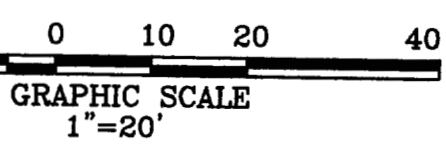
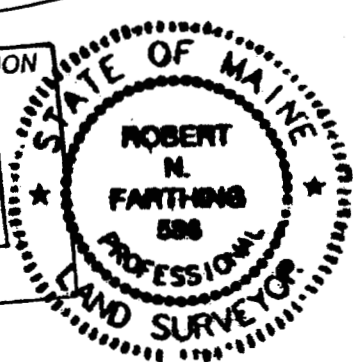


CBL
342-B-25
Lot # 17

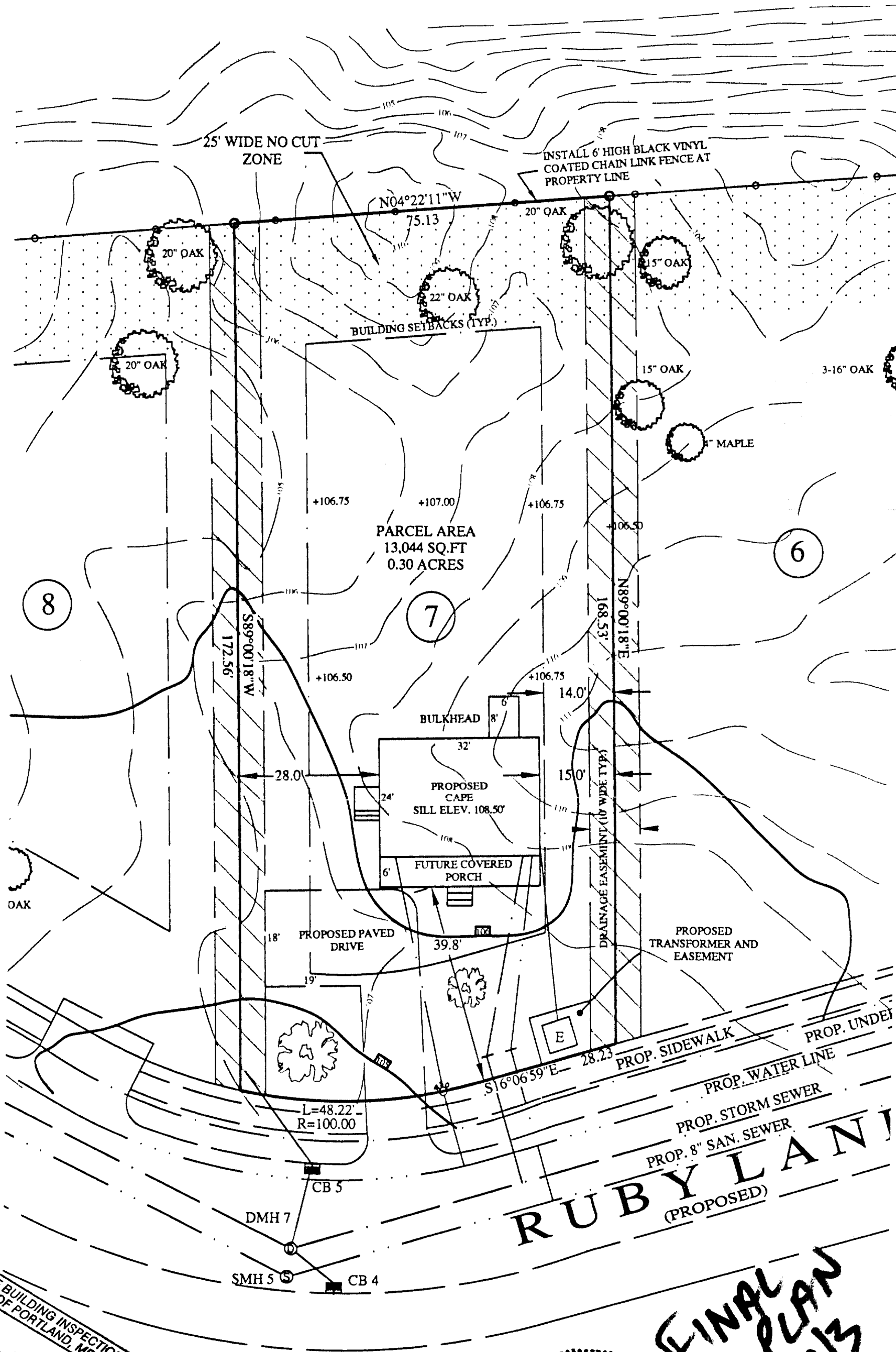
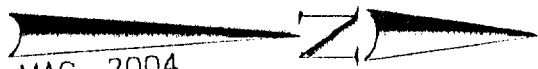


DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
OCT 12 2005
RECEIVED

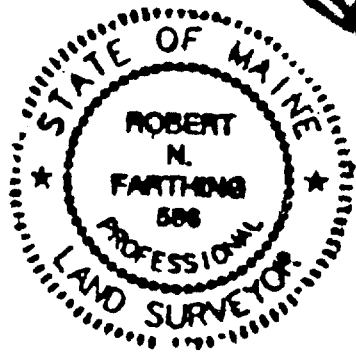
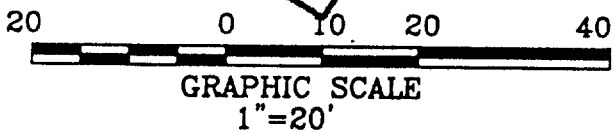


I CERTIFY THAT THIS SURVEY CONFORMS TO STANDARDS OF THE MAINE BOARD OF LICENSED PROFESSIONAL LAND SURVEYORS AND IS IN THE BEST OF MY KNOWLEDGE, BELIEF AND OPINION.

