

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

Please Read Application And Notes, If Any, Attached

PERMIT ISSUED
Permit Number: 080309
JUL 2 8 2008
CITY OF PORTLAND

This is to certify that WOODWARD LORALYN David Morash
has permission to Convert single Family Home to 2 unit residential tenant fit
AT 124 ALLEN AVE City of Portland 342 3016001

provided that the person or persons firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Verification of inspection must be given and when permission proceeds before this building or part thereof is occupied or services closed-in. YOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Carrie Bente
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0309	Issue Date:	CBL: 342 B016001
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Location of Construction: 124 ALLEN AVE	Owner Name: WOODWARD LORALYN M	Owner Address: 124 ALLEN AVE	Phone:
Business Name:	Contractor Name: David Morash	Contractor Address: 124 Allen Ave Portland	Phone 8023457436
Lessee/Buyer's Name	Phone:	Permit Type: Change of Ownership - Dwellings	Zone: R-5, R-3

Past Use: Single Family Home	Proposed Use: 2 unit residential - Convert single Family Home to 2 unit residential- w/ tenant fit-up	Permit Fee: \$60.00	Cost of Work: \$4,000.00	CEO District: 5
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Proposed Project Description:
Convert single Family Home to 2 unit residential- w/ tenant fit-up

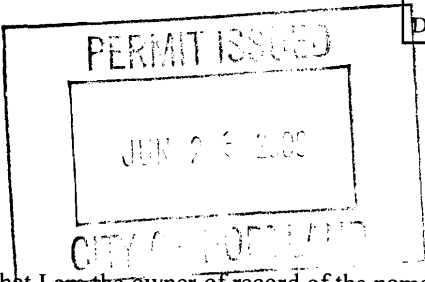
FIRE DEPT: Approved Denied

INSPECTION:
Use Group: R3 Type: SB
IRG-2003
Signature: *AMB 6/16/08*

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
Action: Approved Approved w/Conditions Denied
Signature: _____ Date: _____

Permit Taken By: Idobson	Date Applied For: 04/04/2008	Zoning Approval	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan <i>Exemption</i></p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p><i>OK w/ cond. hand</i></p> <p>Date: <i>4/14/08</i> <i>ABM</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p><i>ABM</i></p> <p>Date: _____</p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers
- Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.
NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

6/23/08
Date



Signature of Inspections Official

6/16/08
Date

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0309	Date Applied For: 04/04/2008	CBL: 342 B016001
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Location of Construction: 124 ALLEN AVE	Owner Name: WOODWARD LORALYN M	Owner Address: 124 ALLEN AVE	Phone:
Business Name:	Contractor Name: David Morash	Contractor Address: 124 Allen Ave Portland	Phone (802) 345-7436
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Dwellings	

Proposed Use: 2 unit residential - Convert single Family Home to 2 unit residential- w/ tenant fit-up	Proposed Project Description: Convert single Family Home to 2 unit residential- w/ tenant fit-up
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 04/14/2008**Note:** **Ok to Issue:**

- 1) This permit is being issued with the understanding that the 5' by 15' foot deck is being removed because it does not meet the rear setback and it was never permitted.
- 2) This permit is being issued with the condition that the 10' by 15' deck just off the rear of the building is built to code and meets the rear setback of 20' and the side setback of 8'.
- 3) This permit is being issued with the condition that the shed is smaller than 100 square feet and that it is located at least 5 feet from the property line.
- 4) With the issuance of this permit and the certificate of occupancy, this property shall be a two family dwelling. Any change of use shall require a separate permit application for review and approval.
- 5) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 06/16/2008**Note:** 5/30/08 Took review due to staff scheduling conflicts **Ok to Issue:**

- 1) As discussed during the review process, ballusters must be spaced with less than a 4" opening between each.
- 2) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 3) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 4) Application approval based upon information provided by applicant, and all additional information provided via email and addendum drawings. Any deviation from approved plans requires separate review and approval prior to work.

Comments:

5/7/2008-tm: called Dave Morash again and told him I needed the assembly rating between floors 1+2 and stair detail and foundation detail for mudroom.

4/11/2008-amachado: Spoke to Loralyn Woodward. Need dimensions of shed and deck. She said that the pool was being removed when the ground thaws and the smaller deck is already gone.

4/11/2008-amachado: Gave siteplan exemption to Planning.

4/14/2008-amachado: Received email form Loralyn with the shed & deck dimensions and the fact that she is removing the smaller deck and the pool when the ground thaws.

5/2/2008-tm: called contractor David Morash and left a message that I need questions answered about permit before I can issue.

Location of Construction: 124 ALLEN AVE	Owner Name: WOODWARD LORALYN M	Owner Address: 124 ALLEN AVE	Phone:
Business Name:	Contractor Name: David Morash	Contractor Address: 124 Allen Ave Portland	Phone (802) 345-7436
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Dwellings	

5/5/2008-tm: received phone message for David Morash and called him back and left another message that outlined needed info(Fire rating-stairs rise and run- foundation details for mudroom-Cost????)

4/22/2008-amachado: Received approved siteplan exemption from planning.

5/30/2008-jmb: Spoke with David about needed details and sent email to him. He will revise plans and submit

I've gotten up to speed on the plans and see some things need to be addressed:

The stair does not show a landing at the bottom....is the door swinging in or out?

Need detail on the steps to the mudroom including guardrail/handrail design. (Note: handrail ht. is 34-38", but the guard for fall protection required to be 36"

Dimensions of the supporting girder for the mudroom

Clarify fire/sound separations between the apartments and in the common areas. This needs to be a UL rated assembly, including the front hall.

Call out smoke detectors installed per code

Also, the cost of work seems very low, this fit up needs to include cost of materials and time for the whole project.

6/6/2008-jmb: David dropped off plans and left, he emailed that he would be out of town and would touch base next week.

6/11/2008-jmb: David emailed asking if the separation layer could be applied from the top side....I asked for a detail section. The 3/8" additional sheetrock does not meet the requirement for separation of units. Will need 5/8 type x. Also, I informed the guardrail openings need to be < 4".

6/16/2008-jmb: Received photos and explanation of fire rating from above except in the kitchen which will be from below.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>124 Allen Avenue</u>		
Total Square Footage of Proposed Structure/Area <u>60 sff for mudroom</u>		Square Footage of Lot <u>6,946.9 sff</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>342 B 16</u> <u>342 B 23</u>		Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>Lorilyn Woodward</u> Telephone: <u>207-450-4104</u> Address <u>124 Allen Ave</u> City, State & Zip <u>Portland, ME 04103</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>4,000</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>Single family</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>2 unit multi unit; One down; One up</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>Convert Single Family into owner/occupied 2 unit dwelling. Rental unit will be located on 2nd Floor. Need to put in a kitchen right above current kitchen on the 1st floor - adding 6x10 mudroom</u>		
Contractor's name: <u>David Murash</u>		
Address: <u>124 Allen Ave</u>		
City, State & Zip <u>Portland, ME 04103</u>		Telephone: <u>802-345-7436</u>
Who should we contact when the permit is ready: <u>David Murash</u>		Telephone: <u>802-345-7436</u>
Mailing address: <u>Same as above</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: David A. Yab Date: 3/18/08

This is not a permit; you may not commence ANY work until the permit is issue

Owner: Loralyn Woodward
Location: 124 Allen Avenue
Zoning Classification: R5
Lot Size: 6,946.9 s/f

Scope of work to be done to convert single family home to ^{two unit}~~multi-unit~~ will consist of the following:

- build new 6'x10' mudroom with separate entry/egress requirements – see plot plan and framing details
- tear down existing staircase leading to 2nd floor kitchen/dining room
- build and install new staircase leading to 2nd floor kitchen/dining room – see
- build wall in 1st floor kitchen to separate stairs leading to the 2nd floor kitchen/dining room
- install an insulated, fire-rated entry/egress door in the kitchen
- build wall in the 2nd floor kitchen to act as a separation for stair case and to hang wall and base cabinets
- install cabinets, kitchen appliances, lighting etc for 2nd floor kitchen/dining room
- install egress windows on the north side of both 2nd floor bedrooms
- build wall in the 2nd floor, front hallway with an insulated, fire rated entry/egress door

Fire Department requirements

Owner: Loralyn Woodward
124 Allen Avenue
Portland, ME 04103
207-450-4104

Square Footage: Total-2,090 s/f
1st Floor-1,045 s/f
2nd Floor-1,045 s/f

Proposed Fire Protection: At front and rear entry/egress (see sketch) walls will be constructed of 2x4's @ 16 OC with 5/8" type X, fire resistant drywall with a 60 minute fire resistant rating. Doors will be fully insulated, steel entry doors .

Life Safety Plan:

- A) 5/8" thick drywall, Type X, ASTM C36, 60 minute fire resistant rating. Doors will be insulated, steel doors
- B) Distance from most remote point to exit is 45'
- C) Currently no fire extinguishes exist-can be placed per code
- D) Currently no emergency lighting in place-can be installed per code
- E) Currently no exit signs in place-can be put in place per code

Fire Department requirements.

