

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING DEPARTMENT

PERMIT

Permit Number: 051263

This is to certify that OAK RIDGE DEVELOPMENT INC / Build Homes Main

has permission to Build a 24' x 32' Full dormer Cape

AT 72 RUBY LN

Lot #7

342 3025001

PERMIT ISSUED

OCT 17 2005

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the CITY OF PORTLAND regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or closed-in. **HEAR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Janice Burke 10/13/05
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1263	Issue Date: OCT 17 2005	CBL: 342 B025001
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Location of Construction: 72 RUBY LN <i>lot #17</i>	Owner Name: OAK RIDGE DEVELOPMENT IN	Owner Address: PO BOX 10127	Phone:
Business Name:	Contractor Name: Custom Built Homes of Maine	Contractor Address: 32 Main Street Windham	Phone: 2078923149
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: <i>R-3</i>

Past Use: Vacant Land	Proposed Use: Single Family Home/ Build a 24' x 32' Full dormered Cape	Permit Fee: \$1,266.00	Cost of Work: \$130,000.00	CEO District: 5
Proposed Project Description: Build a 24' x 32' Full dormered Cape		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R3</i> Type: <i>SB</i> <i>FRC-2003</i> Signature: <i>AMB 11/13/05</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: Idobson	Date Applied For: 08/31/2005	Zoning Approval	
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 7 zone X</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i># 2005-0205</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>ok with conditions</i> Date: <i>9/23/05</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

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Business Name:	Contractor Name: Custom Built Homes of Maine	Contractor Address: 32 Main Street Windham	Phone (207) 892-3149
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family Home/ Build a 24' x 32' Full dormered Cape	Proposed Project Description: Build a 24' x 32' Full dormered Cape	<div style="border: 1px solid black; padding: 5px; text-align: center;"> PERMIT ISSUED OCT 17 2005 </div>
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 09/29/2005

Note: 9/23/05 talked to Ted - needs to show two parking spaces beyond the front setback of 25' - he may come in to do so. **Ok to Issue:**

He did come in and show two parking spaces on the site plan

- 1) THERE IS A TWENTY-FIVE (25) FOOT NO CUT ZONE AT THE REAR OF THIS PROPERTY. The future owner shall be notified of this area.
- 2) This permit is being approved on the basis of plans submitted showing the two off street parking spaces outside of the required front yard setback. Any deviations shall require a separate approval before starting that work.
- 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) Separate permits shall be required for future decks, sheds, pools, and/or garages. No rear decks are being shown and no rear decks are being approved with this permit.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 10/13/2005

Note: 09/28/05 left vm w/Ted @ CBH for details as noted on review checklist. **Ok to Issue:**

9/29 Ted called, he will bring revisions in, checked for DRC approval, not in system.

10/6 Ted came in to make notes on plans & w/U-factor of windows. He will fax the exterior stair details.

The fax machine was not copying so Ted will bring in the detail on 10/14, see Tammy

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 2) The design load spec sheets for any engineered beam(s) must be submitted to this office.
- 3) A copy of the enclosed chimney disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.

Dept: DRC **Status:** Approved with Conditions **Reviewer:** Jay Reynolds **Approval Date:** 10/12/2005

Note: **Ok to Issue:**

- 1) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 2) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 3) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 4) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 5) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.

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Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Dept: Planning

