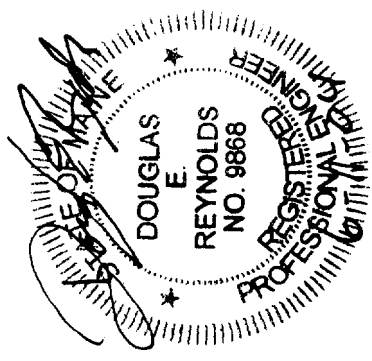
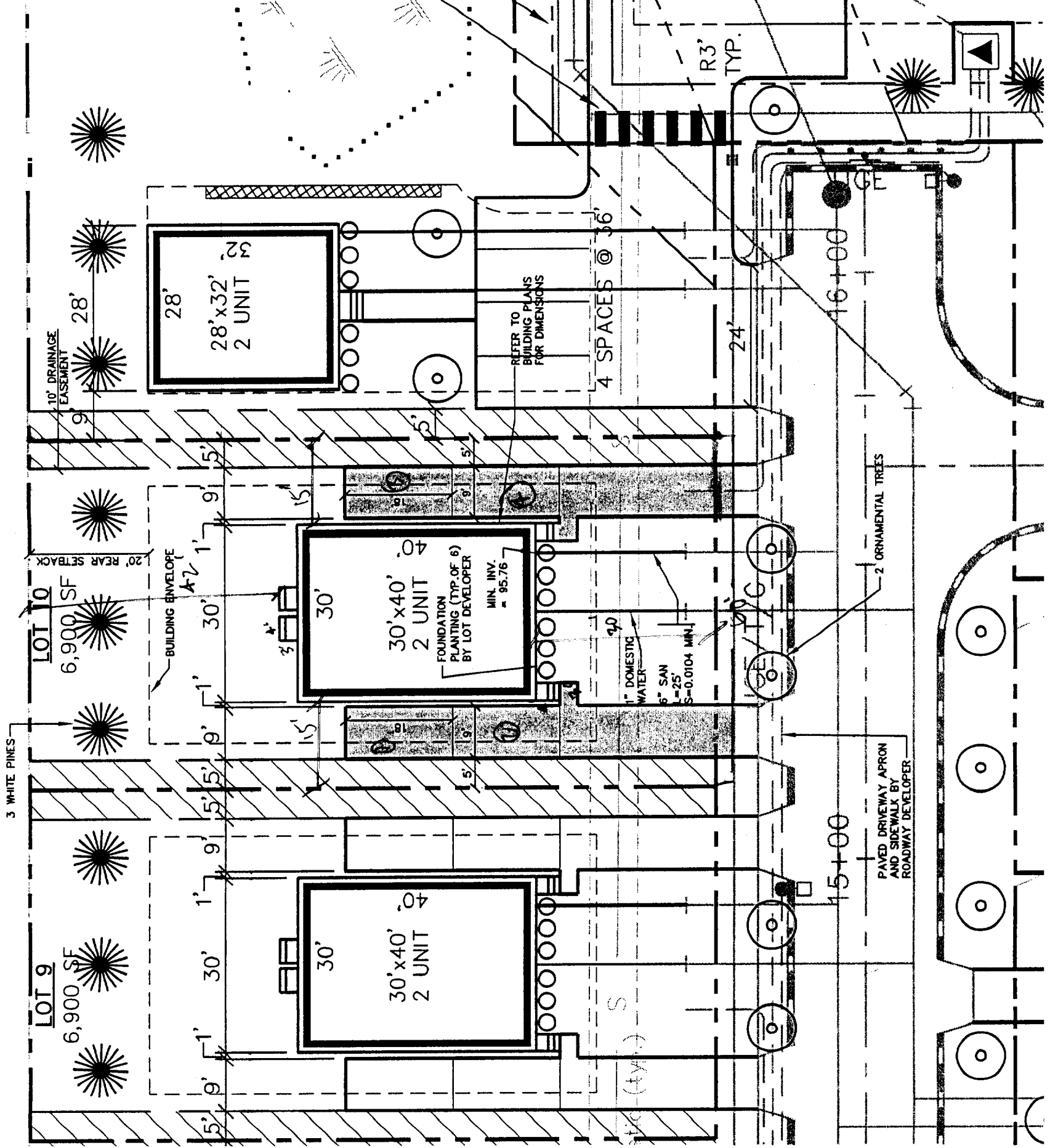
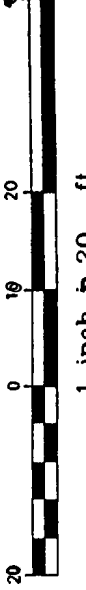


2420 0 020

9

NOTES:

1. LOT LAYOUT AND GRADING CONFIGURATIONS SHOWN ON THIS PLAN REPRESENT THE INTENDED FINAL DEVELOPMENT OF THE LOT FOR BUILDING PERMIT PURPOSES AS APPROVED BY THE CITY OF PORTLAND PLANNING BOARD ON FEBRUARY 24, 2004. ANY DEVIATION FROM THESE PLANS, BE IT EITHER BUILDING SIZE, PARKING CONFIGURATION, GRADING CHANGES, ETC. SHALL REQUIRE REVIEW AND APPROVAL FROM THE CITY OF PORTLAND PLANNING BOARD, AS WELL AS REVIEW BY THE SUBDIVISION DEVELOPER.
2. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2002.
3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
4. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH BEST MANAGEMENT PRACTICES EROSION CONTROL MEASURES. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE SUBDIVISION DEVELOPER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
5. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
6. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
7. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
8. LOT DEVELOPER SHALL BE RESPONSIBLE FOR DRIVEWAY CONSTRUCTION BEYOND THE DRIVEWAY APRON AND SIDEWALK.



Lot 10 Lot Layout and Utility Plan

CARRIAGE LANE

Drawing Name:

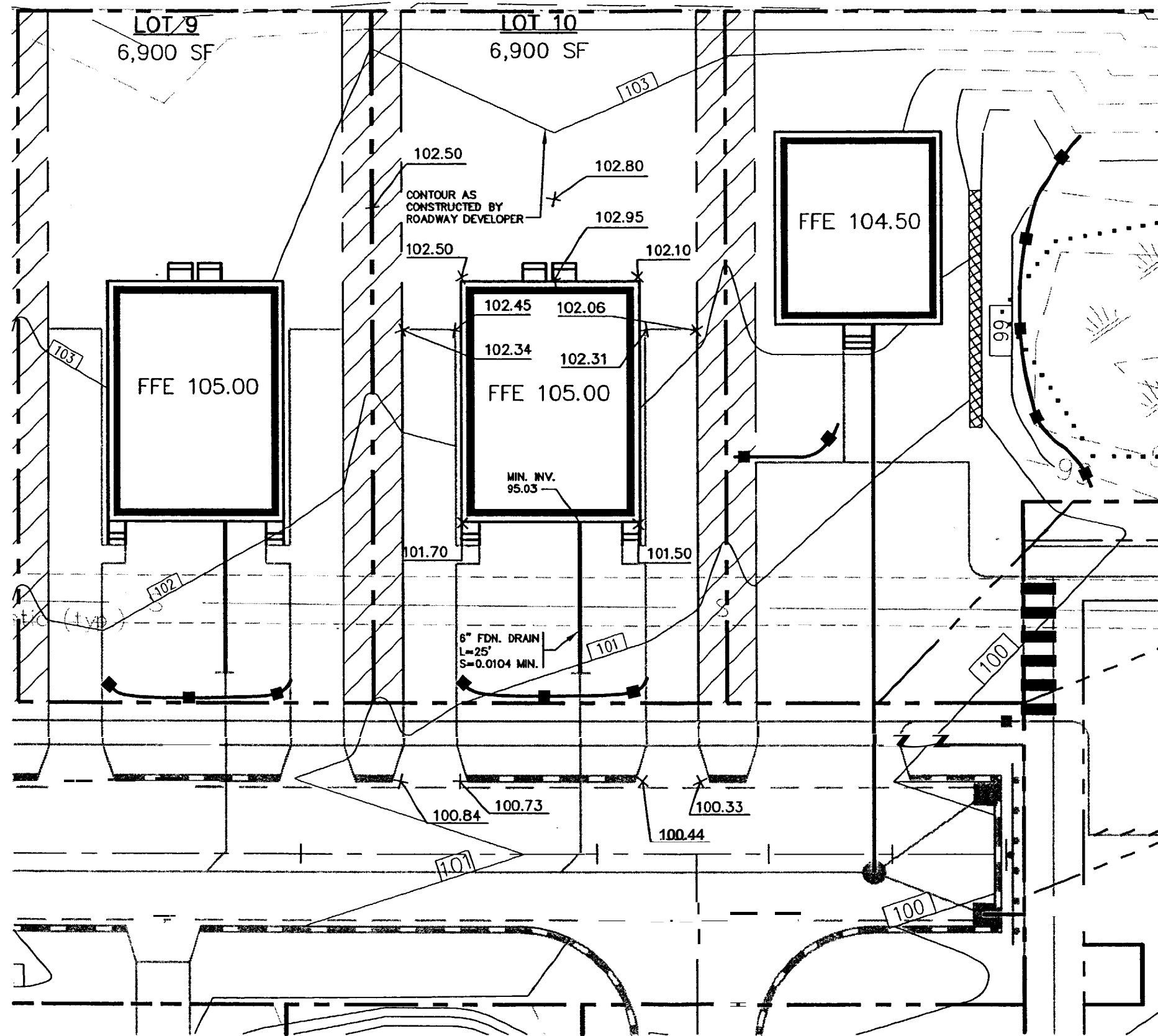
Project:

P.O. Box 1237
15 Shaker Road
Gray, ME 04039
207-657-6910
207-657-6912
E-Mail: mail@gorrillpalmer.com

Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services

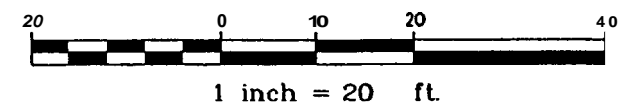
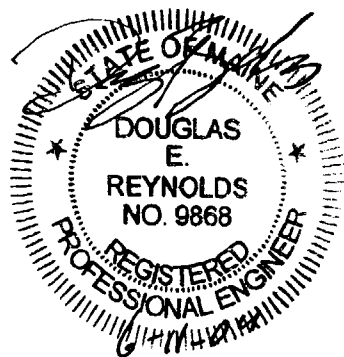
Design:	DLK	Date:	4/04
Draft:	CAH	Job No.:	632
Checked:	DER	Scale:	1"=20'
File Name:	632-LTS		

Rev.	Date	Revision



NOTES:

1. ALL DISTURBED AREAS NOT SUBJECT TO PAMMENT OR BUILDING SHALL RECEIVE 4" OF LOAM AND SEED.
2. LOT LAYOUT AND GRADING CONFIGURATIONS SHOWN ON THIS PLAN REPRESENT THE INTENDED FINAL DEVELOPMENT OF THE LOT FOR BUILDING PERMIT PURPOSES. ANY DEVIATION FROM THESE PLANS, BE IT EITHER BUILDING SIZE, PARKING CONFIGURATION, GRADING CHANGES, ETC. SHALL REWIRE REVIEW AND APPROVAL FROM M E CITY OF PORTLAND PLANNING BOARD, AS WELL AS REWUEW BY THE SUBDIVISION DEVELOPER.
3. ADDITIONAL EROSION CONTROL MEASURES OVER AND ABOVE THOSE USED BY ROADWAY CONTRACTOR MAY BE REWIRE TO MEET EROSION CONTROL BEST MANAGEMENT PRACTICES.
4. LOT DEVELOPER SHALL BE RESPONSIBLE FOR RESTORING FINAL GRADES TO ELEVATIONS PROVIDED BY ROADWAY DEVELOPER. GRADES ADJACENT TO BUILDING SHALL BE ADJUSTED TO DIRECT FLOW AWAY FROM STRUCTURES.



Design: DER	Date: 4/04
Draft: CAH	Job No.: 632
Checked: DER	Scale: 1"=20'
File Name: 632-LOTS	

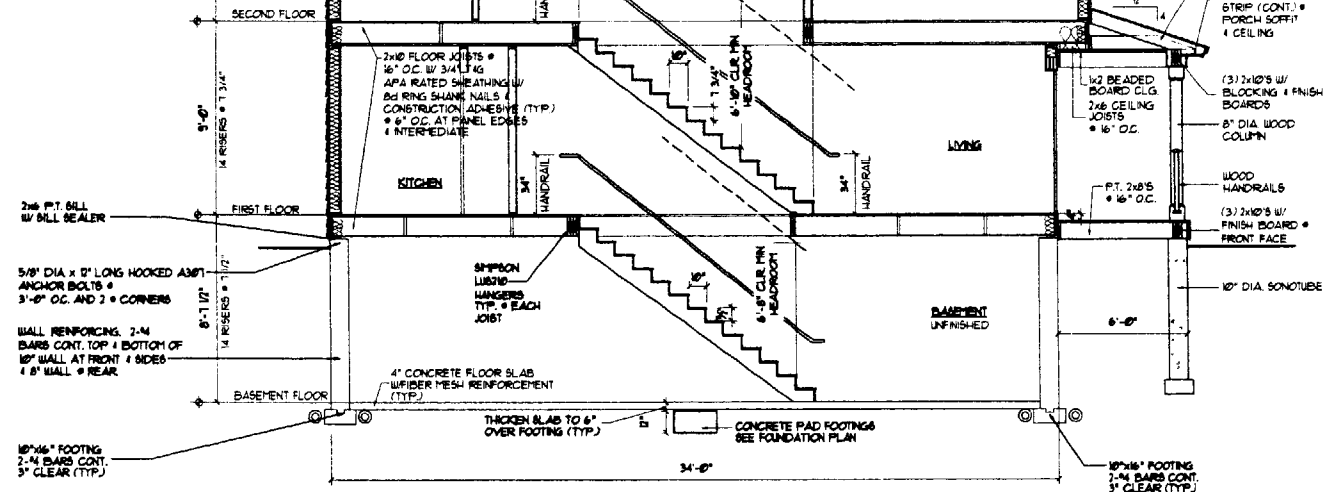
GP Gorrill-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services
 PO Box 1237
 15 Shaker Road
 Gray, ME 04039
 207-657-6910
 FAX: 207-657-6912
 E-Mail: mail@gorrillpalmer.com