The following shall be submitted on a separate sheet:

- Name, address and phone number of applicant **and** the project architect.
- Proposed use of structure (NFPA and IBC classification)
- Square footage of proposed structure (total and per story)
- Existing and proposed fire protection of structure.
- Separate plans shall be submitted for
 - a) Suppression system
 - b) Detection System (separate permit is required)
- A separate Life Safety Plan must include:
 - a) Fire resistance ratings of all means of egress — *Drywall — ASTM C 36 — 5/8" Thick — 60 min fire resistance*
 - b) Travel distance from most remote point to exit discharge
 - c) Location of any required fire extinguishers
 - d) Location of emergency lighting
 - e) Location of exit signs
 - f) NFPA 101 code summary
- Elevators shall be sized to fit an 80" x 24" stretcher.

For questions on Fire Department requirements call the Fire Prevention Officer at (207) 874-8405.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

Applicant: Localyn Woodward

Date: 4/11/08

Address: 124 Allen Ave

C-B-L: 342-B-16 : 23
permit # 08-0359

CHECK-LIST AGAINST ZONING ORDINANCE

Date - house built around 1950

Zone Location - R-5; R-3

Interior or corner lot -

Proposed Use/Work - change of use - single family to two family - build 6' x 10' mudroom
R7 up to create second unit on second floor

Sewage Disposal -

Lot Street Frontage -

Front Yard - N/A

Rear Yard - 20' min - ~~over 20'~~ $\approx 46'$

Side Yard - 1 story 8' - over 50'
2 stories 12'

Projections -

Width of Lot -

Height - 35' max.

Lot Area - 6,000 Φ - 6,938 + 5625 = 12,563

Lot Coverage Impervious Surface - 40% = 5,025.2

Area per Family - 3,000 Φ ~~per~~ for first two -

Off-street Parking - 2 spaces required - 1 for each unit
OK dw - 25' x 8'

Loading Bays -

Site Plan - Site plan exemption to planning

Shoreland Zoning/ Stream Protection - N/A

Flood Plains -

house = 1206 Φ
addition 604 = 10x6

OK ~~from~~ 1206 Φ

shed 5.5 x 8 = 44

deck 10 x 15 = 150

1460

From: Loralyn Woodward <loralynwoodward@yahoo.com>
To: <amachado@portlandmaine.com>
Date: 4/11/2008 3:52:25 PM
Subject: Deck and Shed dimentions

Hi and happy Friday,

The shed is 5' 6" X 8'.
Deck closest to house is 10' X 15'
Deck on other side of pool 5' x 15' (I never saw that one)

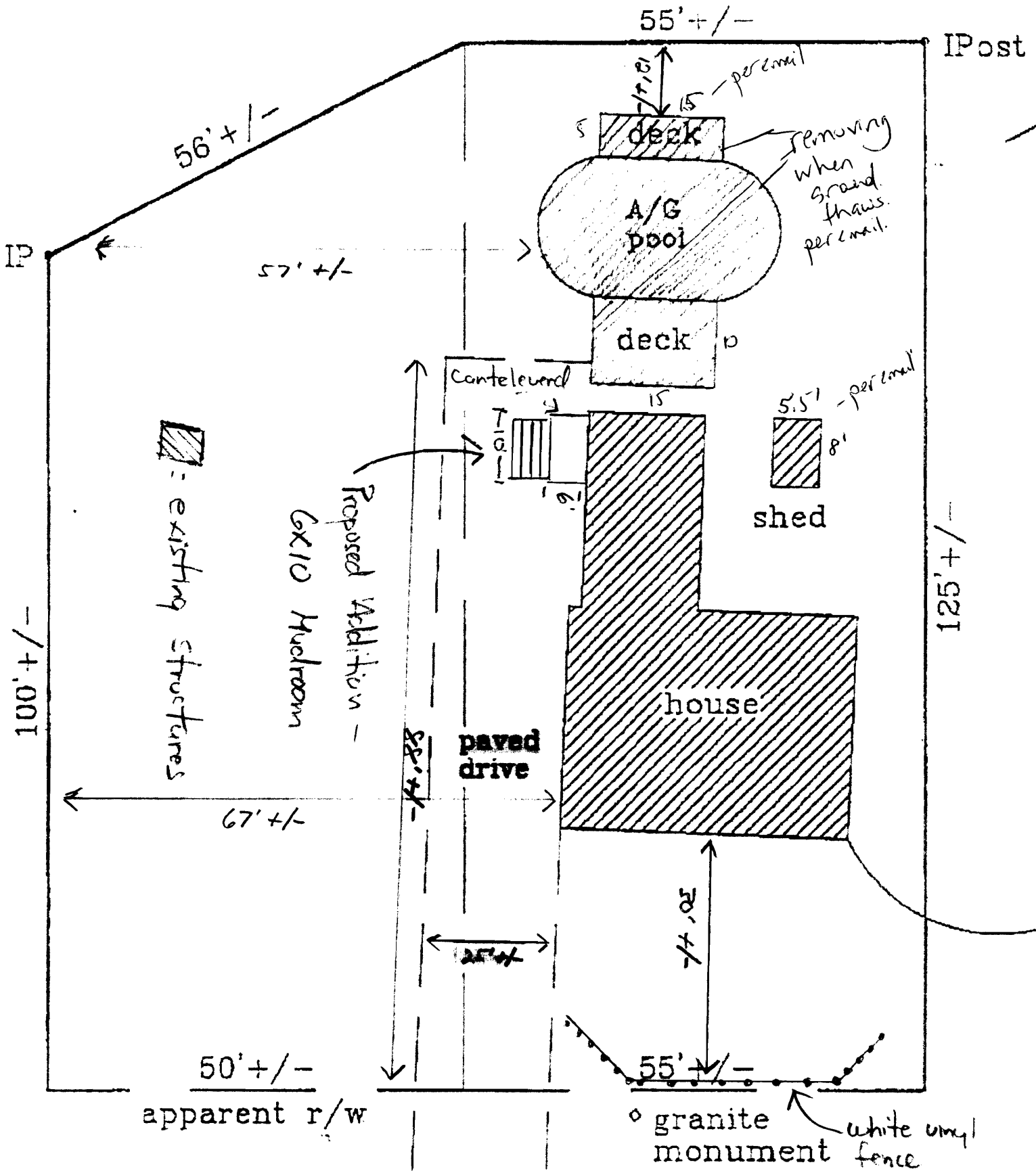
We are removing the pool and the outter deck as soon as it thaws!!!! Do not want that liability!

Thanks and please let me know if you receive this email.

Have a nice weekend
Loralyn
450-4104

Do You Yahoo!?
Tired of spam? Yahoo! Mail has the best spam protection around
<http://mail.yahoo.com>

APR 14 2008



Plot Plan -

124 Allen Avenue

Note:
Lines
are sh
A bou
may j
result.

14'

Proposed New Kitchen / Dining Room For 2 Bed / 1 Bath Rental Unit - 2nd Floor

Rebuilt Stairs - see sketch

New Wall - 2x4's @ 16 OC

5/8" Fire Coded Sheetrock, Type X, 60 min fire resistance
36"wx 80"H Insulated Steel Door

Kitchen

22'x13'

Dining
Room

23'

* Majority of work will be in the
Kitchen/Dining Room Areas



Existing -
9'x8'
Bath Room

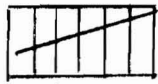
Back
Hall
8'x4'

Closet

20'x8'

Bedroom 2

~~Proposed~~
Window
3-4/5-0



to
attic

Closet Closet

Bedroom 1

26'
~~Proposed~~
Egress Window
3-4/5-0

Living
Room
17'x12'

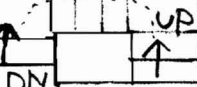
17'x13'

7'x4'

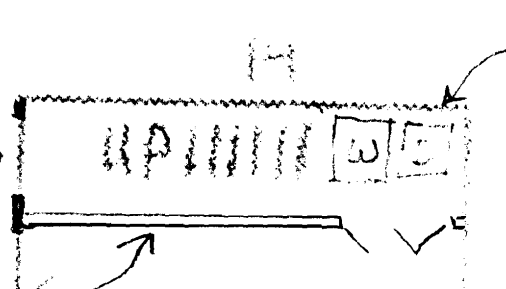
34'

New Wall - 2x4's @ 16 OC
5/8" Fire Coded Sheetrock, Type X, 60 min rating
30"wx 80"H Insulated Steel Door

Front
Hall



Entry to 2nd Floor Apt.



