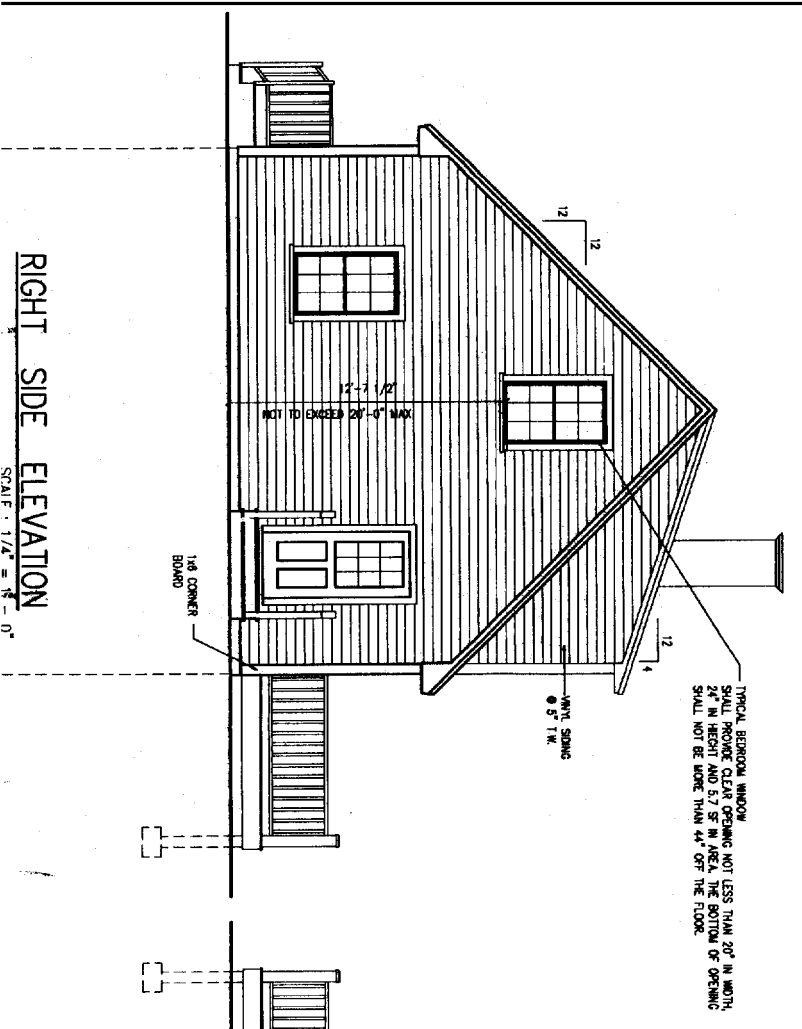


SECTION THRU HOUSE
SCALE: 1/4" = 1' - 0"