Robert N. Farthing
ROBERT N. FARTHING



DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 OCT - 7 2005
RECEIVED



FINAL PLAN 10/3

I CERTIFY THAT THE STANDARDS OF THE PROFESSIONAL LAND SURVEYOR HAVE BEEN OBSERVED TO THE BEST OF MY KNOWLEDGE AND OPINION.

[Signature]
 ROBERT N. FARTHING

ND SET
 IERLY
 PAGE
 EV.

Custom Built Homes of Maine
3100079 Ted
LOT 7
Ruby Ln.
Portland



FRONT ELEVATION

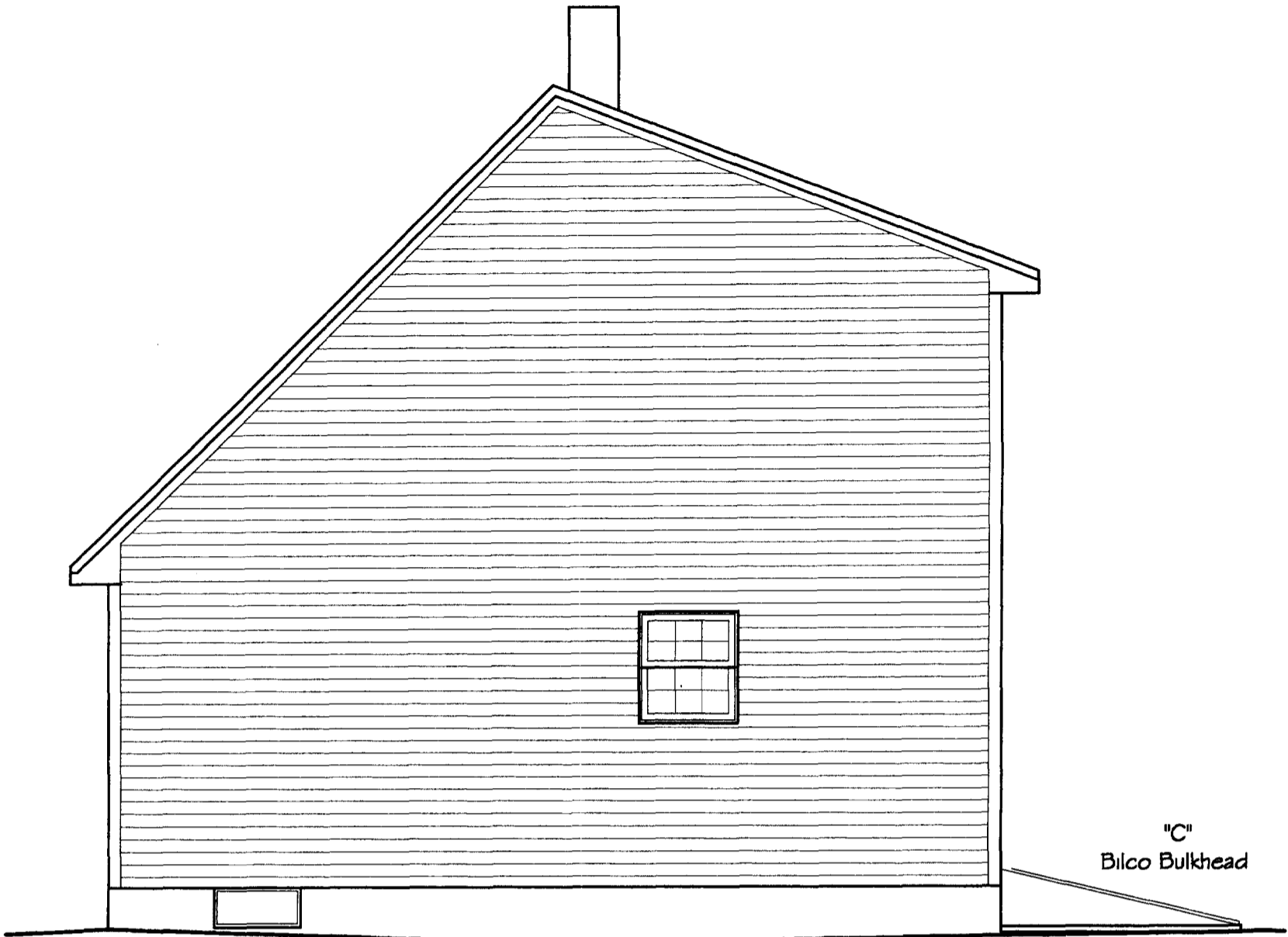
Scale: N.T.S.