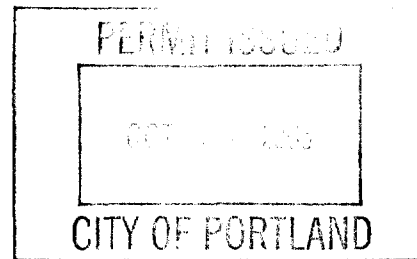
Status: Not Applicable

Reviewer: Jay Reynolds

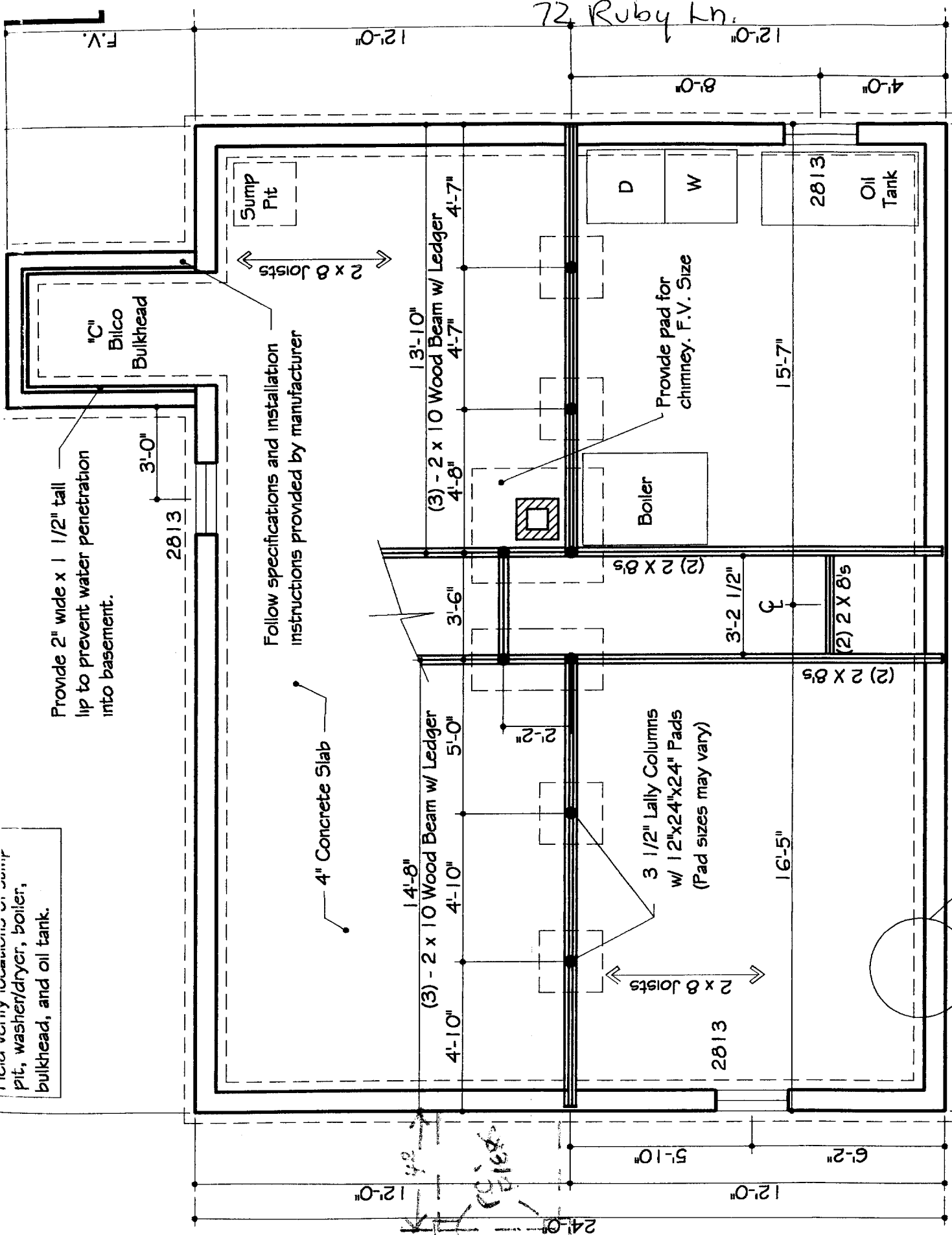
Approval Date: 10/12/2005

Note:

Ok to Issue:



72, Ruby Ln.



Provide 2" wide x 1 1/2" tall lip to prevent water penetration into basement.

Verify location of sump pit, washer/dryer, boiler, bulkhead, and oil tank.

Follow specifications and installation instructions provided by manufacturer

4" Concrete Slab

(3) - 2 x 10 Wood Beam w/ Ledger

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3 1/2" Lally Columns w/ 12"x24"x24" Pads (Pad sizes may vary)

Provide pad for chimney. F.V. Size

8" x 7'-10" concrete wall on 16" x 8" ftg. (Typical)

Ice & Water Shield

F.V.

12'-0"

12'-0"

8'-0"

4'-0"

Sump Pit

D

W

2813

Oil Tank

13'-10"

4'-7"

Boiler

15'-7"

3'-0"

2813

3'-6"

(2) 2 x 8's

3'-2 1/2"

9

(2) 2 X 8's

(2) 2 X 8's

14'-8"

5'-0"

2'-2"

4'-10"

4'-10"

2 x 8 Joists

2813

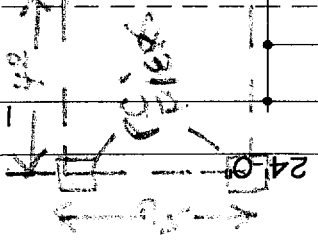
16'-5"

12'-0"

12'-0"

5'-10"

6'-2"