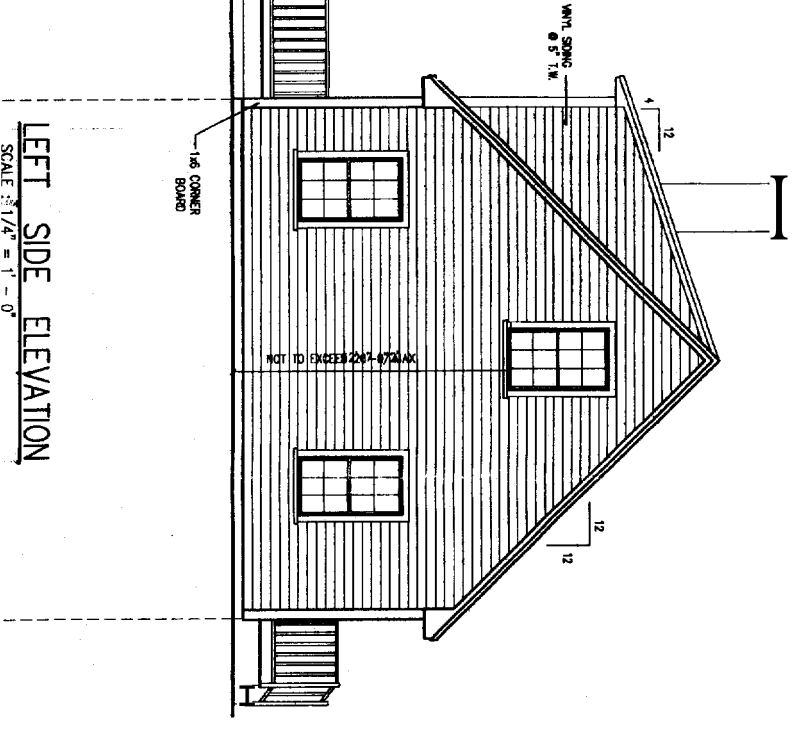
TYPICAL ROOF CONSTRUCTION

ROUGH OPENING	HEADER SIZE
0 - 3'-0"	(1) - 2x4
3'-1" - 4'-6"	(1) - 2x4
4'-7" - 5'-6"	(1) - 2x4
5'-7" - 7'-0"	(1) - 2x10
	(2) - 2x10

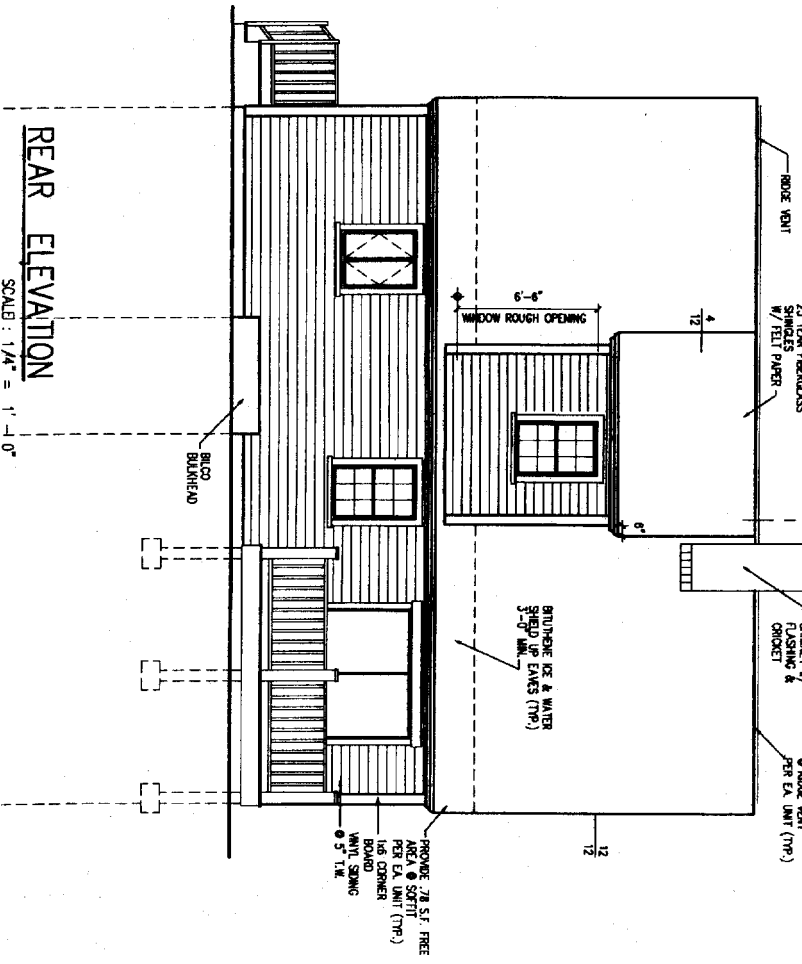
NOTE: PROVIDE JOISTS BOTH SIDES AS FOLLOWS:
 (1) 2x6 JOISTS PLUS 2x6 KICKS UP TO 7'-0" ROUGH OPENING
 (2) 2x6 JOISTS PLUS (2) 2x6 KICKS UP TO 7'-0" ROUGH OPENING



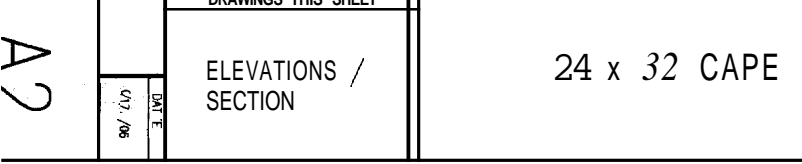
RIGHT SIDE ELEVATION
SCALE: 1/2" = 1' - 0"