Field verify access
to ground level



REAR ELEVATION

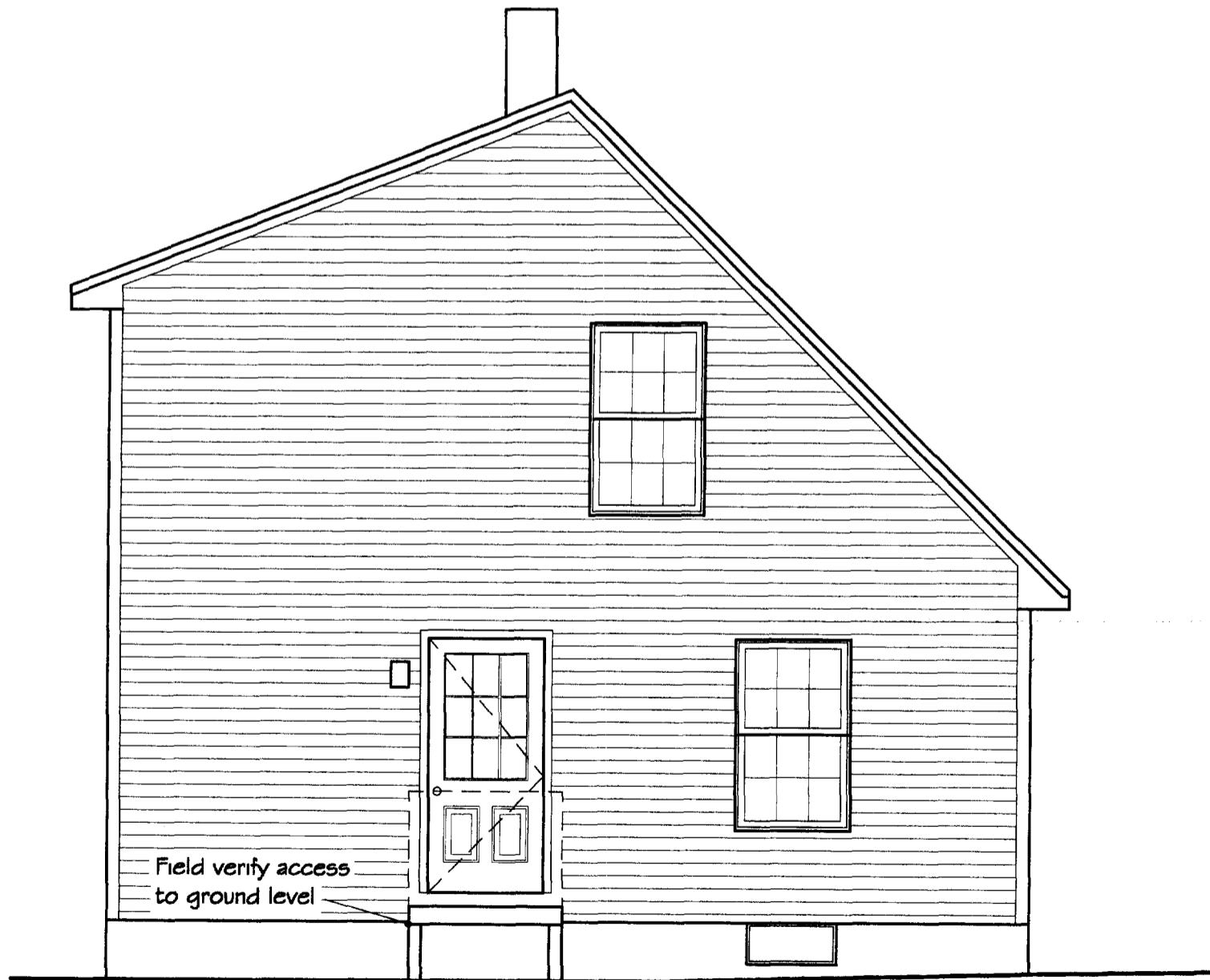
Scale: NTS



RIGHT ELEVATION

Scale: N.T.S.

Field verify locations of foundation wall and footing drops dependent on existing site contours.



LEFT ELEVATION

Scale: N.T.S.

