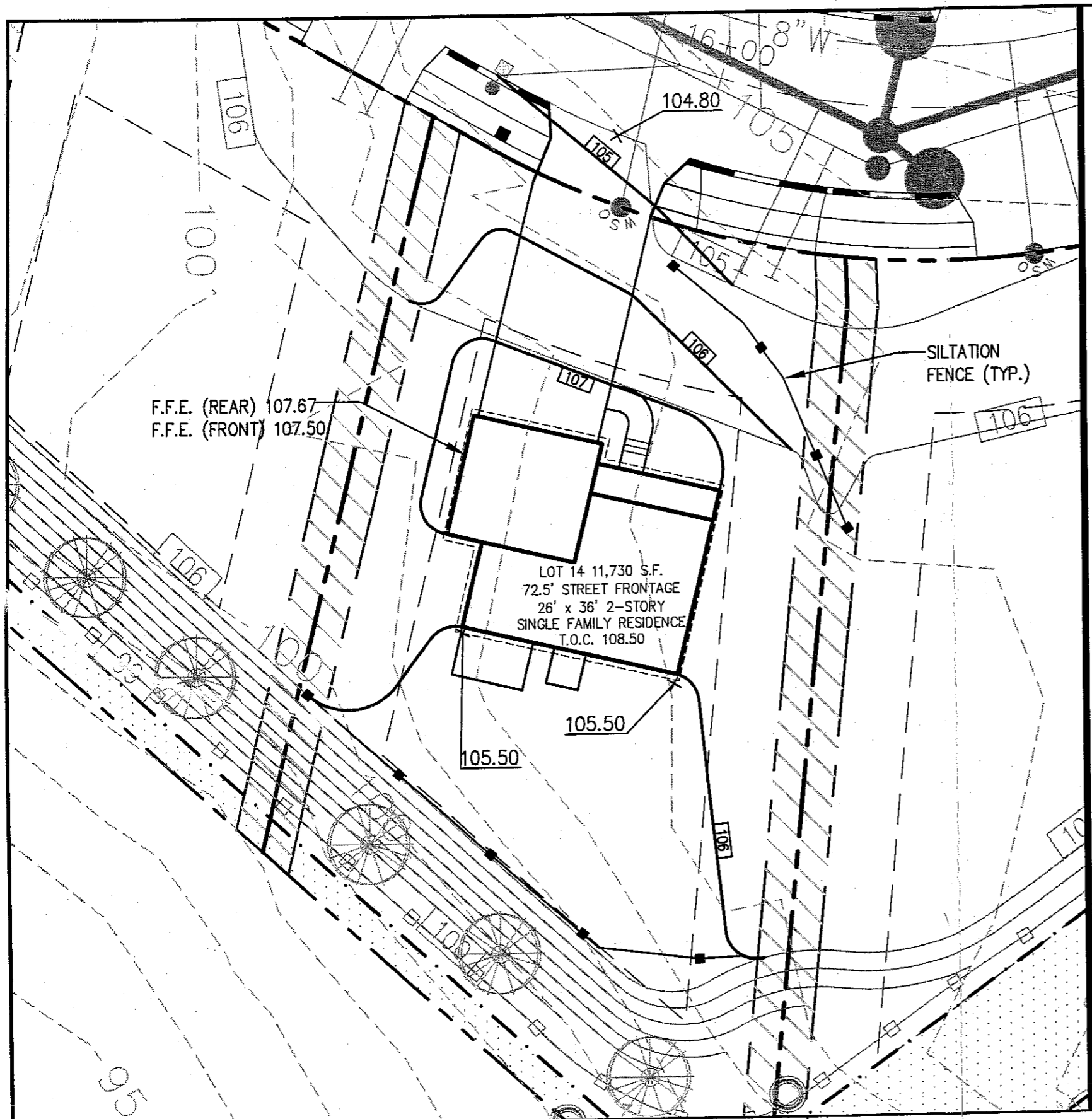
1. Please add two street trees to your plan.
2. Same items listed above (2., 3., and 4.).