Existing w/D hook-ups

1st Floor

New wall 2x4's @ 16 o.c. 5/8" Typex Fire Resistant Drywall

KITCHEN

BATH ROOM

DINING ROOM

LIVING ROOM

FP

FP

FP

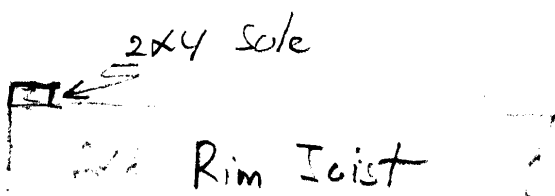
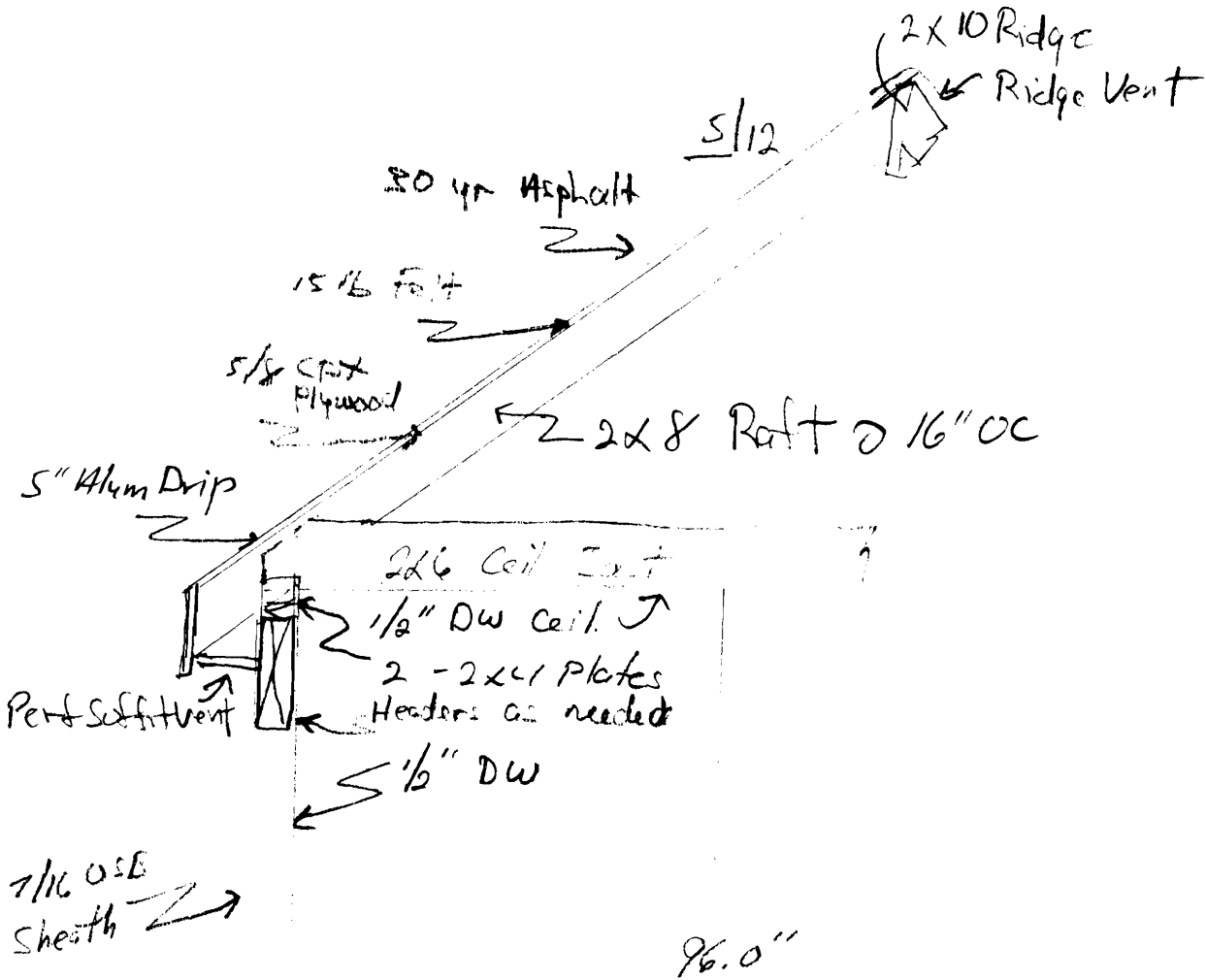
BED ROOM

WALK IN FOYER

ROOM

34

Mudroom Addition - Front View 6' x 10'



New 6'x10'
Mudroom

Existing House
14'

10'

6'

25'

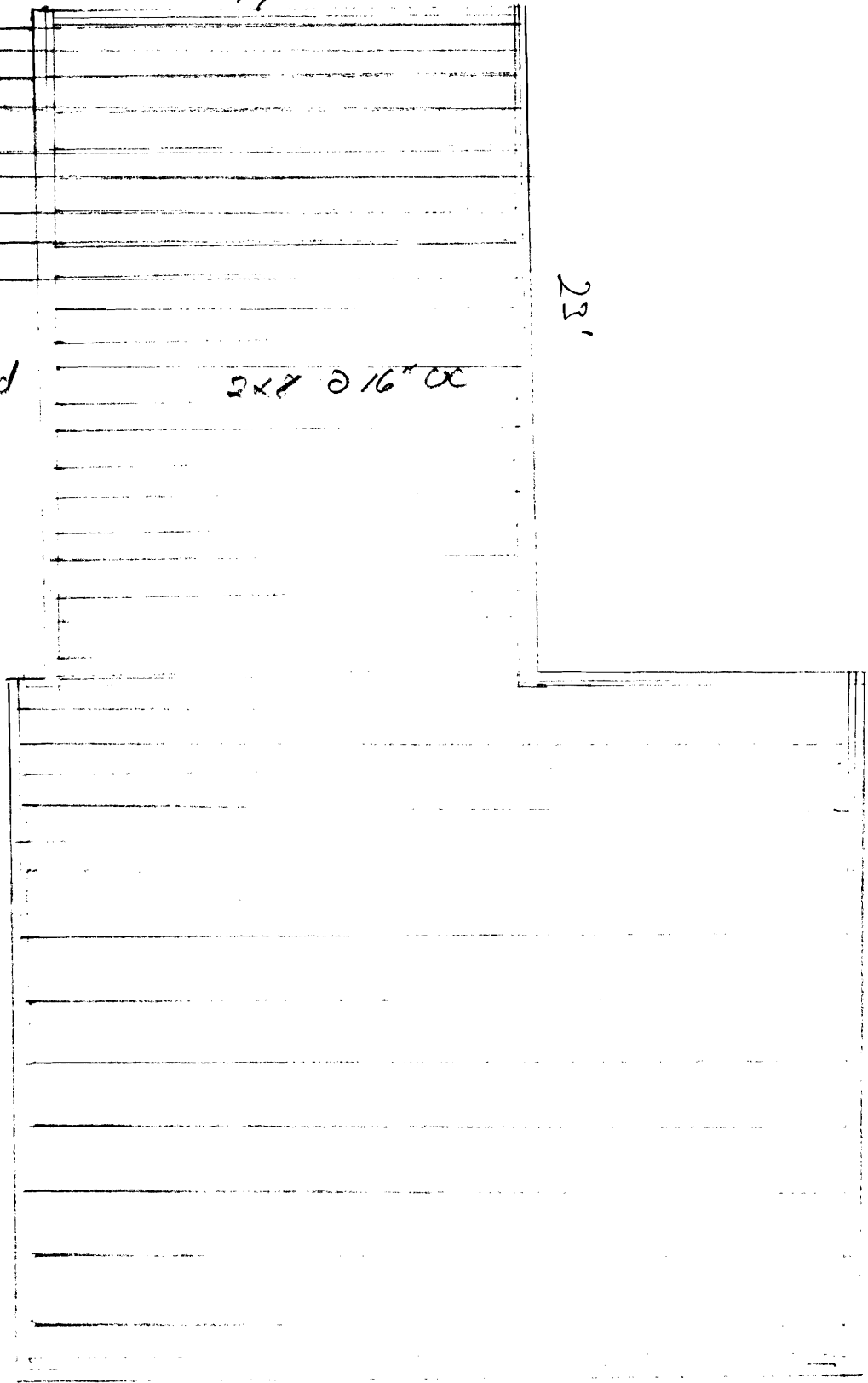
2x8's cantilevered
out 6' from
existing house