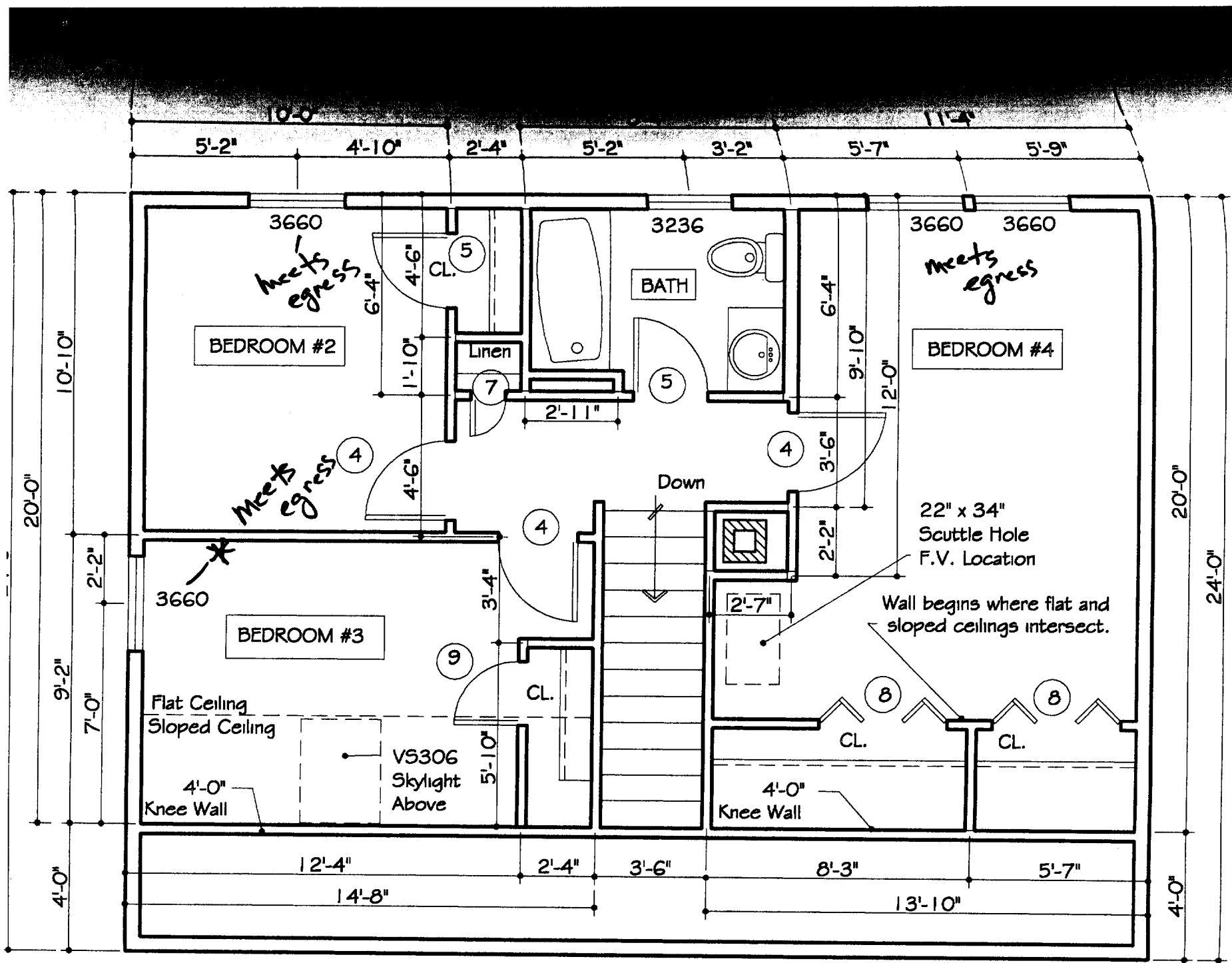
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date drawn: 7/29/05
date issued: 7/29/05

project number 2566
revisions:

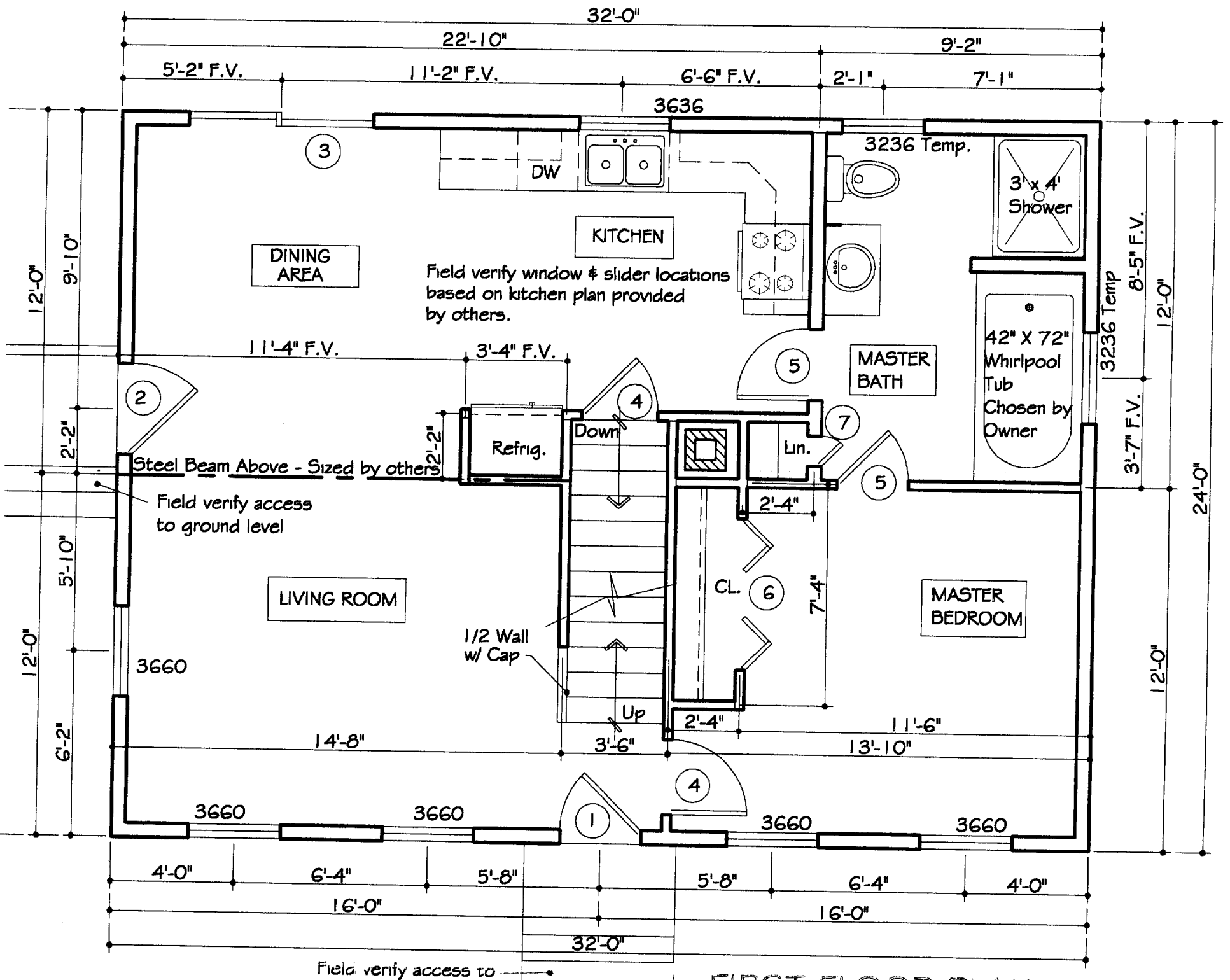
project P + C DONATELLI RESIDENCE

A1

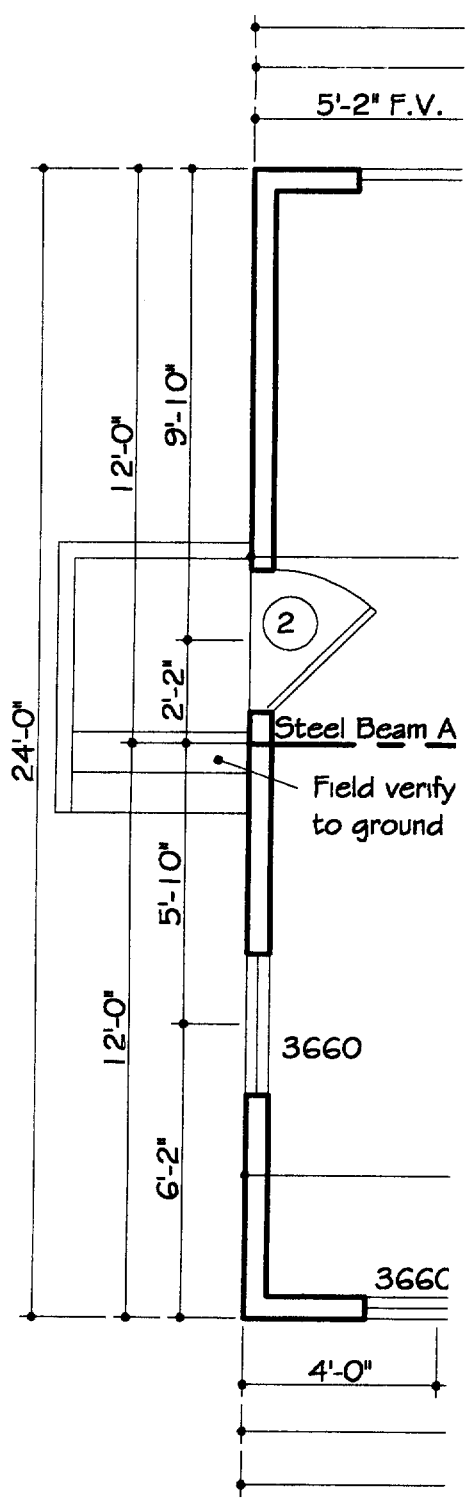
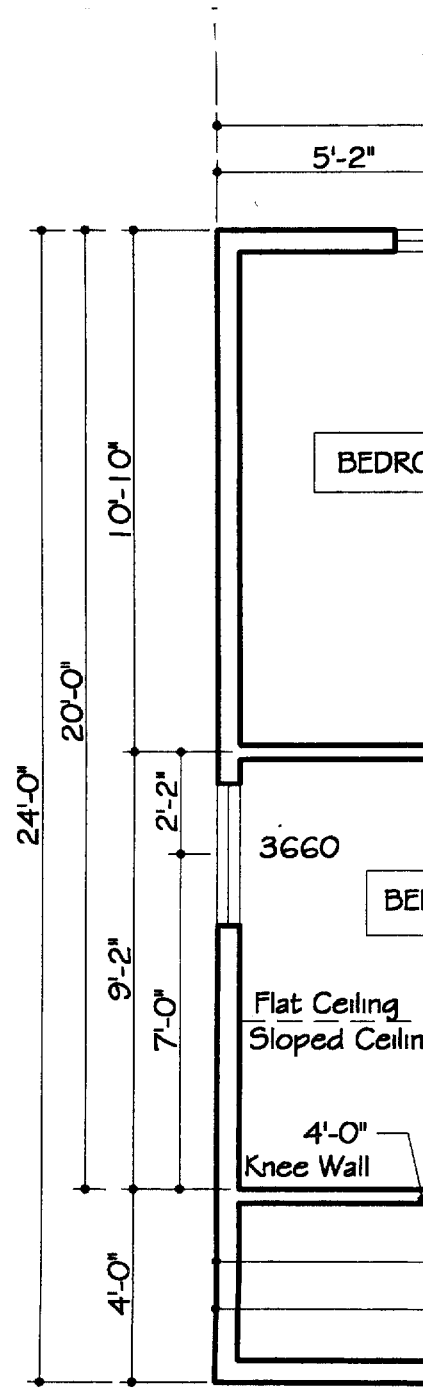