Please resubmit 4 copies of the site plan to my attention.

Sincerely,

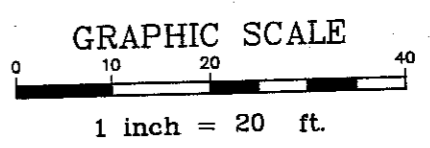
Jay Reynolds
Development Review Coordinator

cc: Sarah Hopkins, Development Review Services Manager



ZONING REGULATIONS

| | |
|-----------------------------|---|
| ZONE: | R-3 |
| MINIMUM LOT SIZE: | 6,500 S.F. |
| MINIMUM LOT WIDTH: | 75 FEET |
| MINIMUM STREET FRONTAGE: | 50 FEET |
| MINIMUM FRONT YARD SETBACK: | 25 FEET OR AT MIN. 75' LOT WIDTH |
| MINIMUM REAR YARD SETBACK: | 25 FEET |
| MINIMUM SIDE YARD SETBACK: | 16 FEET (FOR 2½ STORY DWELLING) 8 FEET (FOR 1½ STORY DWELLING) |



Rec'd 10-18

PREPARED 10.06.05

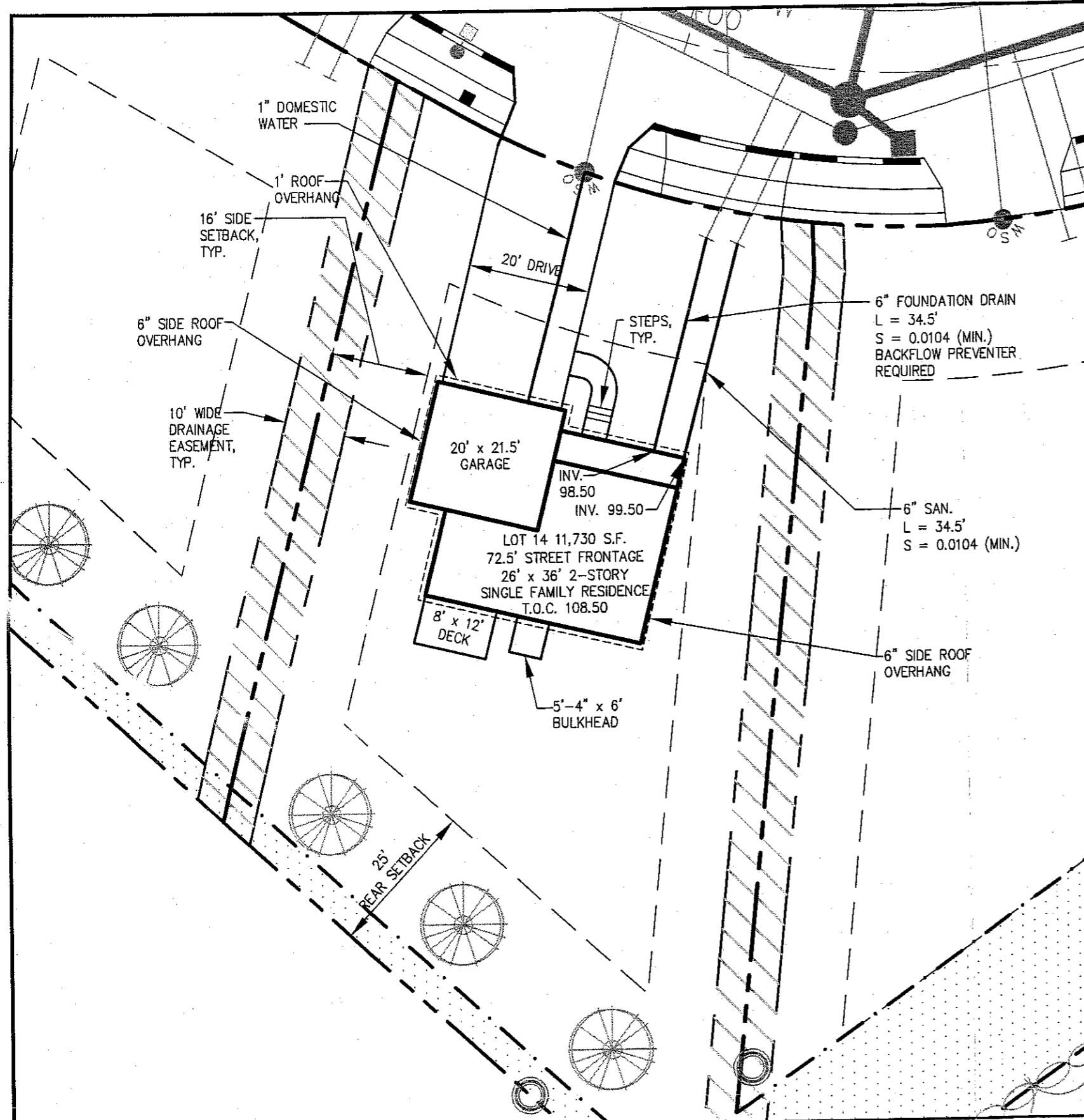
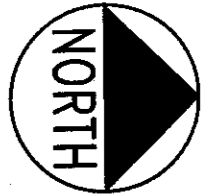
DH
 DeLuca-Hoffman Associates, Inc.
 778 MAIN STREET, SUITE 8
 SOUTH PORTLAND, ME 04106
 207.775.1121
 WWW.DELUCAHOFFMAN.COM

