

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

INSPECTION
PERMIT

Permit Number: 070448

PERMIT ISSUED

MAY - 2 2007

CITY OF PORTLAND

This is to certify that DONATELLI FAUSTINO / Property owner

has permission to 10' x 16' deck

AT 48 RUBY LN

342 B029001

provided that the person or persons who perform or supervise the construction of this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or closed-in. 4 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

5/3/07 *Cheryl A. [Signature]*
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0448	Issue Date:	CBL: 342 B029001
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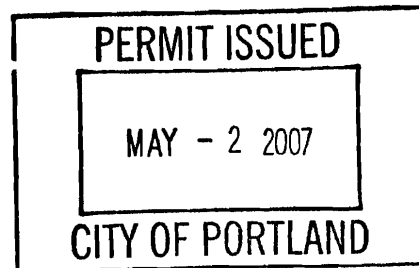
Location of Construction: 48 RUBY LN	Owner Name: DONATELLI FAUSTINO	Owner Address: 48 RUBY LN	Phone:
Business Name:	Contractor Name: property owner	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone:

Past Use: Single Family	Proposed Use: Single Family 10' x 16' deck	Permit Fee: \$40.00	Cost of Work: \$1,100.00	CEO District: 5
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Q-3 Type: SB IRC-2003	

Proposed Project Description: 10' x 16' deck	Signature:	Signature: 5/2/07 CE M
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: dmartin	Date Applied For: 04/27/2007	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <i>o.k.</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 5/3/07 <i>CE M</i>	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<p>Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input checked="" type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 5/2/07 <i>CE M</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0448	Date Applied For: 04/27/2007	CBL: 342 B029001
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Location of Construction: 48 RUBY LN	Owner Name: DONATELLI FAUSTINO	Owner Address: 48 RUBY LN	Phone:
Business Name:	Contractor Name: property owner	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family 10' x 16' deck	Proposed Project Description: 10' x 16' deck
--	--

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 05/03/2007**Note:** **Ok to Issue:**

- 1) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 05/03/2007**Note:** **Ok to Issue:**

- 1) As discussed during the review process, ballusters must be spaced with less than a 4" opening between each.
- 2) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 3) Fastener schedule per the IRC 2003

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0448	Date Applied For: 04/27/2007	CBL: 342 B029001
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General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>48 Ruby</u>		
Total Square Footage of Proposed Structure <u>100 sqft 10'X16'</u>		Square Footage of Lot <u>8,100 sqft</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>342 B 029</u>	Owner: _____	Telephone: _____
Lessee/Buyer's Name (If Applicable) _____	Applicant name, address & telephone: _____	Cost Of Work: \$ <u>1100.00</u> Fee: \$ <u>40.</u> C of O Fee: \$ _____
Current Specific use: <u>Single Family</u> If vacant, what was the previous use? _____ Proposed Specific use: _____		
Project description: <u>10' X 16' WOOD DECK</u>		
Contractor's name, address & telephone: _____		
Who should we contact when the permit is ready: <u>FAUSTINO Donatelli</u> Mailing address: _____ Phone: <u>207-756-3284</u>		

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

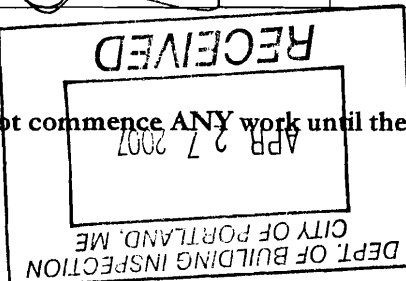
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