SECOND FLOOR PLAN

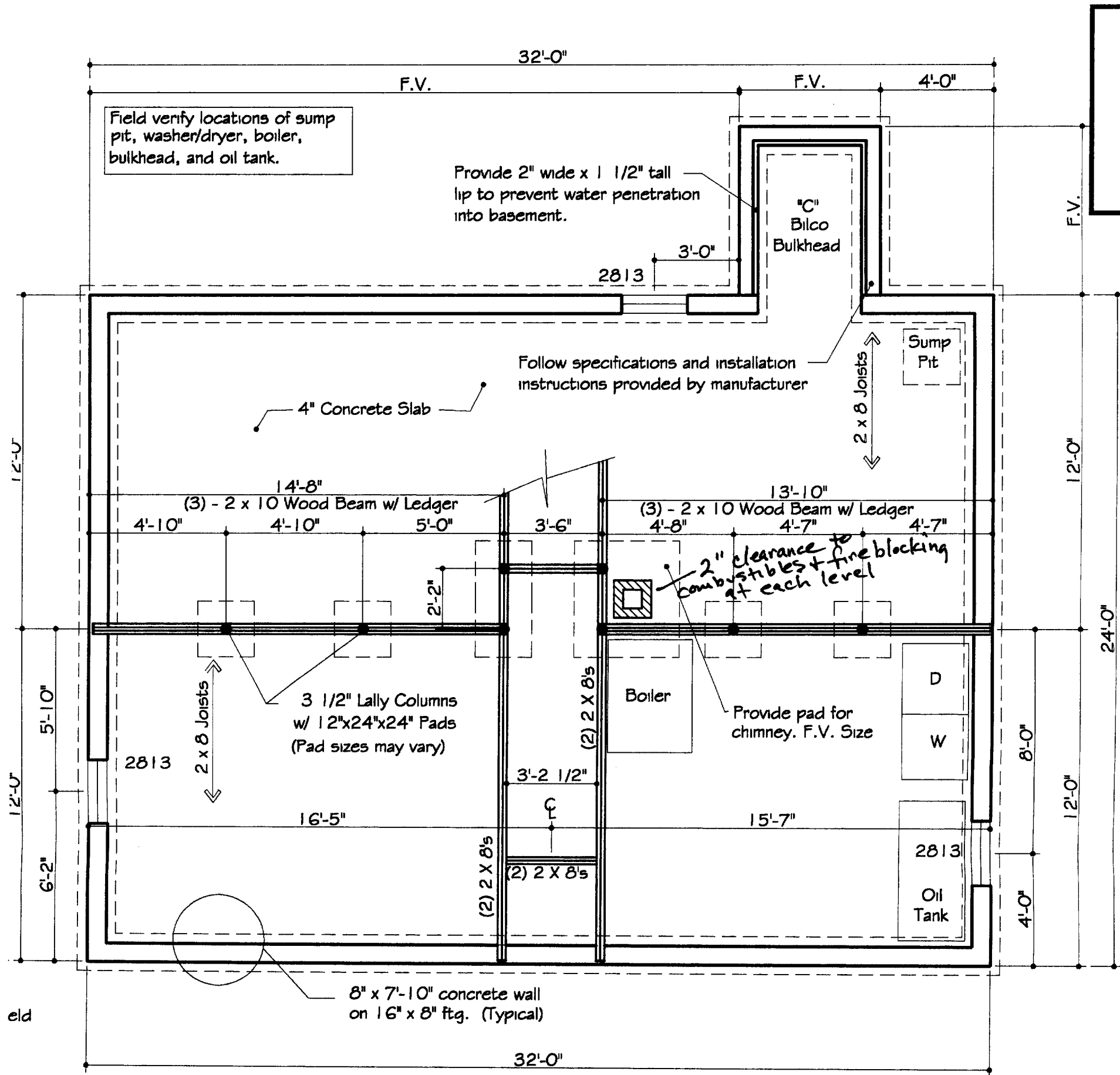
Scale: 1/4" = 1'-0"



DOOR SCHEDULE	
1.	2'-8" x 6'-8" Entry
2.	3'-0" x 6'-8" Entry
3.	6'-0" x 6'-8" Slider Entry
4.	2'-6" x 6'-6" Interior
5.	2'-4" x 6'-6" Interior
6.	5'-0" x 6'-6" Interior Bifold
7.	1'-0" x 6'-6" Interior
8.	4'-0" x 6'-6" Interior Bifold
9.	2'-0" x 6'-6" Interior



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FOUNDATION PLAN
 Scale: 1/4" = 1'-0"

date drawn: 7/29/05
 date issued: 7/29/05

project number 2566
 revisions:

project P + C DONATELLI RESIDENCE

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A3

FRAME SPECIFICATIONS

FLOOR SYSTEM:

Joists as indicated
 Bridging at center
 2 x 6 pt sill w/ sealer
 Subfloor as indicated
 Finish floor as per specs

EXTERIOR WALL:

2 X 6 studs as indicated
 Sheathing as indicated
 Air infiltration wrap
 Vapor barrier
 Siding/finish as indicated

INTERIOR WALLS:

2 x 4 studs as indicated

ROOF SYSTEM:

Rafters/trusses as indicated

Trusses (ea) fastened with Simpson H1 hurricane anchor, all holes filled per Simpson Strong Tie.