LEFT SIDE ELEVATION
SCALE: 1/4" = 1' - 0"



FRONT ELEVATION
SCALE: 1/4" = 1' - 0"



REAR ELEVATION
SCALE: 1/4" = 1' - 0"

A2

DATE	01/7/06
ELEVATIONS / SECTION	
DRAWINGS THIS SHEET	

24 x 32 CAPE

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 CITY OF PORTLAND, ME

GENERAL NOTES:

- All work shall be in accordance with BOCA Basic Building Code, NFPA-70 National Electric Code, Model State Plumbing Code, ASHRAE, U.L. NFPA Codes, Applicable with Disabilities Act (ADA) and all local, State and Federal requirements.
- All applicable Federal, State and Municipal regulations shall be followed, including the Federal Department of Labor Occupational Safety and Health Act.
- All required City and State permits must be obtained before any construction begins.
- It is the contractor's responsibility to determine existing conditions and measure to ensure the safety of the building and its contents during construction. This includes the addition of necessary shoring, bracing, temporary bracing, pipe or ladders. Such matters shall remain the property of the contractor after completion of the project.
- Structural, Mechanical, Electrical and Plumbing design and installation by others shall be performed in accordance with local, State and Federal codes.
- All fire ratings indicated shall be maintained to include fire rated ceiling or wall/ceiling of roof deck. Seal at openings & mechanical penetrations with approved fire rating material.
- Particular fire extinguishers shall be provided in all hazardous areas in accordance to NFPA-101. Local authority shall advise owner what is needed in the existing rooms of each unit.
- Roofing must include a 1/2" structural height and shall be kept free and clear of ice and snow at all times to ensure the correct means of egress.
- HVAC Ventilation to be in accordance with ASHRAE, NFPA-90A, OR NFPA-90B and all local and State codes. Ventilation or heat equipment shall be in accordance with NFPA-91, NFPA-211, NFPA-31, NFPA-94 and NFPA-70 as applicable.

CONSTRUCTION NOTES:

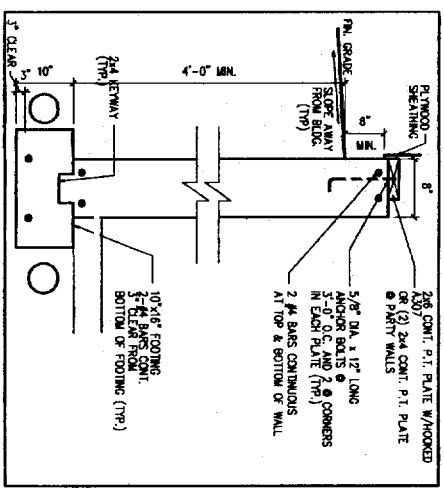
- Provide sill sealer on top of all foundation walls.
- Foundation walls shall be poured shaft-in-place on both sides.
- All steel reinforcing in footings to be a minimum 3" clear from bottom of footing.
- All steel reinforcing in foundation walls below grade to be a minimum of 2" clear from face of wall.
- All wood in contact with concrete shall be pressure preservative treated (PCT) to 0.4/100 retention per AMPA.
- All concrete surfaces shall have a steel trowel and light broom finish.
- Set bottom of footings min. 4'-0" below grade.
- Set all footings on undisturbed soil or compacted structural fill.
- Radiant heat in slab.
- First floor slab shall be 4" thick concrete slab on grade w/ free layer reinforcement provide control joints @ 15' max spacing (2589).
- All concrete shall be 3000 psi (2) strength at 28 days.
- All other admixtures shall be pre-approved.
- Waterproofing / Damp Proofing Asphaltic IML.
- Provide filter fabric over stone.

FRAMING NOTES:

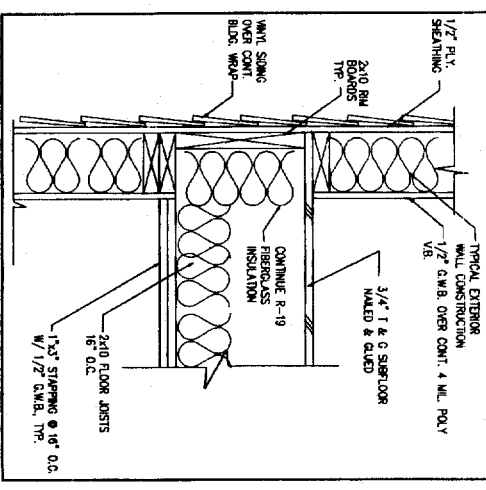
- All exterior walls to be 2x6 wood stud walls @ 16" O.C. with 1/2" exterior insulation (R-5) and 7/16" APA rated sheathing @ exterior face of wall.
- All interior walls to be 2x4 wood stud walls 1/2" G.W.B. E.C.M. S.E.
- Install blocking behind all surface applied finishes, trim, and shelves when located on walls.
- The location of all door frames shall be 1/2" (unless noted otherwise) from adjacent walls.

HEADER SCHEDULE	
ROUGH OPENING	HEADER SIZE
0 - 3'-0"	(3) - 2x4
3'-1" - 4'-6"	(3) - 2x6
4'-7" - 5'-6"	(3) - 2x10
5'-7" - 7'-0"	(3) - 2x12

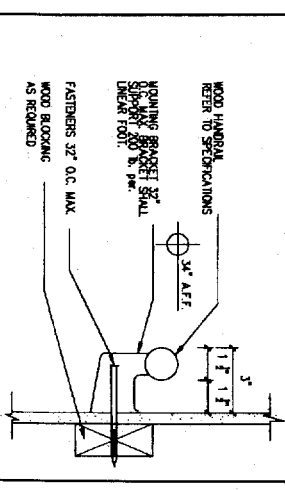
NOTE: PROVIDE WOOD STUDS AND BOLTS FOR ALL ROUGH OPENINGS.
 (2) 2x6 JACOBS RULS (2) 2x6 DIMS UP TO 7'-0" ROUGH OPENING



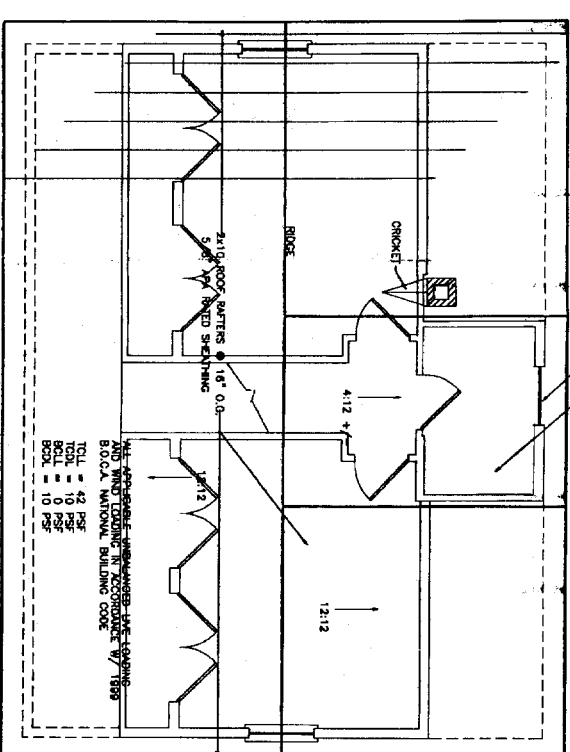
1 TYPICAL FOUNDATION WALL SCALE: 1"=1'-0"



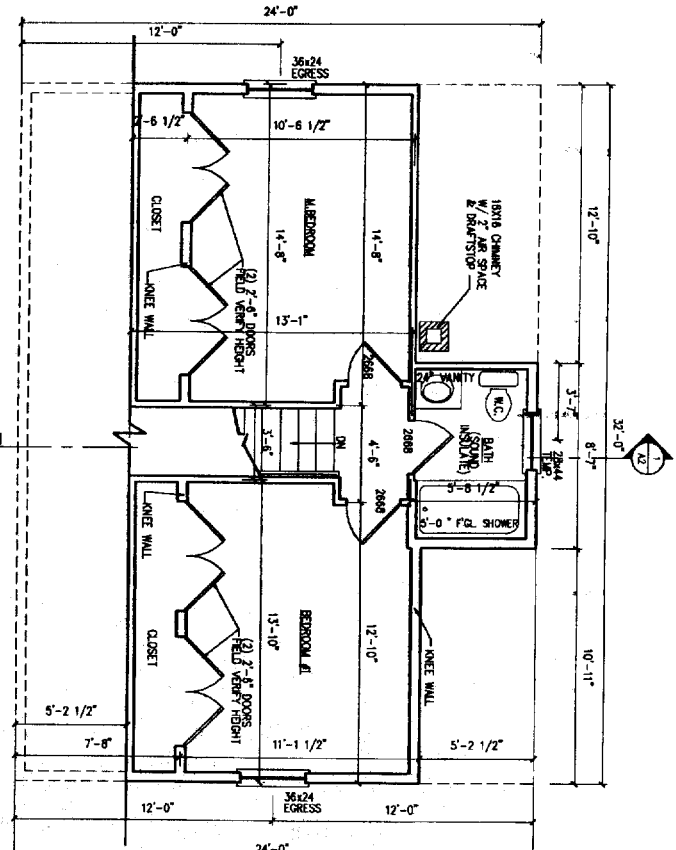
2 FLOOR FRAMING DETAIL SCALE: 1 1/2\"=1'-0"