2x8 @ 16" OC

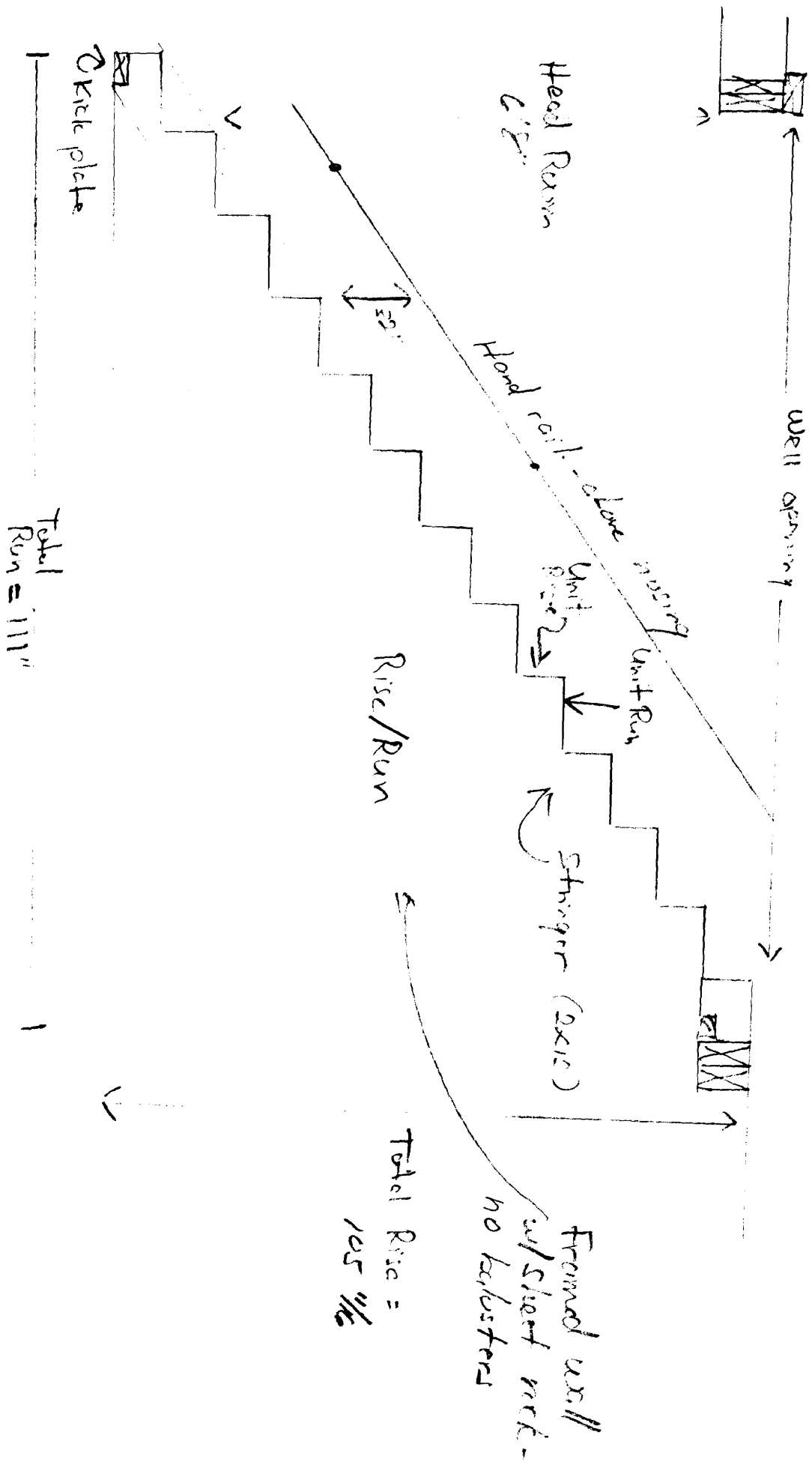
26'

34'

1st Floor Frame Plan



Stairs to 2nd Floor Kitchen



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	342 B016001
Location	124 ALLEN AVE
Land Use	SINGLE FAMILY
Owner Address	WOODWARD LORALYN M 124 ALLEN AVE PORTLAND ME 04103
Book/Page	25838/247
Legal	342-B-16 ALLEN AVE 122-124 6938 SF

Current Assessed Valuation

Land	Building	Total
\$66,100	\$154,400	\$220,500

Property Information

Year Built 1900	Style Colonial	Story Height 2	Sq. Ft. 2132	Total Acres 0.159		
Bedrooms 3	Full Baths 1	Half Baths	Total Rooms 8	Attic Unfin	Basement Part	

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales Information

Date	Type	Price	Book/Page
10/29/1993	LAND + BLDING	\$72,900	11062-175
10/08/1992	LAND + BLDING		10330-235

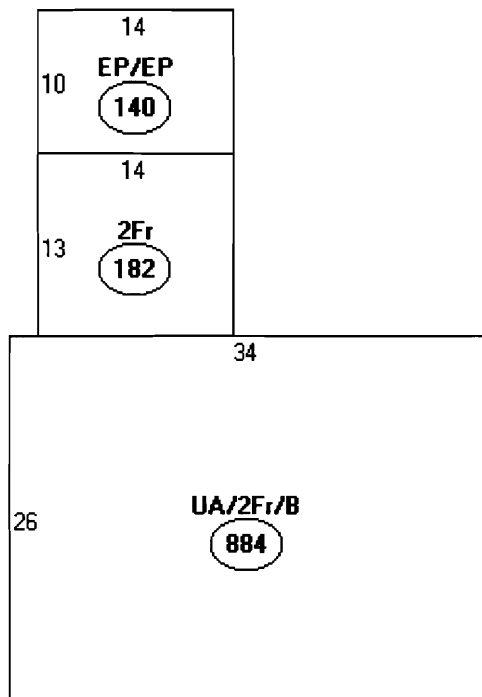
Picture and Sketch

[Picture](#) [Sketch](#) [Tax Map](#)

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

New Search!



Descriptor/Area

A: UA/2Fr/B
884 sqft

B: 2Fr
182 sqft

C: EP/EP
140 sqft

= 1201

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	342 B023001
Location	ALLEN AVE
Land Use	VACANT LAND
Owner Address	WOODWARD LORALYN M 124 ALLEN AVE PORTLAND ME 04103
Book/Page	25838/247
Legal	342-B-23 ALLEN AVE 118-120 5625 SF

Current Assessed Valuation

Land	Building	Total
\$51,100	\$ 0.00	\$51,100

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
				0.129	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
-------------	-----------------	-------------------	-------------	--------------	------------------

Sales Information

Date	Type	Price	Book/Page
05/27/2004	LAND	\$29,000	21333-286

Picture and Sketch

[Picture](#) [Sketch](#) [Tax Map](#)

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

New Search!





2008-0047

APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW

[Handwritten Name]
Applicant

[Handwritten Date]
Application Date

[Handwritten Address]
Applicant's Mailing Address

[Handwritten Project Name]
Project Name/Description

[Handwritten Consultant/Agent/Phone Number]
Consultant/Agent/Phone Number

[Handwritten Address of Proposed Site]
Address of Proposed Site

CBL: [Handwritten CBL Number]

Description of Proposed Development:

[Handwritten Description of Proposed Development]

Please Attach Sketch/Plan of Proposal/Development

Criteria for Exemptions:

See Section 14-523 (4) on back side of form

- a) Within Existing Structures; No New Buildings, Demolitions or Additions
- b) Footprint Increase Less Than 500 Sq. Ft.
- c) No New Curb Cuts, Driveways, Parking Areas
- d) Curbs and Sidewalks in Sound Condition/Comply with ADA
- e) No Additional Parking/ No Traffic Increase
- f) No Stormwater Problems
- g) Sufficient Property Screening
- h) Adequate Utilities

Applicant's Assessment (Yes, No, N/A)	Planning Office Use Only
	✓
/	✓
	✓
	✓
	✓
	✓
	✓
	✓
	✓

From: <flatlanderdev@aim.com>
To: <tm@portlandmaine.gov>
Date: 5/8/2008 12:30:22 PM
Subject: 124 Allen Ave Building Permit

Ceilings in LR, DR, Bathroom, Bedroom, Hallway and Closets are 1/2" gypsum board with a textured finish, attached to 2x10 ceiling/floor joists
joists
joists

View full size

View full size

View full size

Existing ceiling structure of 1st floor kitchen
Exposed 2x8 ceiling/floor joist with bead board in cavaties

Tom,

The attached pics are of the 1st floor kitchen and Living room.
We would like to keep the look of the exposed joists. Would insulation in the joist cavaties help with the fire-rating?
If not, would 1/2" rock on the ceiling work?

The stair detail:
Total Rise=105 1/8"
Total Run=130"

Riser Height=7 1/2"
Tread=10"

Total # of risers=14
Total # of treads=13
?

The handrail will be set at 32" above the stair nosing.
Head room will be 80" from headers to step.

What are the landing requirements?
What is the width requirement of the stairway?

The Mudroom Detail:
We will not cantilever the room

There will be 3 cement posts, 48" in-ground
We would like to make the mudroom 6' x 12' instead of 6' x 10'

Any questions or if you need more detail please email or call at your earliest convenience

Thanks,
David Morash
802-345-7436???

From: <flatlanderdev@aim.com>
To: <tm@portlandmaine.gov>
Date: 5/9/2008 8:18:48 AM
Subject: 124 Allen Ave-Flooring material on the 2nd Floor

Above existing kitchen where new kitchen will be located:

- 3/4" plank sub-flooring
- 3/4" pine finished flooring

Flooring in bedroom 2,back hallway and living room:

- 3/4" plank sub-flooring
- 1/2" plywood
- carpet pad
- wall-to-wall carpeting

Flooring in 2nd floor bathroom:

- 3/4" plank sub-floor
- mix of 3/4" oak/pine and tile under claw tub

Flooring in Front Hallway and Bedroom 1:

- 3/4" plank sub-flooring
- 3/4" wide pine flooring

I plan on taking up the wide pine flooring in bedroom 1 and putting down 3/4" sub-flooring and then carpeting with a pad

Thanks
David Morash

Jeanie Bourke - Re: 124 Allen Ave-Flooring material on the 2nd Floor

From: <flatlanderdev@aim.com>
To: <JMB@portlandmaine.gov>
Date: 6/3/2008 1:28 PM
Subject: Re: 124 Allen Ave-Flooring material on the 2nd Floor

Jeannie,

I drew up more details. As we discussed, the bottom landing for the stairway will be part of the mudroom. I did the calculations and it will work. The main entry door to the 2nd floor unit will be on the gable end on the mudroom and the door will swing in.

I've already got 1/2" drywall on the ceilings. Can I use 3/8" sheet rock and build upon the existing sheet rock?

Do the smokes in our unit need to be hardwired with the rental unit or separated?