Sheathing as indicated
 1/2" underlayment
 Ice shield up to 6" min.
 shingles as indicated

INSULATION:

Exterior walls - R19
 Attic cap - R38
 Sills - R19

VENTILATION:

Soffits - 2" cont. strip
 Ridges - cont. ridge vent
 Vents/louvers as indicated
 Proper vents between
 rafters/trusses

HEADERS:

3 - 2 x 6 w/ plywood - 40' max. span
 3 - 2 x 8 w/ plywood - 72' max. span
 Beams as indicated
 Min. 6" brg. all beams

INTERIOR FINISH:

1/2" gyp. bd. on walls/ceilings
 Paint/stain as per specs

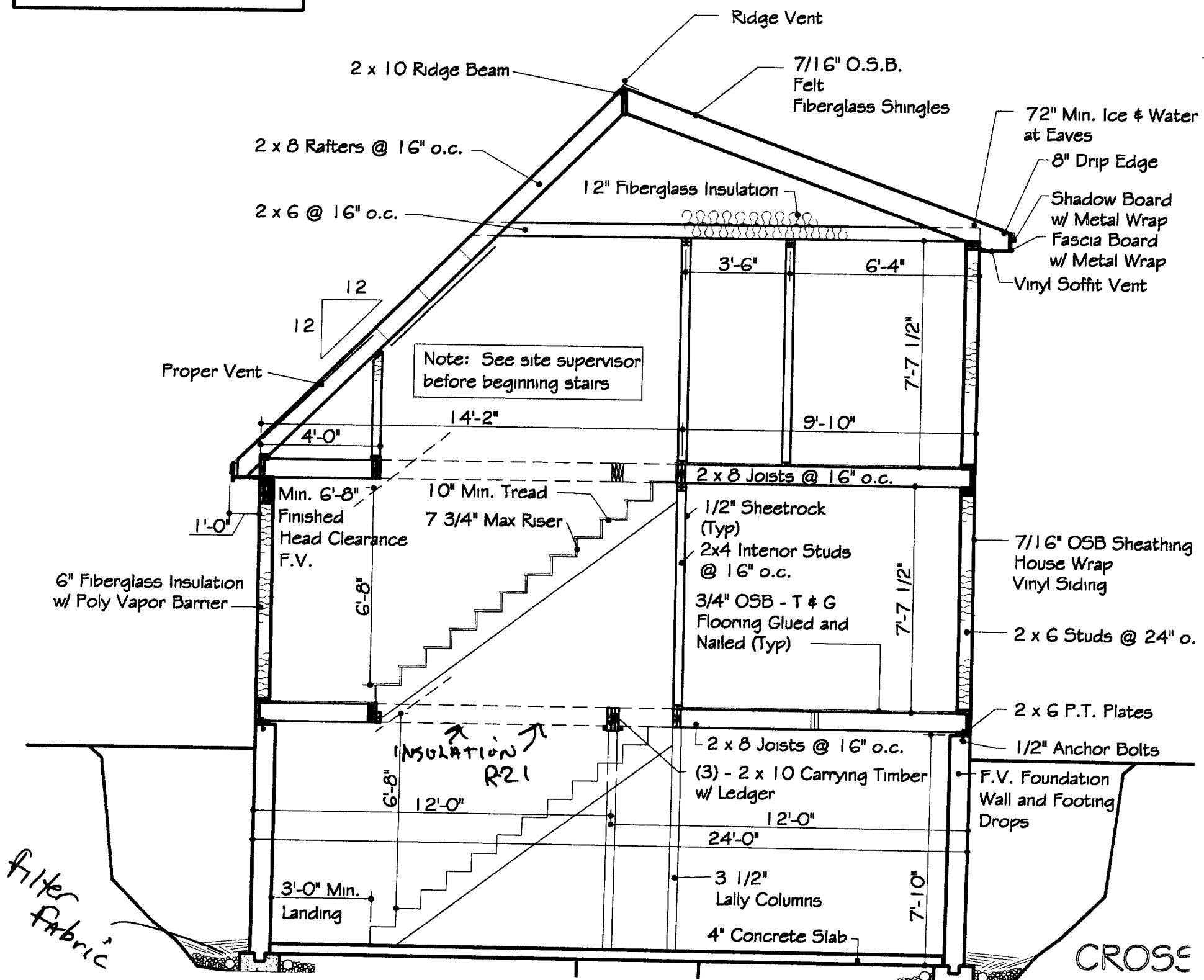
FOUNDATION SPECIFICATIONS

1. Concrete walls as indicated w/ keyway.
2. Anchors 6' o.c. & 1' from each corner.
3. Concrete @ 2500 psi footing.
3000 psi walls/slab
4. Soil bearing @ 2500 psf. All footings to frost depth.
5. 3 1/2" steel & concrete lally columns on 24" x 24" x 12" pad.
6. 4" concrete slab on 6 mil vapor barrier on 8" min. crushed stone.
7. 4" dia. perforated underdrain pipes, both sides of wall to sump pit or daylight by gravity flow
8. 4" dia. perforated radon pipes under slab @ 20' max.. Connect to underdrain. Provide two (2) stubs for future ventilation.
9. Control joints as indicated.
10. Asphalt paint exterior walls below grade.
11. 8" x 16" Footing, 2500 psi