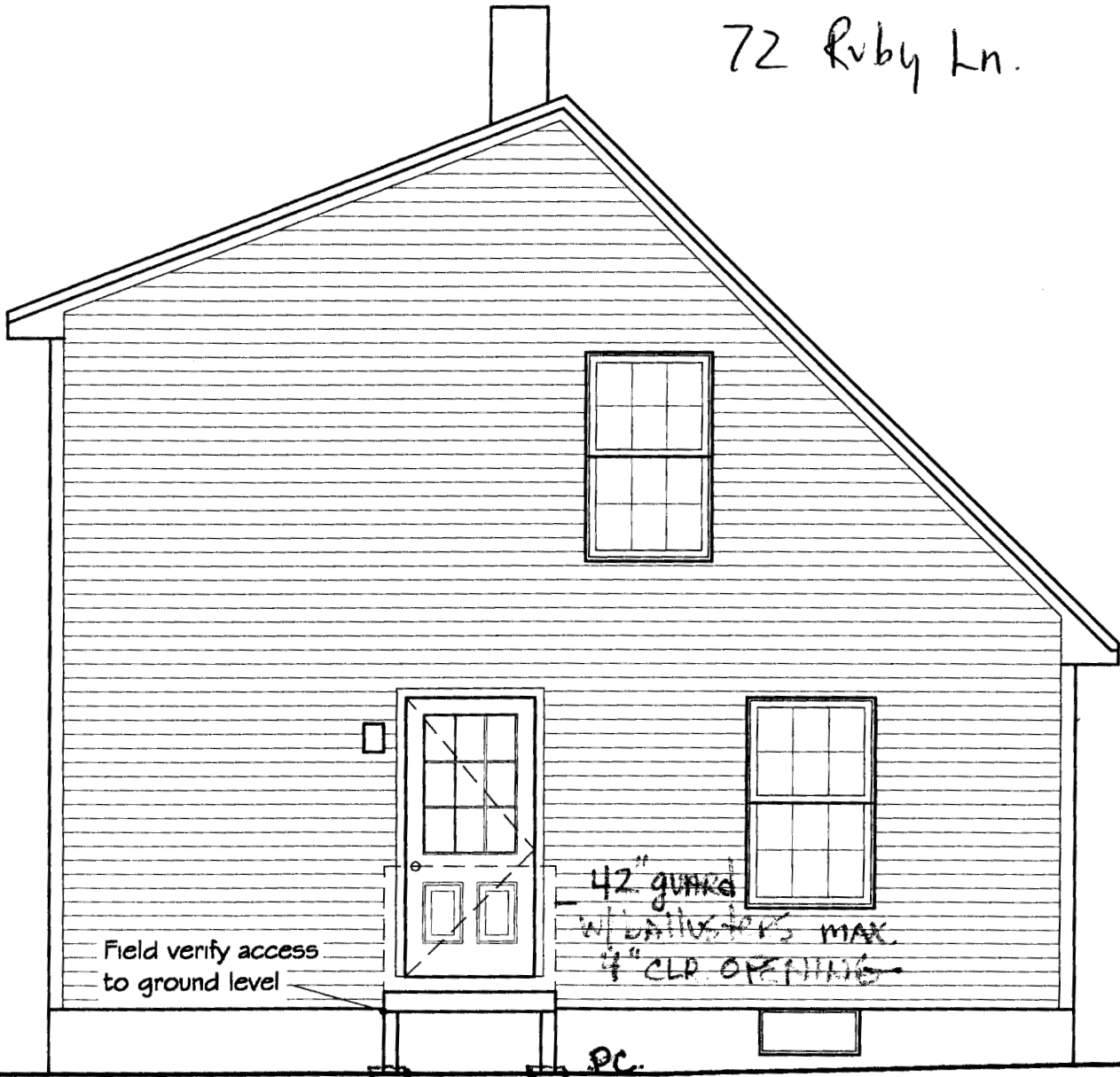


RIGHT ELEVATION

Scale: N.T.S.

Field verify locations of foundation wall and footing drops dependent on existing site contours.

72 Ruby Ln.



Field verify access to ground level

42" gunk
W/ LATHING MAX.
4" CLR OPENING

P.C.
PIER

LEFT ELEVATION

Scale: N.T.S.

PLEASE BE ADVISED THAT JMG DESIGNS, INC. IS NOT CERTIFIED AS A STATE OF MAINE ARCHITECT OR ENGINEER. THIS WORK IS SUPPLIED STRICTLY AS A SERVICE TO MY CUSTOMERS AND IS NOT GUARANTEED AS TO STRUCTURAL SOUNDNESS. CUSTOMERS MUST CONSULT AN ENGINEER ARCHITECT TO CONFIRM THE DESIGN'S CAPABILITIES AND SUITABILITY'S BEFORE TAKING ANY FINAL ACTION REGARDING CONSTRUCTION. BEFORE BEGINNING CONSTRUCTION THE CONTRACTORS/CUSTOMERS RESPONSIBILITY TO MAKE SURE ALL TOWN/CITY CODES ARE BEING MET.

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