| | | | |
|------------|---------|---------|-----------|
| DRAWN: | CDD | DATE: | MAR. 2005 |
| DESIGNED: | DDA | SCALE: | 1" = 20' |
| CHECKED: | DDA | JOB NO. | 2568 |
| FILE NAME: | 2568-SP | | |

RUBY LANE
 PORTLAND, MAINE

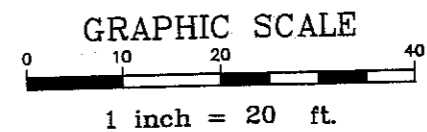
LOT 14 GRADING & EROSION
 CONTROL PLAN

FIGURE
 14-B



ZONING REGULATIONS

| | |
|-----------------------------|---|
| ZONE: | R-3 |
| MINIMUM LOT SIZE: | 6,500 S.F. |
| MINIMUM LOT WIDTH: | 75 FEET |
| MINIMUM STREET FRONTAGE: | 50 FEET |
| MINIMUM FRONT YARD SETBACK: | 25 FEET OR AT MIN. 75' LOT WIDTH |
| MINIMUM REAR YARD SETBACK: | 25 FEET |
| MINIMUM SIDE YARD SETBACK: | 16 FEET (FOR 2½ STORY DWELLING) 8 FEET (FOR 1½ STORY DWELLING) |



PREPARED 10.06.05



DeLuca-Hoffman Associates, Inc.
778 MAIN STREET, SUITE 8
SOUTH PORTLAND, ME 04106
207.775.1121
WWW.DELUCAHOFFMAN.COM