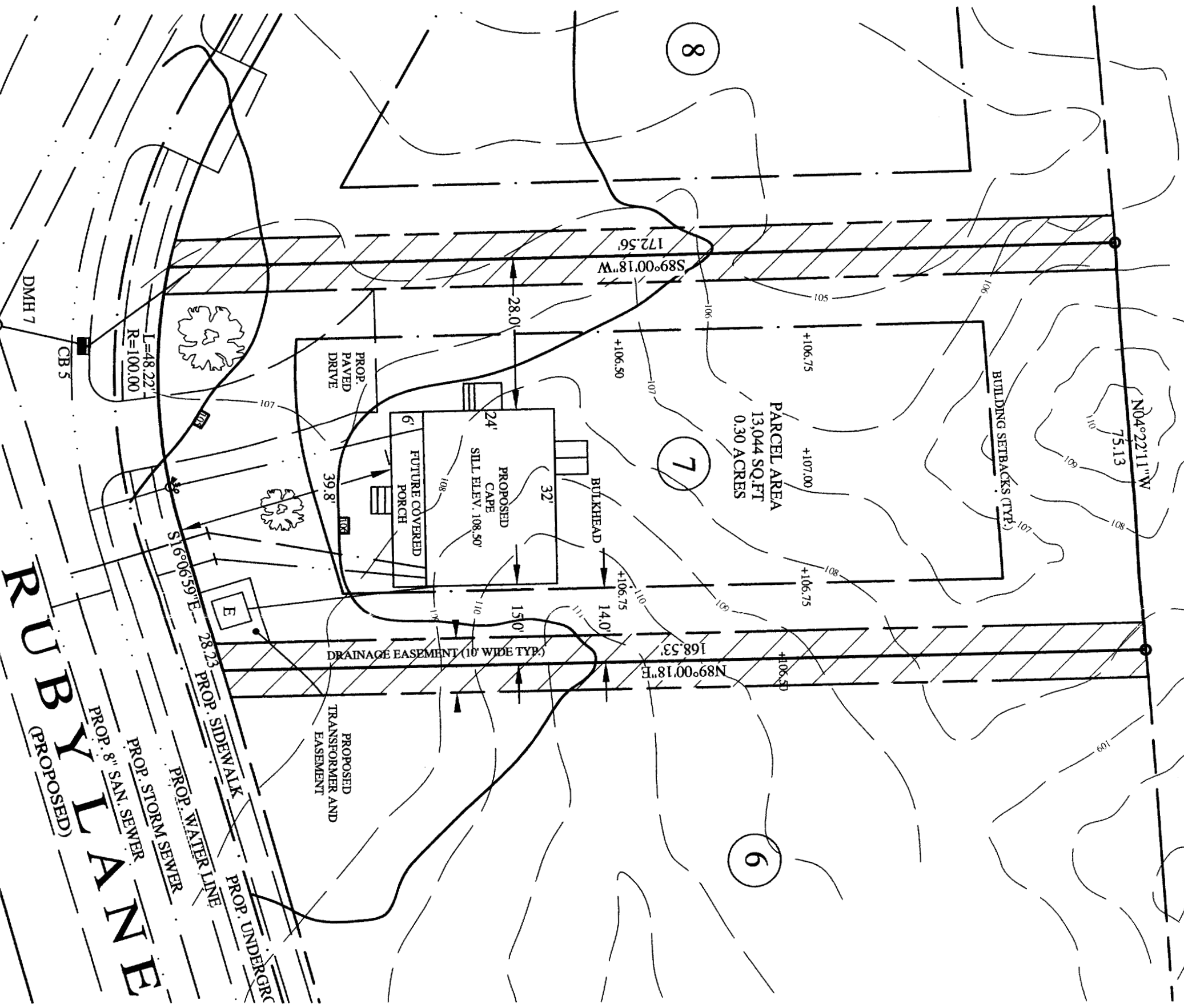
*12. Will meet IRC 2003 fastener schedule.

13. Will meet 2003^{Int.} energy code.

14. Smoke detectors per international residential code - (B/R's, hallways, + 1 @ each level)



CROSS



RUBY LANE
 (PROPOSED)

PROP. 8" SAN. SEWER
 PROP. STORM SEWER
 PROP. WATERLINE
 PROP. UNDERGROUND

WAKRE

LI

NOTES:

(1) PROPOSED SITE SUBDIVISION" APPF 21, 2004, RECORDED IN PLAN BOOK 20

(2) LAND USE: D THE CODE OF ORDINANCES SUPPLEMENT 5, D,

ZONING MINIMUM

(3) REVISIONS:
 A. ADDED EX 09/20/05 M

OAK

FOR:

C1
 HO1