I will bring in the details tomorrow

Thanks,
David

-----Original Message-----

From: Jeanie Bourke <JMB@portlandmaine.gov>
To: flatlanderdev@aim.com
Sent: Fri, 30 May 2008 5:18 pm
Subject: Re: 124 Allen Ave-Flooring material on the 2nd Floor

David,

I've gotten up to speed on the plans and see some things need to be addressed:

1. The stair does not show a landing at the bottom....is the door swinging in or out?
2. Need detail on the steps to the mudroom including guardrail/handrail design. (Note: handrail ht. is 34-38", but the guard for fall protection required to be 36"
3. Dimensions of the supporting girder for the mudroom
4. Clarify fire/sound separations between the apartments and in the common areas. This needs to be a UL rated assembly, including the front hall.
5. Call out smoke detectors installed per code
6. Also, the cost of work seems very low, this fit up needs to include cost of materials and time for the whole project.

And all the other items we discussed on the phone....thanks

Jeanie Bourke
Inspection Services Division Director

City of Portland
Planning & Development Dept./ Inspections Division
389 Congress St. Rm 315

From: Jeanie Bourke <JMB@portlandmaine.gov>
To: flatlanderdev@aim.com
Subject: Re: 124 Allen Ave-Flooring material on the 2nd Floor
Date: Fri, 30 May 2008 5:19 pm

David,
I've gotten up to speed on the plans and see some things need to be addressed:

1. The stair does not show a landing at the bottom....is the door swinging in or out?
2. Need detail on the steps to the mudroom including guardrail/handrail design. (Note: handrail ht. is 34-38", but the guard for fall protection required to be 36"
3. Dimensions of the supporting girder for the mudroom
4. Clarify fire/sound separations between the apartments and in the common areas. This needs to be a UL rated assembly, including the front hall.
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6. Also, the cost of work seems very low, this fit up needs to include cost of materials and time for the whole project.

And all the other items we discussed on the phone....thanks

Jeanie Bourke
Inspection Services Division Director

City of Portland
Planning & Development Dept./ Inspections Division
389 Congress St. Rm 315
Portland, ME 04101
jmb@portlandmaine.gov
(207)874-8715

>>> <flatlanderdev@aim.com> 05/30 9:52 AM >>>
Hi Jeanie,

Tammy Munson referred me to you about our permit.
If you have any questions please email or call.

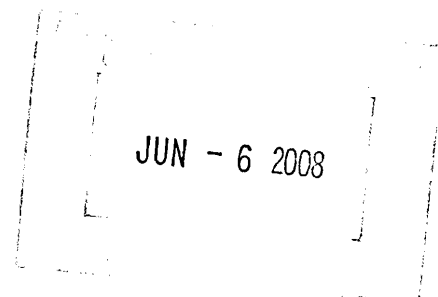
Thanks for your time
David Morash
802-345-7436

-----Original Message-----

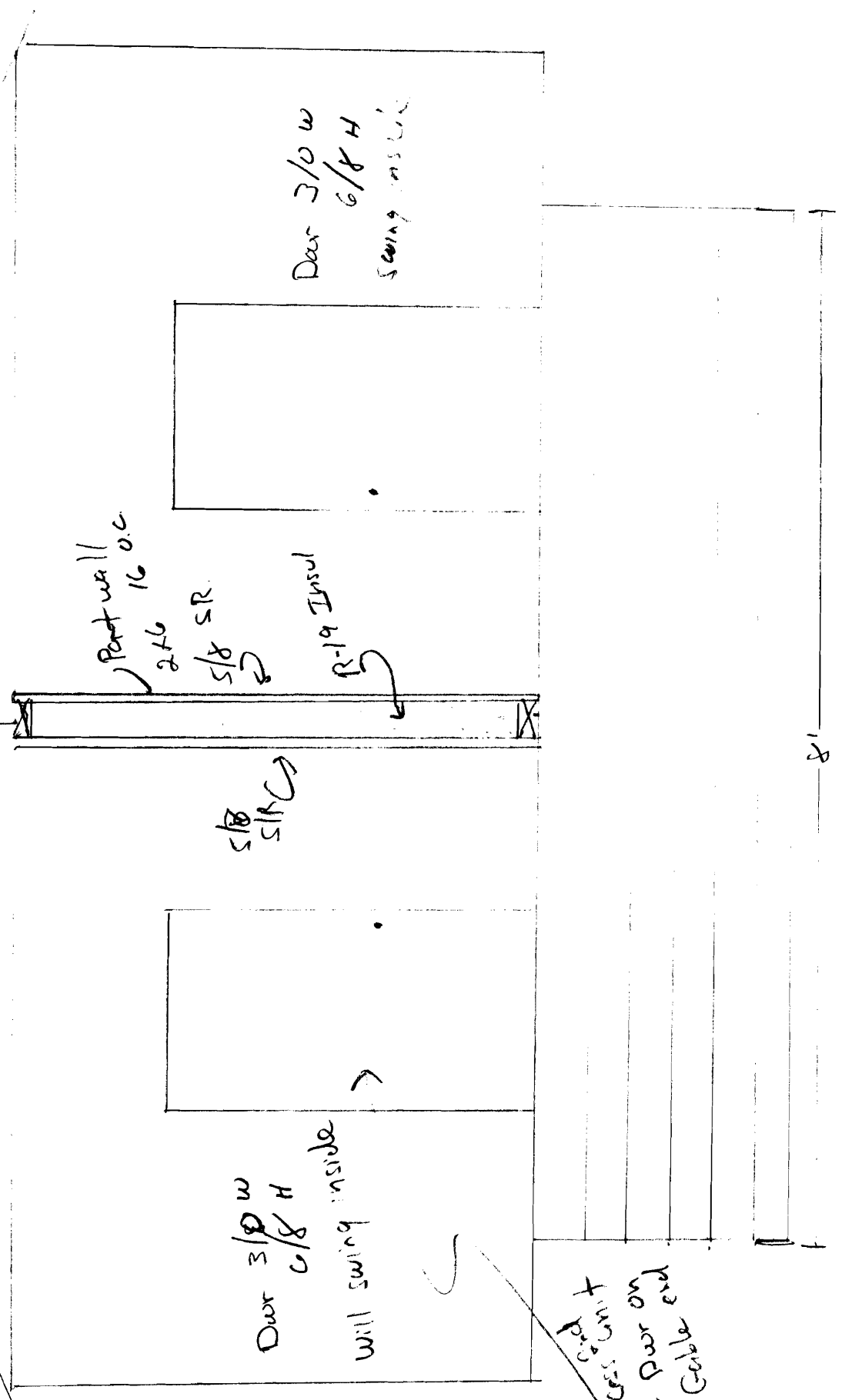
From: Tammy Munson <TMM@portlandmaine.gov>
To: flatlanderdev@aim.com
Sent: Thu, 29 May 2008 11:12 am
Subject: Re: 124 Allen Ave-Flooring material on the 2nd Floor

Jeanie Bourke has the permit. I would suggest calling her. I was too backed up to review it so she is currently reviewing it. Her # is 874-8715 & email is jmb@portlandmaine.gov.

Tammy Munson
Code Enforcement Officer/Plan Reviewer
City of Portland
Inspections Division
389 Congress Street Rm 315
Portland, Maine 04101
Office: (207)874-8706
tmm@portlandmaine.gov