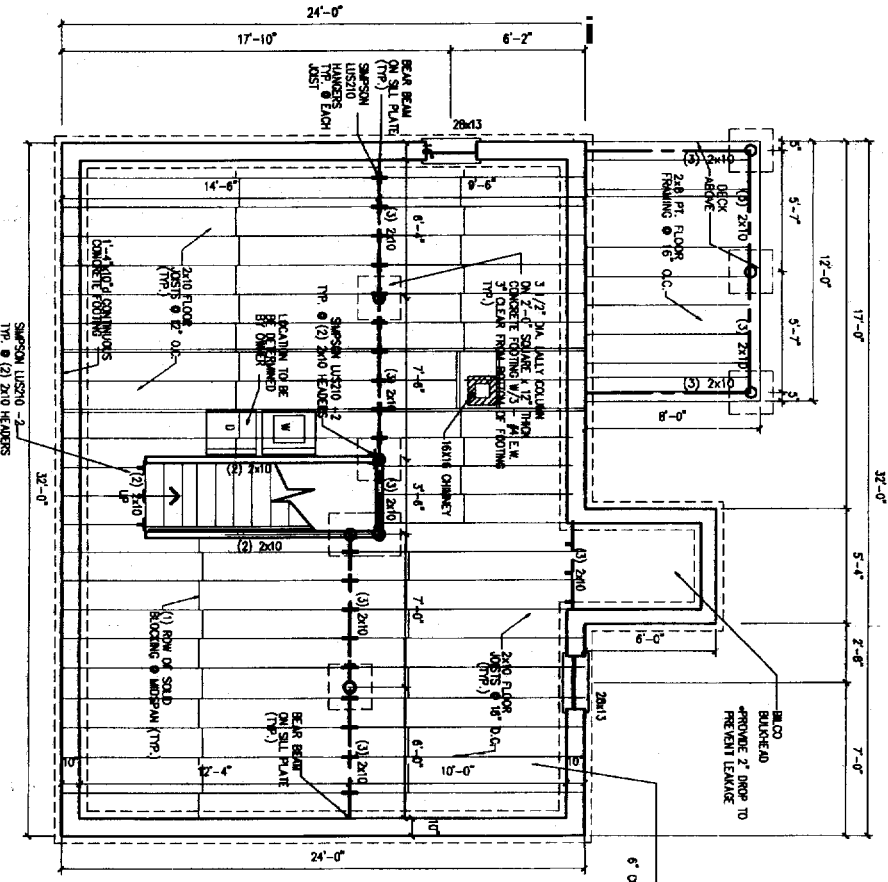
ESCALATOR DETAIL SCALE: 1\"=1'-0"