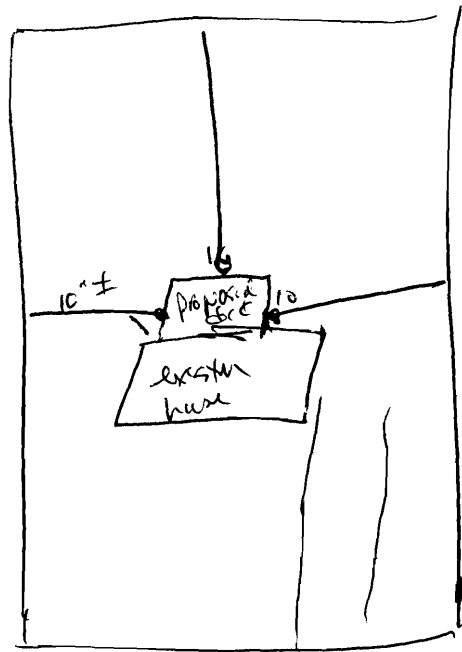
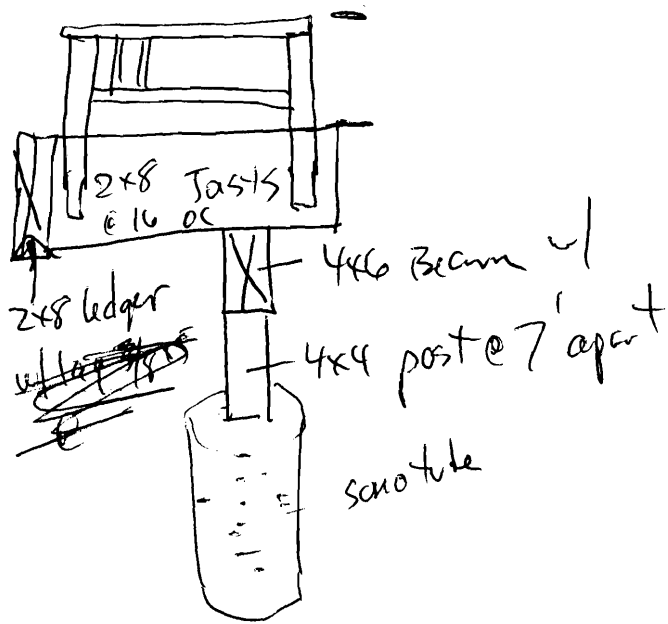
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Signature of applicant: [Signature]

Date: 4-27-07

This is not a permit; you may not commence ANY work until the permit is issued.





5 wks

Jacques

June 14th

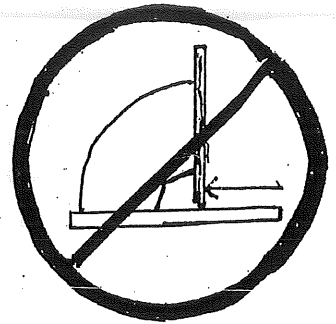
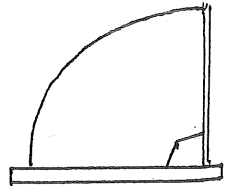
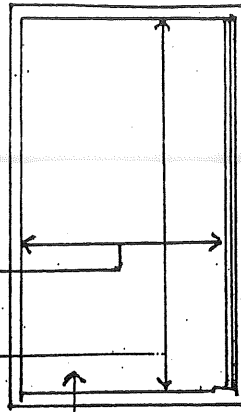
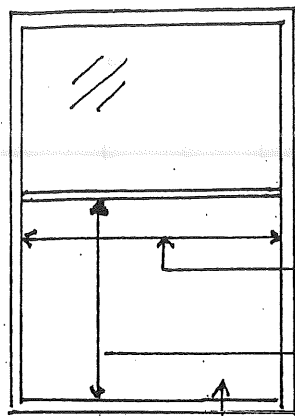
715-278-2179

Egress Windows

At least 1 egress window (or exterior door) is required to be provided in sleeping rooms, below the fourth story to be considered an egress window, all of the following ⁴ conditions must be met.