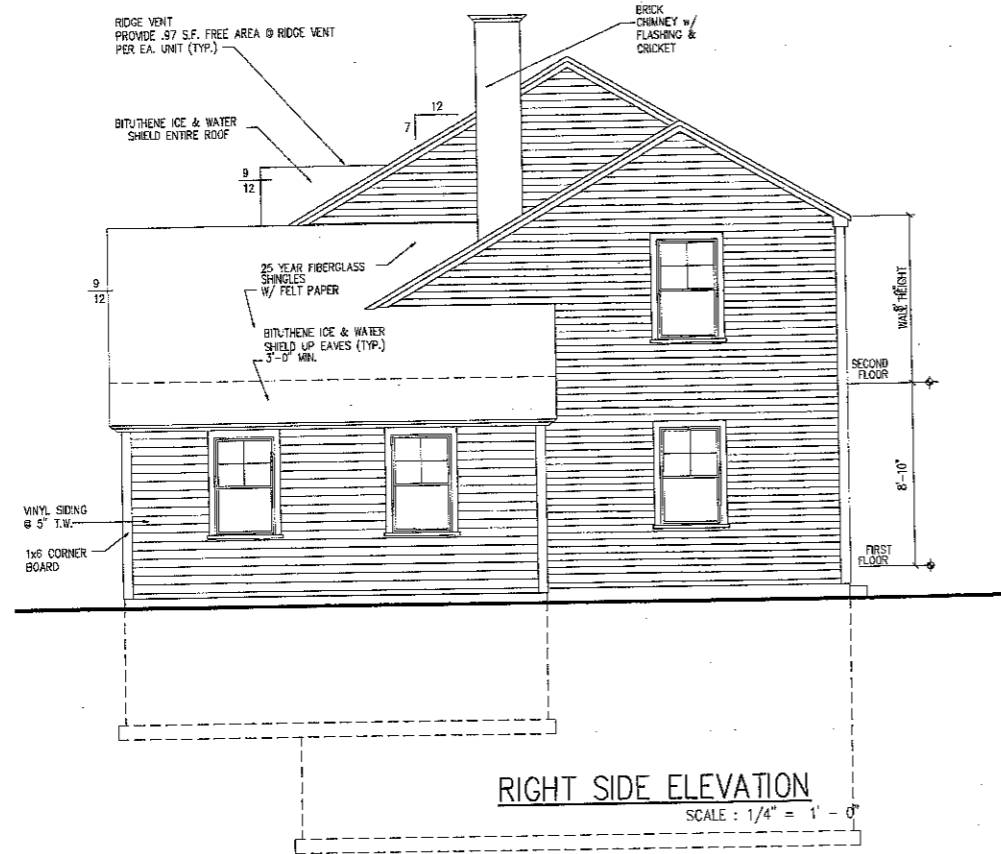
| | | | |
|------------|---------|----------|-----------|
| DRAWN: | SMW | DATE: | MAR. 2005 |
| DESIGNED: | DDA | SCALE: | 1" = 20' |
| CHECKED: | DDA | JOB NO.: | 2568 |
| FILE NAME: | 2568-SP | | |