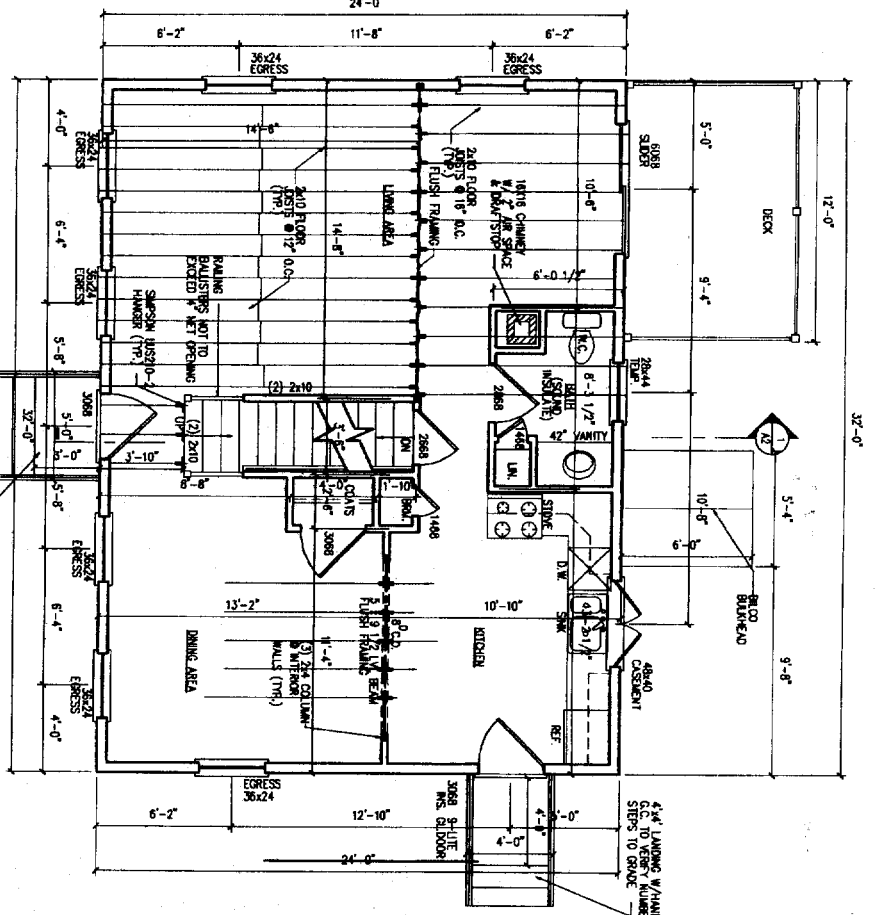
ROOF FRAMING PLAN SCALE: 1/4\"=1'-0"



SECOND FLOOR PLAN SCALE: 1/4\"=1'-0"