Double hung windows

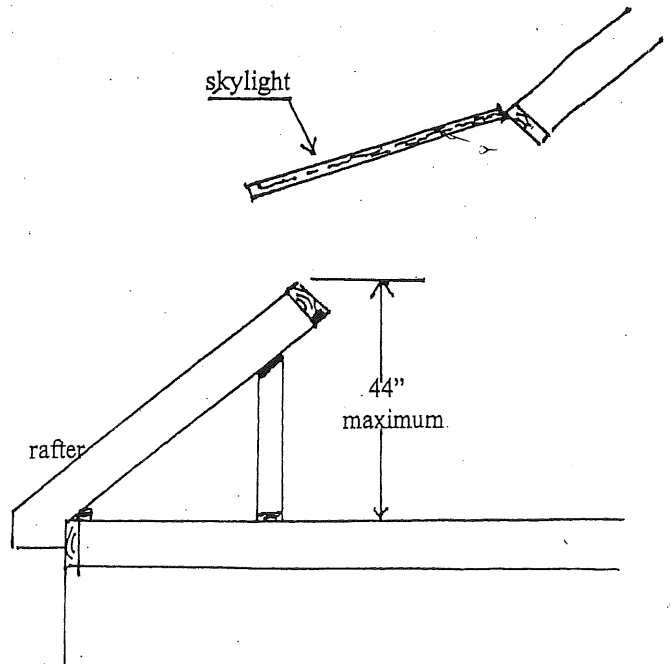
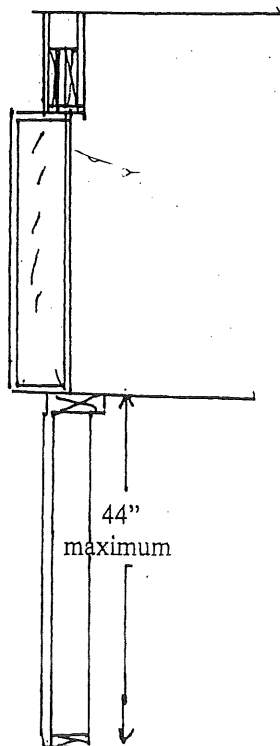
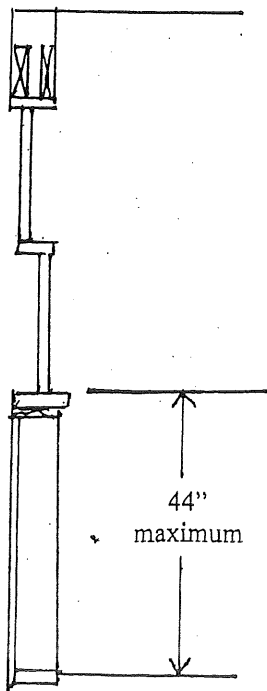
Casement Windows