124 Allen Ave



5/8 SR

Door 3/0 W
6/8 H
Swing inside

Paint wall 16 oc
2x6
5/8 SR
R-19 Insul

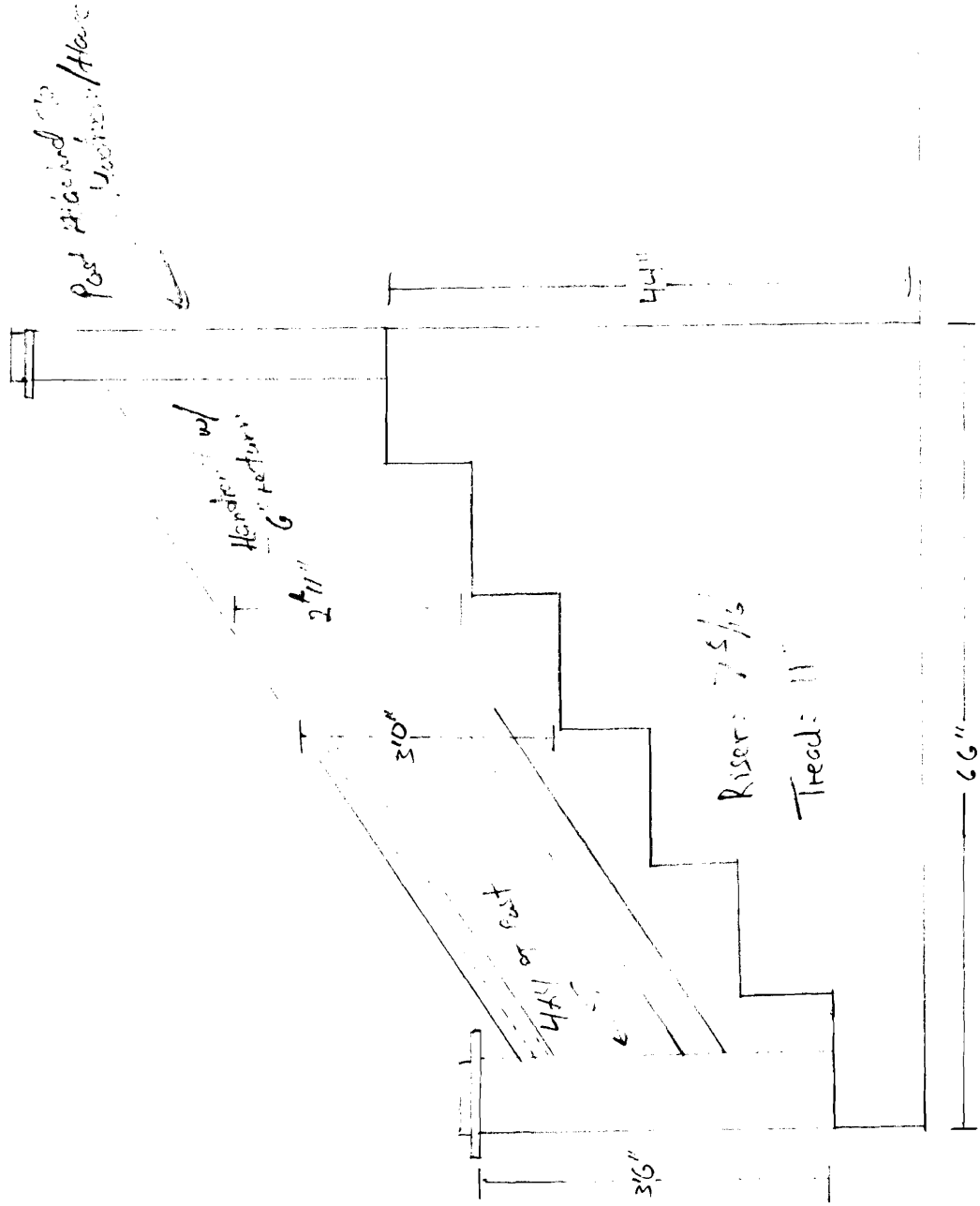
Door 3/0 W
6/8 H
will swing inside

will access
via Front Porch end
Mudroom
side

8'

Mudroom - South Elevation

Mudroom Stair Detail - 124 Allowance



Mudroom - East Elevation

124 Allen Ave

Ledge 2x8 to house
array

2x8 @ 16 O.C.

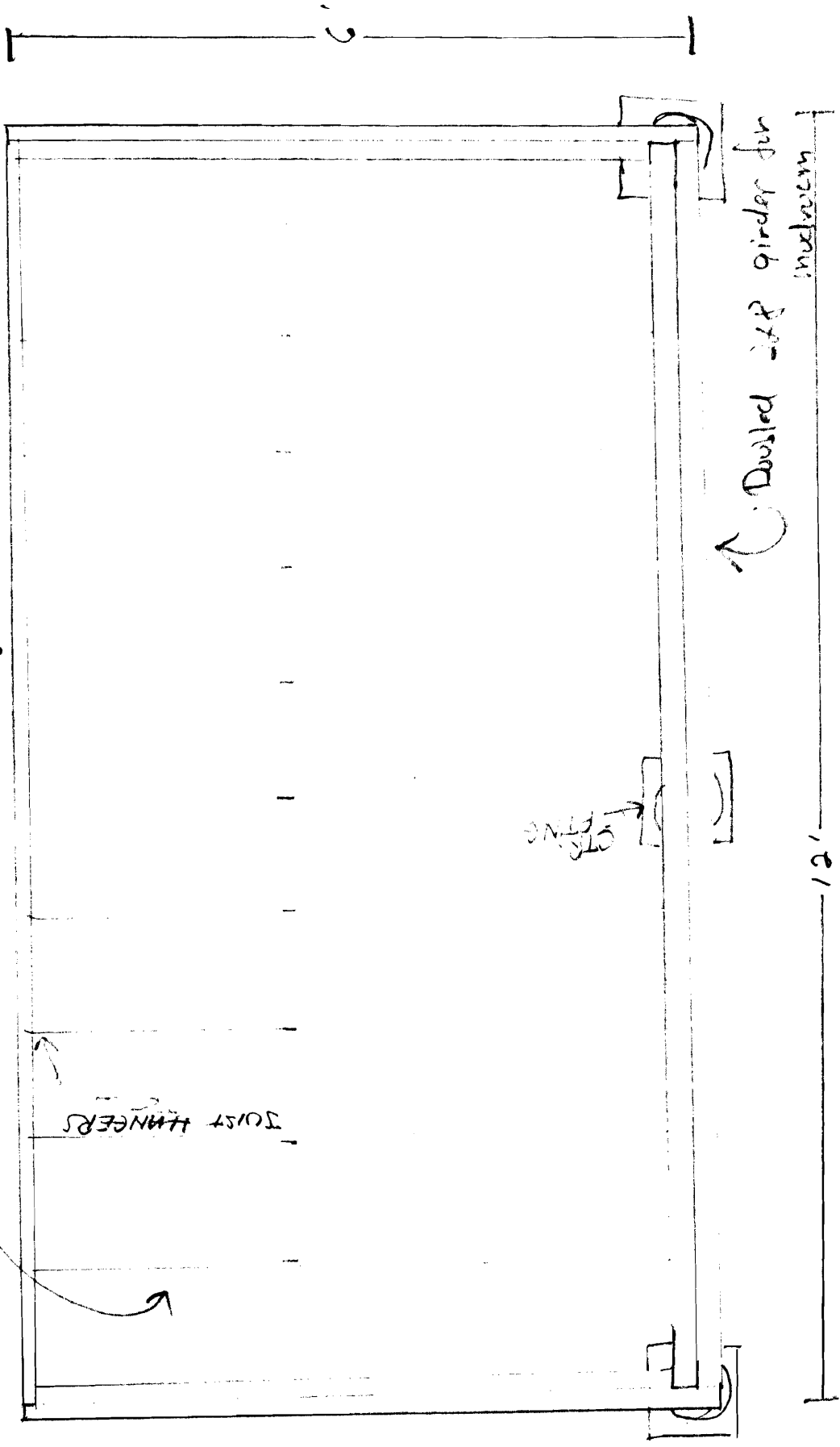
TOUST HANGERS

STAIRS

Doubled 2x8 girder for
inclusion

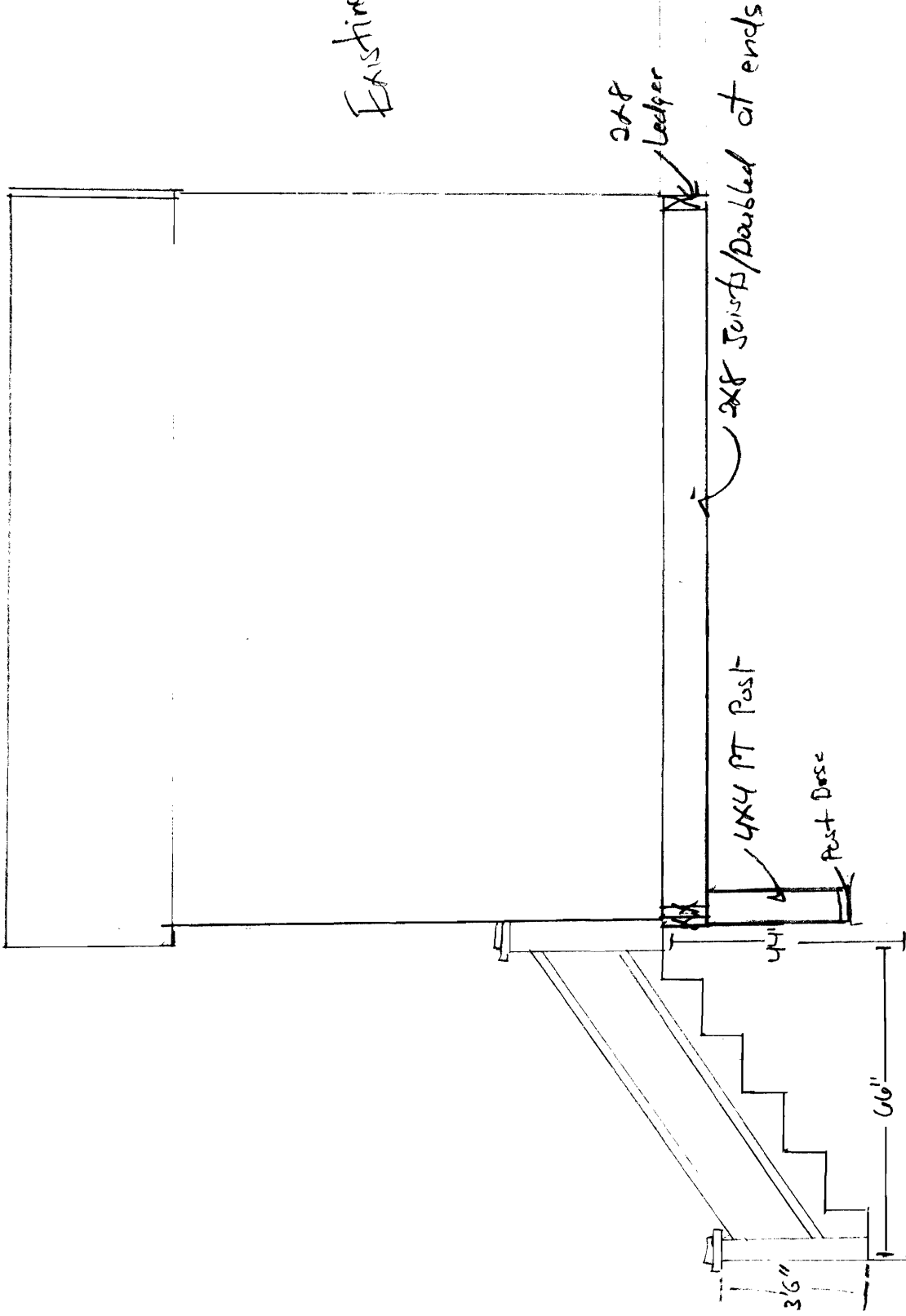
12'