RUBY LANE
PORTLAND, MAINE

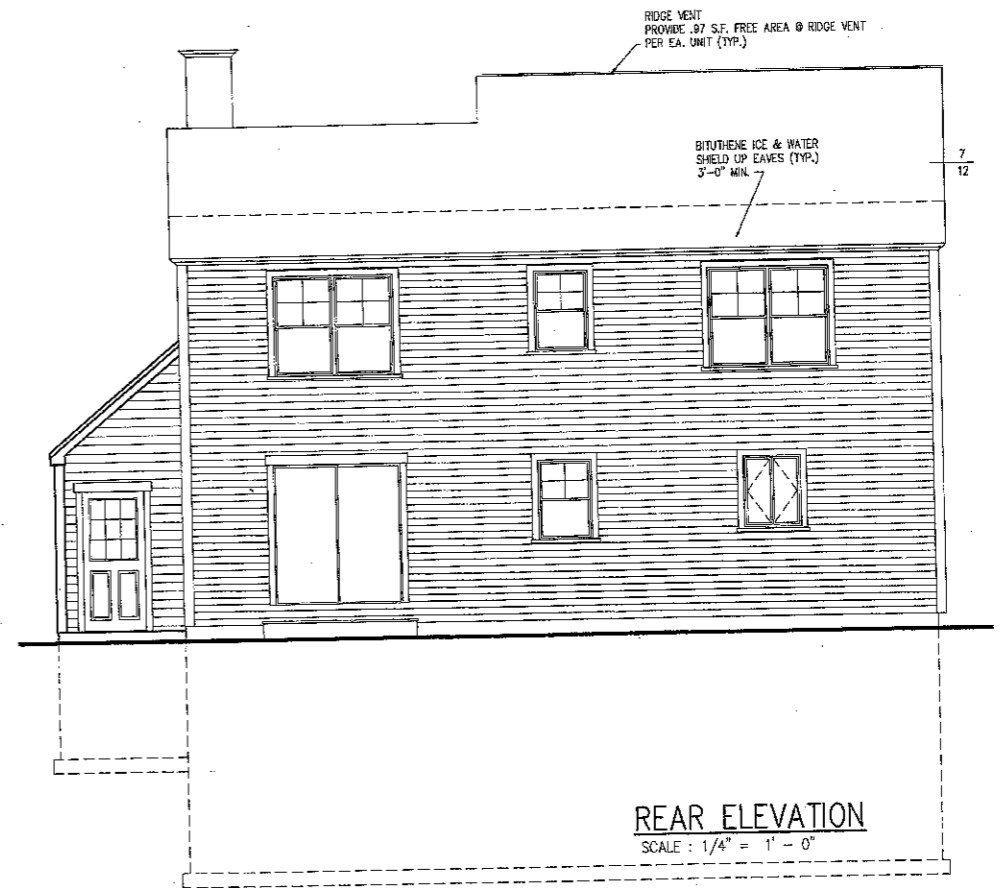
LOT 14 LAYOUT & UTILITIES PLAN

FIGURE

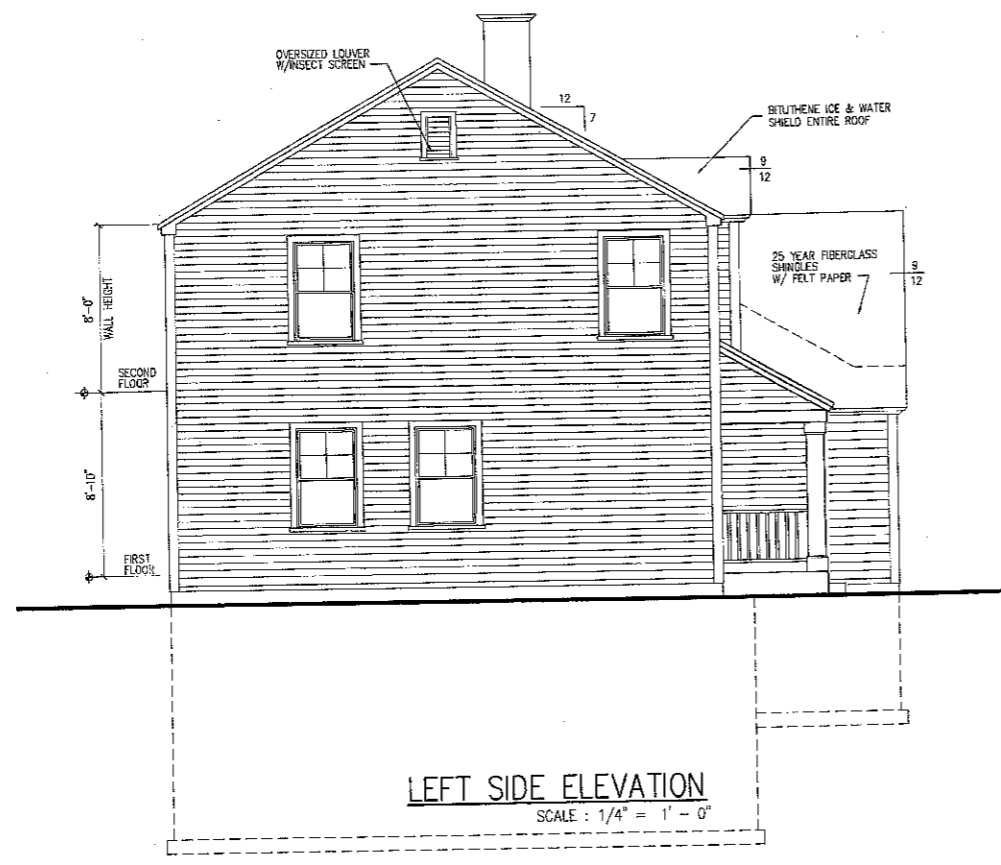
14-A



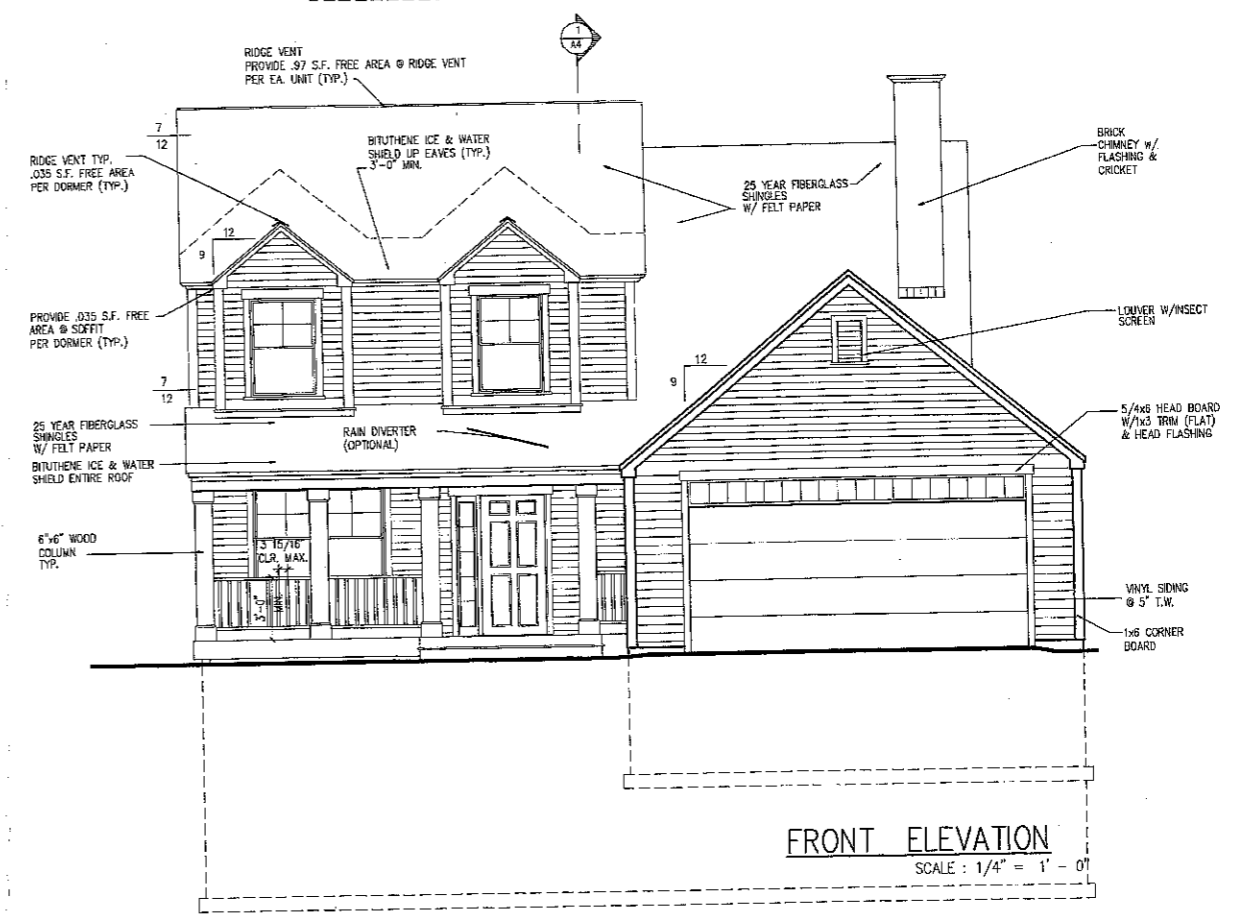
RIGHT SIDE ELEVATION
SCALE: 1/4" = 1' - 0"



REAR ELEVATION
SCALE: 1/4" = 1' - 0"



LEFT SIDE ELEVATION
SCALE: 1/4" = 1' - 0"



FRONT ELEVATION
SCALE: 1/4" = 1' - 0"

DRAWINGS THIS SHEET

ELEVATIONS

DATE 10/04

LOT # 14