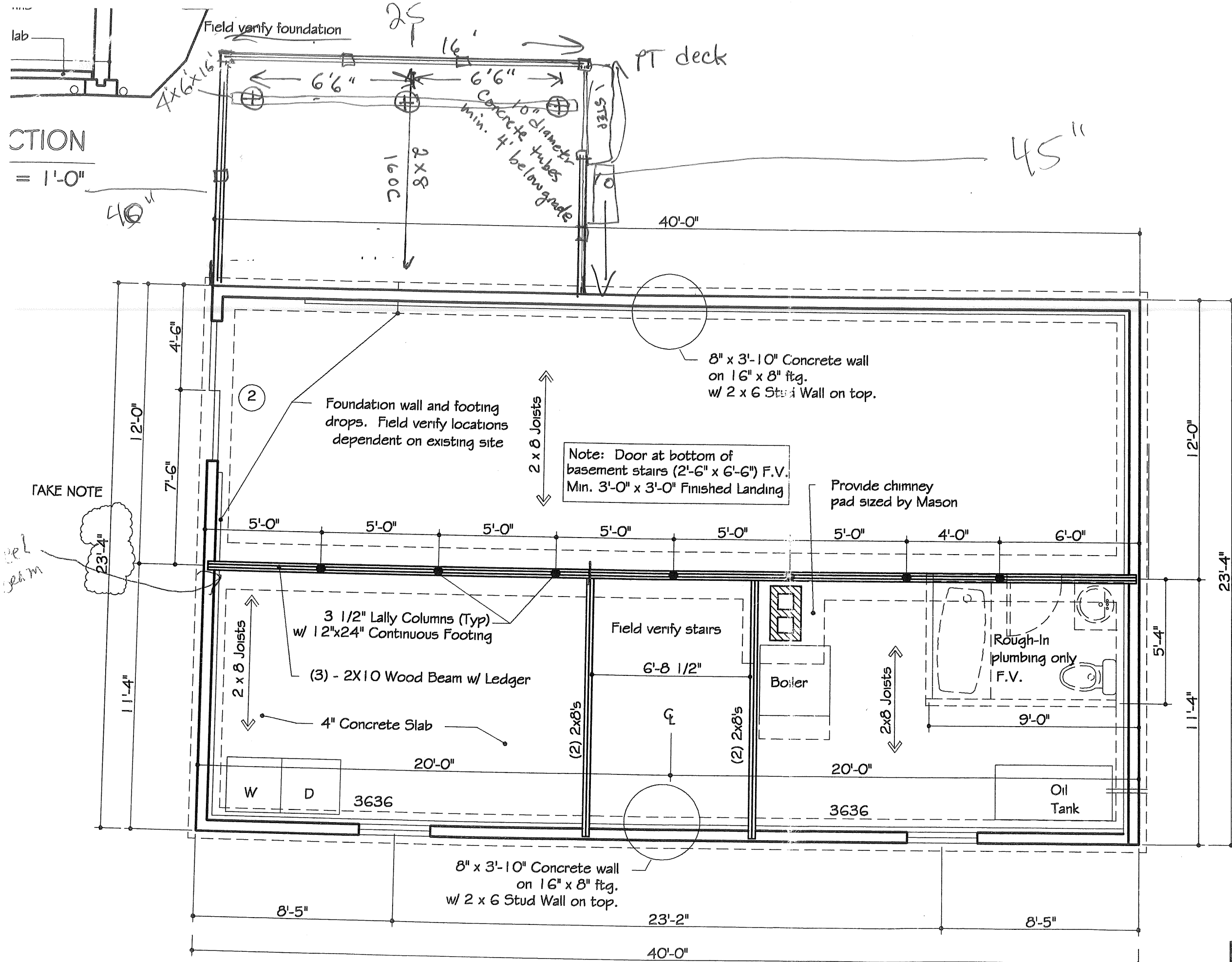


- 20"
- 1 minimum width
- 24"
- 2 minimum height
- 3 Total net clear opening must be a minimum of:
5.7 square feet or 821 square inches

Caution... . . . A window which may meet the minimum opening width & height requirements (of condition 1 & 2) does not qualify as an egress window unless it also meets the total square foot opening requirement. (condition #3)

⁴ Lowest point of the opening must not be more than 44 inches above the floor





FOUNDATION PLAN

Scale: 1/4" = 1'-0"

date drawn:	7/29/05
date issued:	7/29/05
drawn by:	JMG
scale:	NOTED

project number	2565
revisions:	