Medium Floor Framing



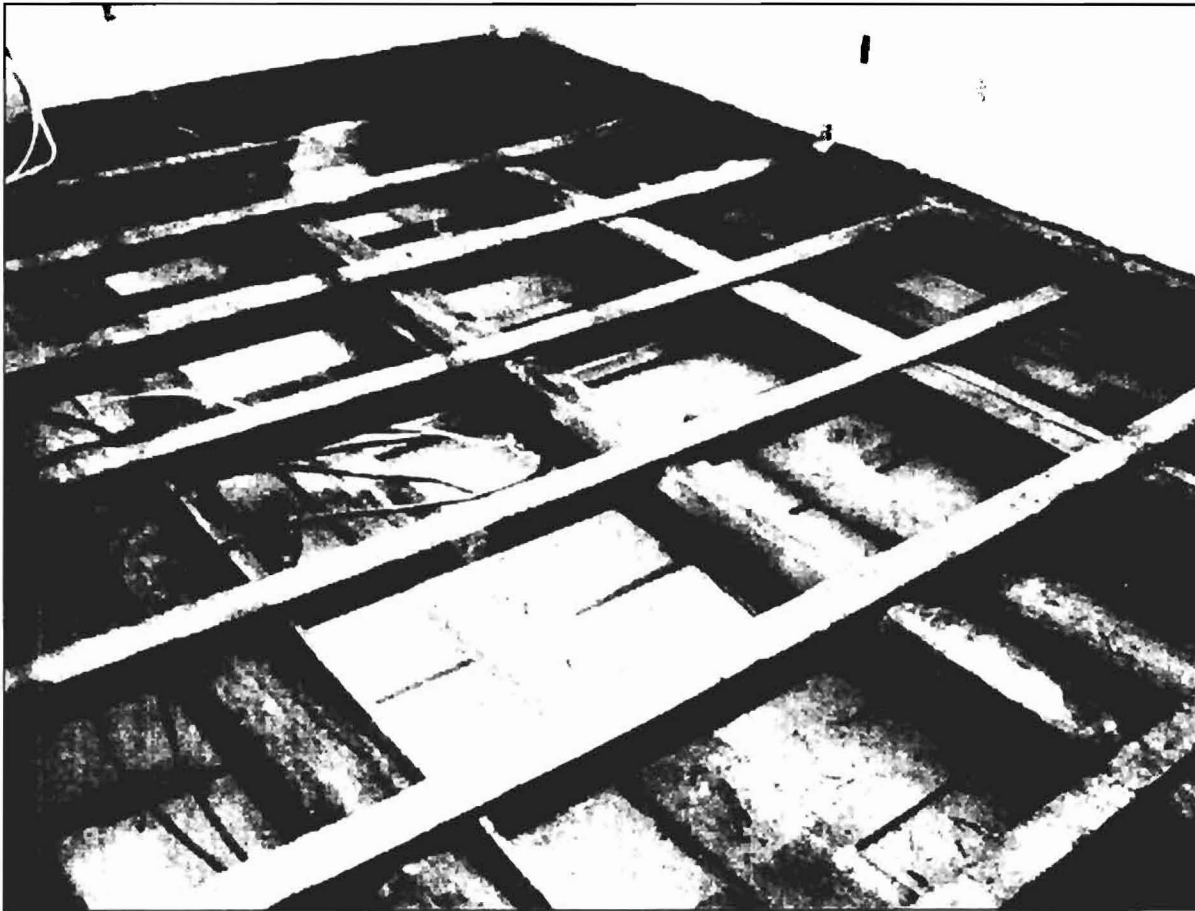
124 Allen Ave

Existing House



Driveway

Mudroom - East Elevation



View full size

Hi Jeanie

The attached pics are of the living room, but the front section (34' x 26') of the house is all timber framed and the back part of the house is 2x framed

The main carrying timber beams are 7"x 7" and are 36" O.C.
The timber joists are 4" x 4" and are 24" O.C.

I could lay in R19 batt insulation, then cover with 5/8" type X sheetrock, then 3/4" planks that I pulled up and finally 1/2" cdx plywood. We will probably lay down new carpeting thruout this section of the house and keep the existing flooring in the new kitchen. I will install 5/8" sheetrock in our kitchen

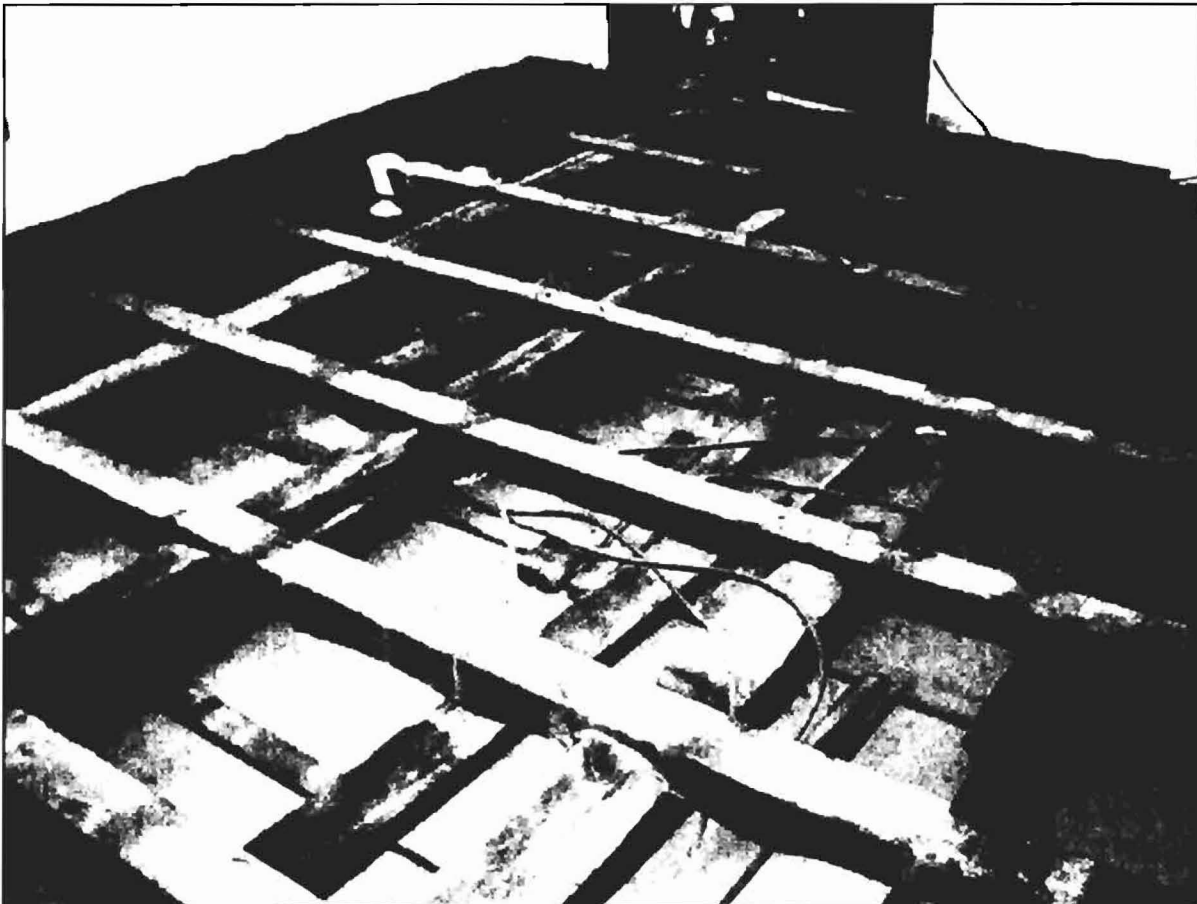
Please advise , we would like to start the process next week
Thanks, David Morash