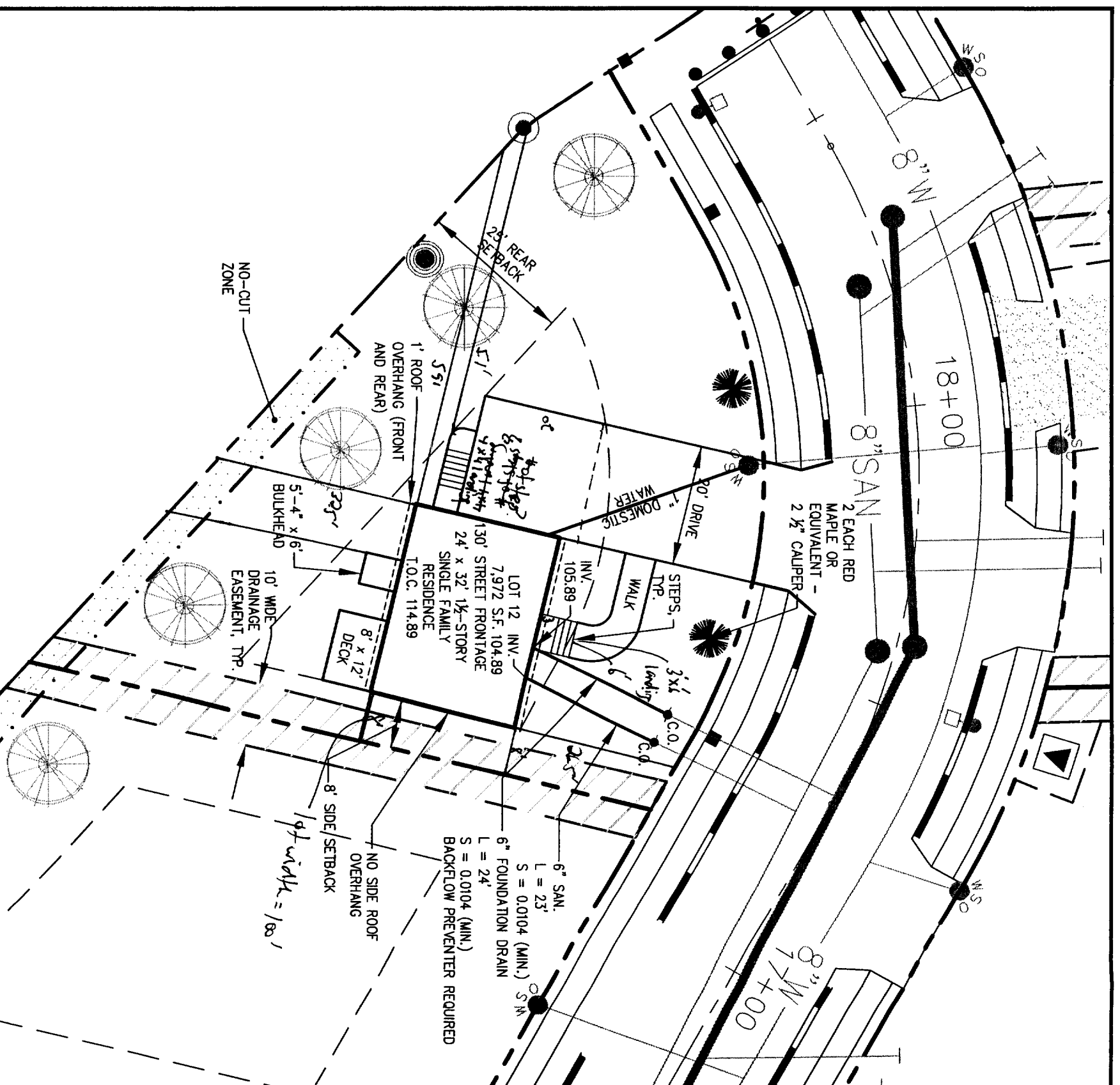
FOUNDATION / FIRST FLOOR FRAMING PLAN SCALE: 1/4\"=1'-0"