project	F. DONATELLI RESIDENCE
drawing title	Foundation Plan, Section, and Notes

13

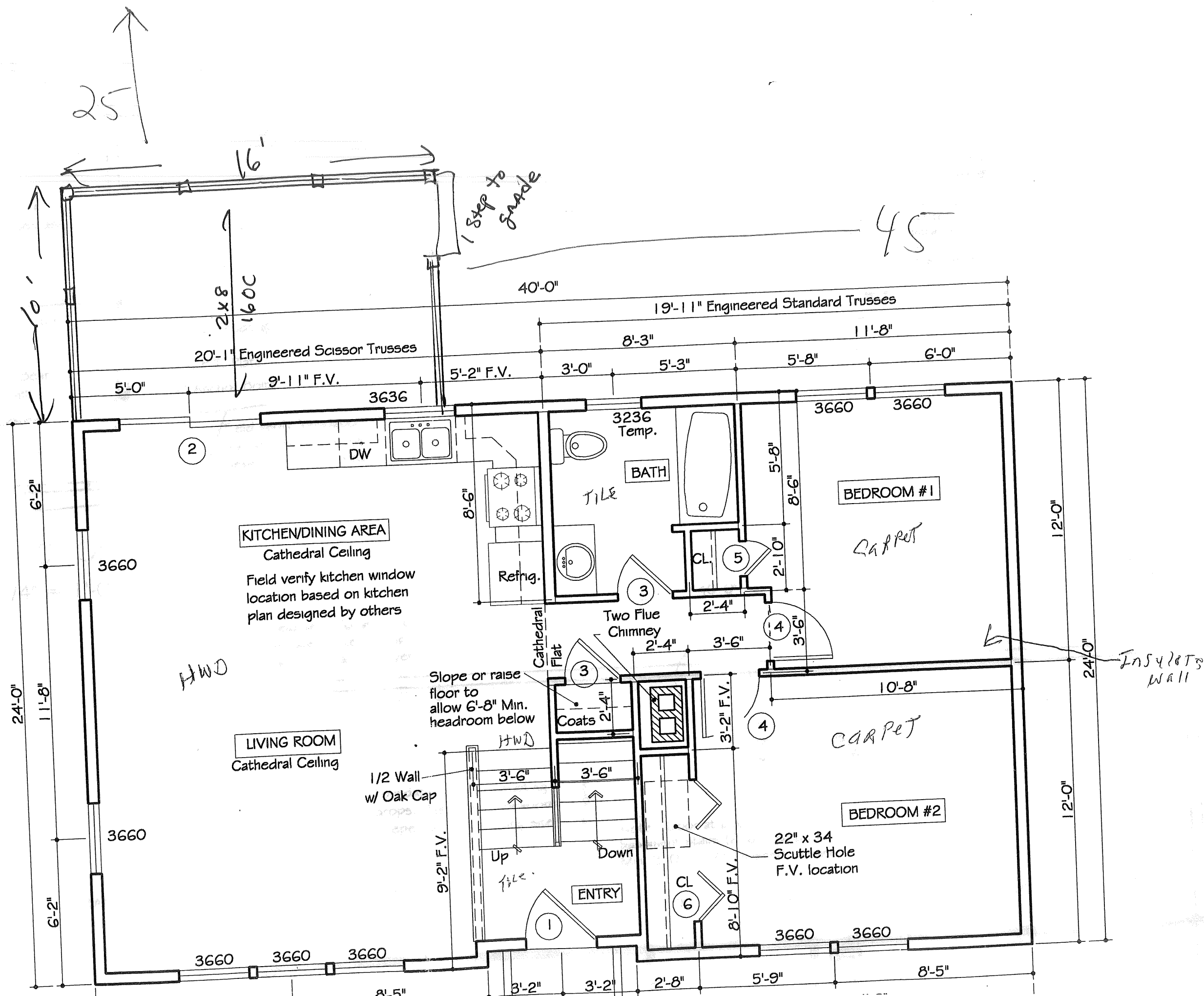
number

40

25

45

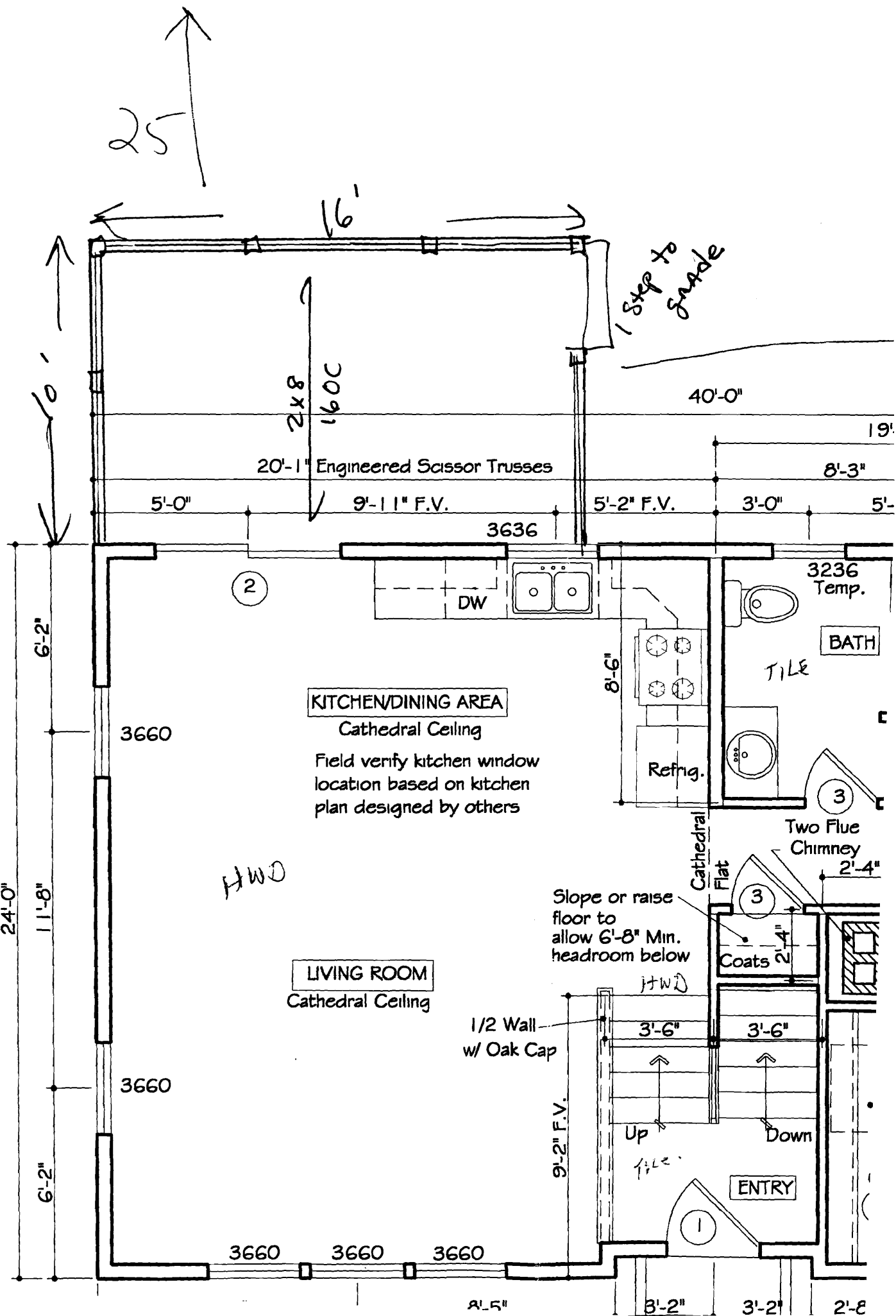
- OR SCHEDULE
- 3'-0" x 6'-8" Entry
 - 6'-0" x 6'-8" Slider Entry
 - 2'-4" x 6'-6" Interior
 - 2'-6" x 6'-6" Interior
 - 1'-6" x 6'-6" Interior
 - 6'-0" x 6'-6" Interior Bifold