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JUN 16 2008

Jeanie Bourke - 124 Allen Ave ceiling/floor detail

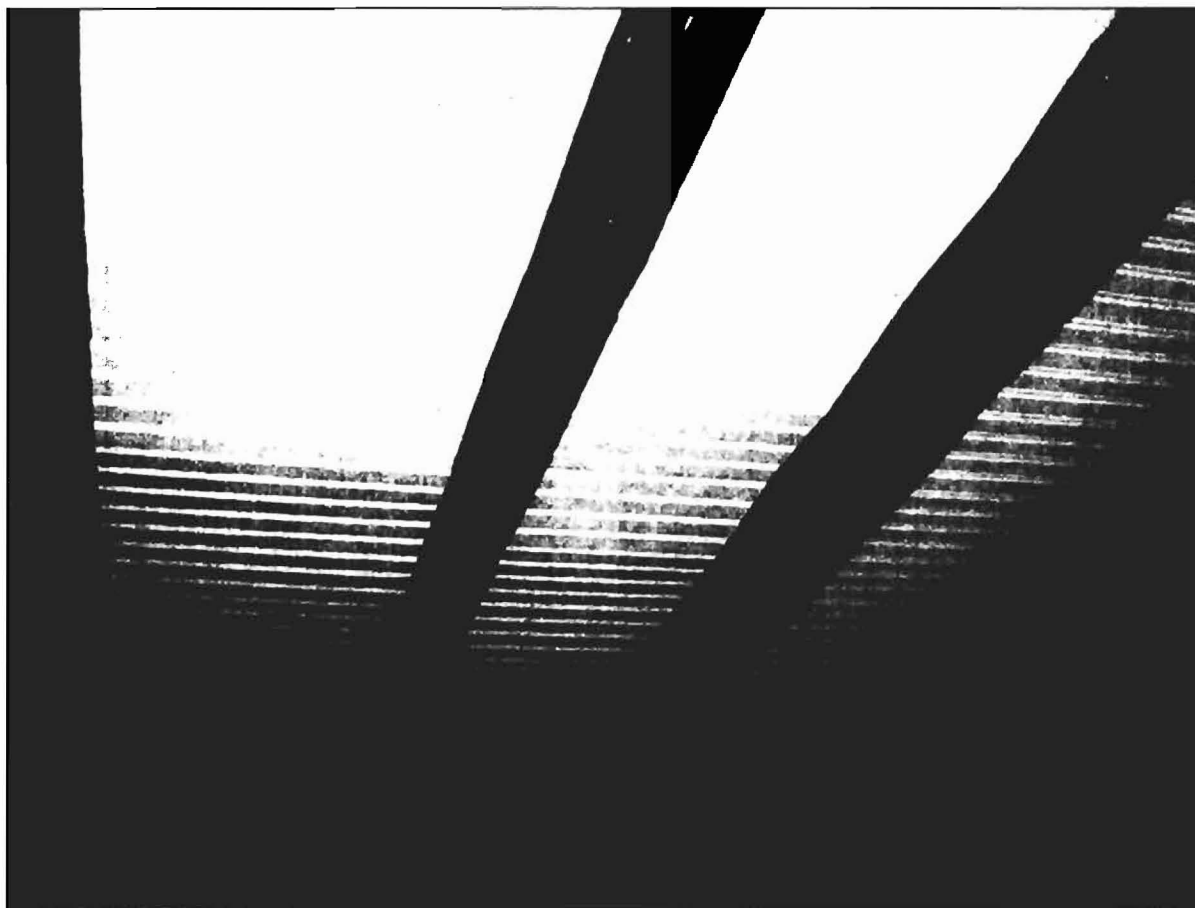
From: <flatlanderdev@aim.com>
To: <jmb@portlandmaine.gov>
Date: 6/13/2008 1:52 PM
Subject: 124 Allen Ave ceiling/floor detail



[View full size](#)

Jeanie Bourke - Re: 124 Allen Ave ceiling/floor detail

From: <flatlanderdev@aim.com>
To: <JMB@portlandmaine.gov>
Date: 6/17/2008 7:15 AM
Subject: Re: 124 Allen Ave ceiling/floor detail



[View full size](#)

Currently, the joists are exposed above the kitchen. I will remove beadboard, insualte and rock with 5/8 fire code rock plus the metal resilient strapping. The joists will no longer be exposed. Will this meet the 1 hour separation?

-----Original Message-----

From: Jeanie Bourke <JMB@portlandmaine.gov>
To: flatlanderdev@aim.com
Sent: Mon, 16 Jun 2008 5:18 pm
Subject: Re: 124 Allen Ave ceiling/floor detail

JUN 18 2008

Ok, so this is not really creating a 1 hour separation because the wood beams/joists are exposed giving an unprotected path for fire.

Jeanie Bourke

Inspection Services Division Director

City of Portland
Planning & Development Dept./ Inspections Division
389 Congress St. Rm 315
Portland, ME 04101
jmb@portlandmaine.gov
(207)874-8715

>>> <flatlanderdev@aim.com> 06/16 4:38 PM >>>

The joists above the kitchen are exposed with beadboard in between. I will remove all the beadboard, insulate and rock. I just need a little guidance on the metal resilient strapping-which shouldn't be a problem.

See ya tomorrow

Thanks

-----Original Message-----

From: Jeanie Bourke <JMB@portlandmaine.gov>

To: flatlanderdev@aim.com

Sent: Mon, 16 Jun 2008 4:30 pm

Subject: Re: 124 Allen Ave ceiling/floor detail

Thanks....are you removing sheetrock in the kitchen and applying new? That's what it sounds like if you are insulating. If that is the case, you will also need metal resilient channel strapping for sound rating.

Jeanie Bourke
Inspection Services Division Director

City of Portland
Planning & Development Dept./ Inspections Division
389 Congress St. Rm 315
Portland, ME 04101
jmb@portlandmaine.gov
(207)874-8715

>>> <flatlanderdev@aim.com> 06/16 4:23 PM >>>

That is correct. I will install fire coded sheetrock from above except in the kitchen which will be insulated and rocked with 5/8 rock from below

I will be there on Tuesday. I've attached a spreadsheet with a more realistic cost of the material and labor

Thank you

Davis Morash

-----Original Message-----

From: Jeanie Bourke <JMB@portlandmaine.gov>

To: flatlanderdev@aim.com

Sent: Mon, 16 Jun 2008 3:47 pm
Subject: Re: 124 Allen Ave ceiling/floor detail

Ok, so I understand, all the floor area in the 2nd floor unit will be treated as you descibe from above, except the kitchen floor, which will have 5/8 x from below?

If so, I will issue the permit, please come into room 315 to pick it up. Also include payment for additional cost of work.

Thanks

Jeanie Bourke
Inspection Services Division Director

City of Portland
Planning & Development Dept./ Inspections Division
389 Congress St. Rm 315
Portland, ME 04101
jmb@portlandmaine.gov
(207)874-8715

>>> <flatlanderdev@aim.com> 06/13 1:52 PM >>>

[VIEW FULL SIZE](#)
[VIEW FULL SIZE](#)

Hi Jeanie

The attached pics are of the living room, but the front section (34' x 26') of the house is all timber framed and the back part of the house is 2x framed

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Please advise , we would like to start the process next week
Thanks, David Morash

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Jeanie Bourke - Kon Asian bistro

From: "John Ossie" <cad-de-tech@maine.rr.com>
To: <jmb@portlandmaine.gov>
Date: 6/18/2008 12:47 PM
Subject: Kon Asian bistro

Hi Jeanie,

This is a supplement to the Kon Asian Bistro Life Safety Plan.

Please note the hand wash sink in the food prep area.

Regards,

John Ossie (formerly of FMC)



John J. Ossie

President

235 Riverside

Industrial Parkway

Portland ME 04102

phone (207) 328-6499

cad-de-tech@maine.rr.com

www.cad-de-tech.com

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Budget for 124 Allen Ave Conversion to Multi-Unit Rental

Material Requirements	Quantity	Units	Cost	Total
Demo Hammer Rental	1	day	57	57
4' sonnax tubes 8' dia	3	ea	7.5	7.5
80lb cement	8	bag	3.89	31.12
galv post conns	3	ea	6.21	18.63
4x4x8' PT post	4	ea	6.97	27.88
2x8x12'	7	ea	7.19	50.33
2x12x12' PT	2	ea	23.87	47.74
2x8x12' PT	3	ea	9.97	29.91
5/4x6x8' PT	12	ea	10.97	131.64
2x4x12' PT	3	ea	5.97	17.94
2x8 Joist Hangers	16	ea	1.17	18.72
Deck Screws	1	bx	6.89	6.89
Galv hanger nails	1	bx	4.89	4.89
PT handrail	16	lf	2.23	35.68
Handrail conns	8	ea	3.25	26
4x8x3/4" ply	3	sh	31.93	95.79
2x4x8'	36	ea	2.23	80.28
2x4x12'	14	ea	3.5	49
2x6x8'	15	ea	3.89	58.35
2x8x10'	14	ea	5.89	82.46
Nails	1	bx	38.57	38.57
Galv Nails	1	bx	65.97	65.97
4x8x7/16" OSB	9	sh	7.97	71.73
4x8x1/2" CDX	6	sh	15.21	91.26
15# felt	1	rl	21.5	21.5
alum step flashing	30	ea	0.67	20.1
drip edge, 10'	4	ea	5.89	23.56
30 yr, arch shingles	4	bd	25.15	100.6
Ext door, 9 lite, 3/0x6/8, RH	1	ea	159	159
Ext door, 9 lite, 3/0x6/8, LH	1	ea	159	159
Double Hung 3/0 x 3/0	1	ea	109	109
5/8" Sheetrock	39	ea	10	390
1/2" Sheetrock	12	ea	7.99	95.88
R-19 Insulation	3	bd	75.79	227.37
R-13 Insulation	5	bd	10.98	54.9
2x12x16'	4	ea	21.45	85.8
Ext door, 3/0x6/8 door, solid	1	ea	109	109
Double Hung Egress Window	2	ea	149	298
Vinyl side, white	2	sq	60	120
Vinyl OC, 10'	2	ea	15	30
Vinyl IC, 10'	2	ea	12	24
Solid core int door, 2/6x6/8, lh	1		127	127
Electrical material/labor	1		2500	2500
Plumbing material/labor	1		1000	1000
Contractor labor	1		3000	3000

JUN 16 2000

Total

9799.99