FIRST FLOOR PLAN SCALE: 1/4\"=1'-0"

DRAWINGS THIS SHEET	
FOUNDATION & ROOF PLAN	24 x 32 CAPE
FIRST FLOOR PLAN / SECOND FLOOR PLAN	
NOTES / DETAILS	
DATE	04/ / 06

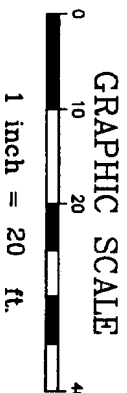
A1



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CITY OF PORTLAND, ME
MAY 2 2006
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ZONING REGULATIONS

- ZONE:** R-3
- MINIMUM LOT SIZE:** 6,500 S.F.
- MINIMUM LOT WIDTH:** 75 FEET
- MINIMUM STREET FRONTAGE:** 50 FEET
- MINIMUM FRONT YARD SETBACK:** 25 FEET OR AT MIN. 75' LOT WIDTH
- MINIMUM REAR YARD SETBACK:** 25 FEET
- MINIMUM SIDE YARD SETBACK:** 16 FEET (FOR 2 1/2 STORY DWELLING)
8 FEET (FOR 1 1/2 STORY DWELLING)



REVISED 04.21.06

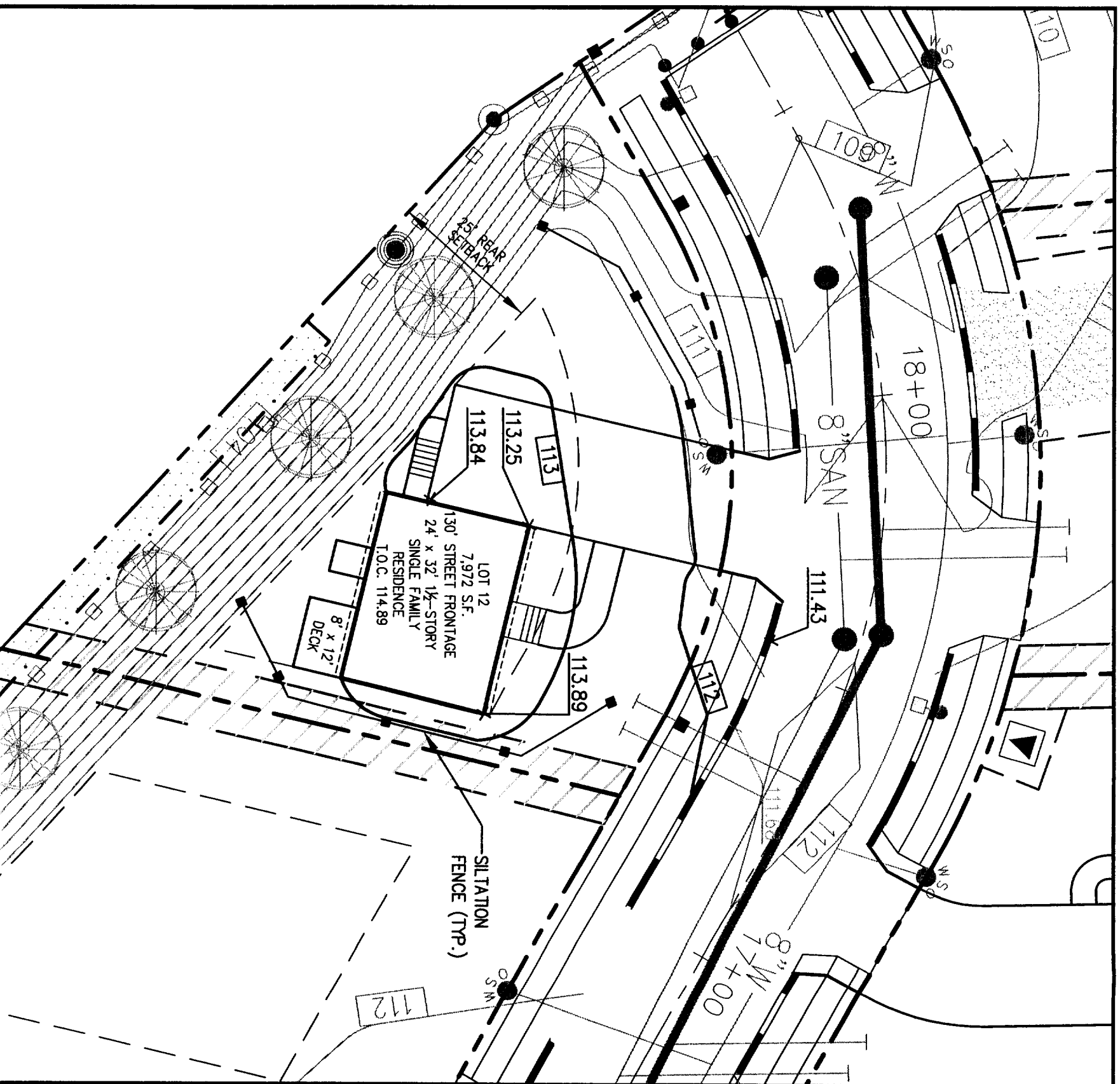
DH
Deluca-Hoffman Associates, Inc.
778 MAIN STREET, SUITE 8
SOUTH PORTLAND, ME 04106
207.775.1121
WWW.DELUCAHOFFMAN.COM

DRAWN:	CDD	DATE:	MAR. 2005
DESIGNED:	DDA	SCALE:	1" = 20'
CHECKED:	DDA	JOB NO.:	2459.02
FILE NAME:	245902-1.OTS		

RUBY LANE
PORTLAND, MAINE

LOT 12 LAYOUT & UTILITIES PLAN

FIGURE
12-A



ZONING REGULATIONS

- | | |
|------------------------------------|---|
| ZONE: | R-3 |
| MINIMUM LOT SIZE: | 6,500 S.F. |
| MINIMUM LOT WIDTH: | 75 FEET |
| MINIMUM STREET FRONTAGE: | 50 FEET |
| MINIMUM FRONT YARD SETBACK: | 25 FEET OR AT MIN. 75' LOT WIDTH |
| MINIMUM REAR YARD SETBACK: | 25 FEET |
| MINIMUM SIDE YARD SETBACK: | 16 FEET (FOR 2½ STORY DWELLING)
8 FEET (FOR 1½ STORY DWELLING) |



REVISED 04.21 06

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FILE NAME:	245902.LOTS		

**RUBY LANE
PORTLAND, MAINE**

**LOT 12 GRADING & EROSION
CONTROL PLAN**

FIGURE
12-B