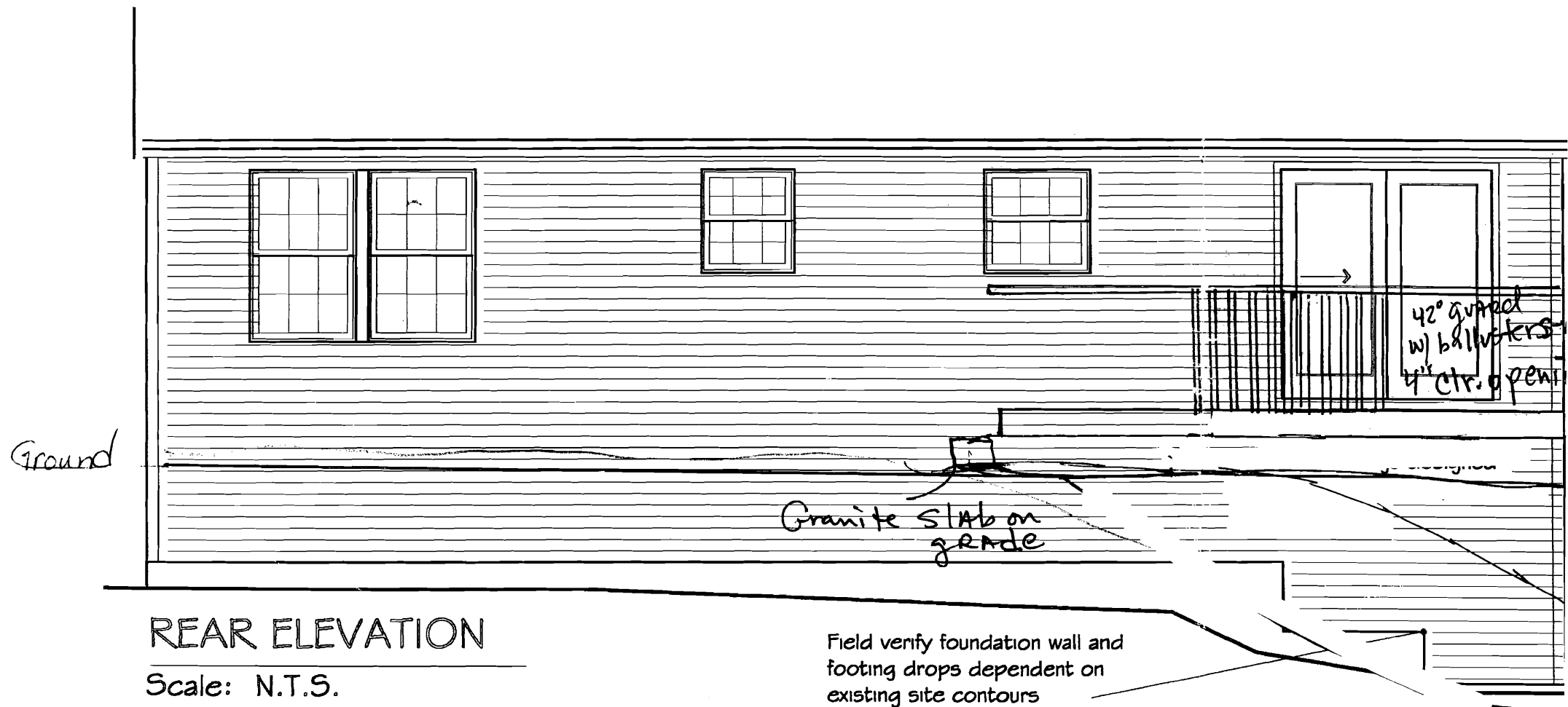


40

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DESIGNED THAT JMG DESIGNS, INC. IS NOT A REGISTERED ARCHITECT OR ENGINEER IN THE STATE OF MAINE. THIS DESIGN IS SUPPLIED STRICTLY AS A SERVICE TO MY CLIENT. NO WARRANTY IS GUARANTEED AS TO STRUCTURAL CAPABILITIES. CUSTOMERS MUST CONSULT AN ENGINEER OR ARCHITECT TO CONFIRM THE DESIGN'S CAPABILITIES AND BEFORE TAKING ANY FINAL ACTION REGARDING CONSTRUCTION. BEFORE BEGINNING CONSTRUCTION, IT IS THE ARCHITECT'S/CUSTOMERS RESPONSIBILITY TO MAKE SURE ALL CITY/COUNTY CODES ARE BEING MET.