Drawing Name:	Lot 10 Grading Plan	Figure No.
Project:	CARRIAGE LANE	2

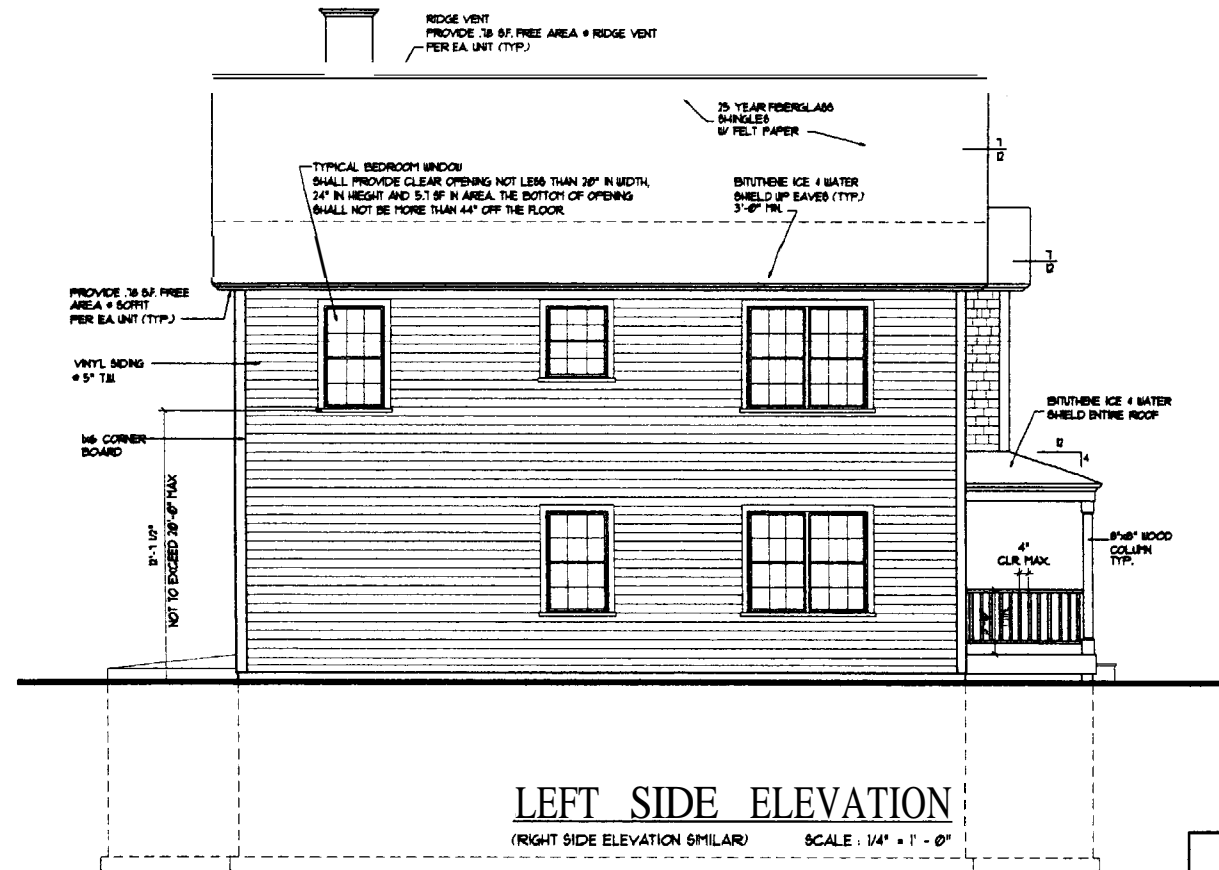
TYPICAL ROOF CONSTRUCTION

RIDGE VENT
 PRE-MANUFACTURED ROOF
 TRUSSES @ 24" O.C.
 ROOF SHINGLES
 5/8" APA RATED SHEATHING W/
 8d NAILS, RING SHANK @ 6" O.C.
 PANEL EDGES AND 6" O.C. INTERMEDIATE
 15 FELT PAPER
 (2) ROLLS 36" WIDE WATERPROOF MEMBRANE
 @ EAVES

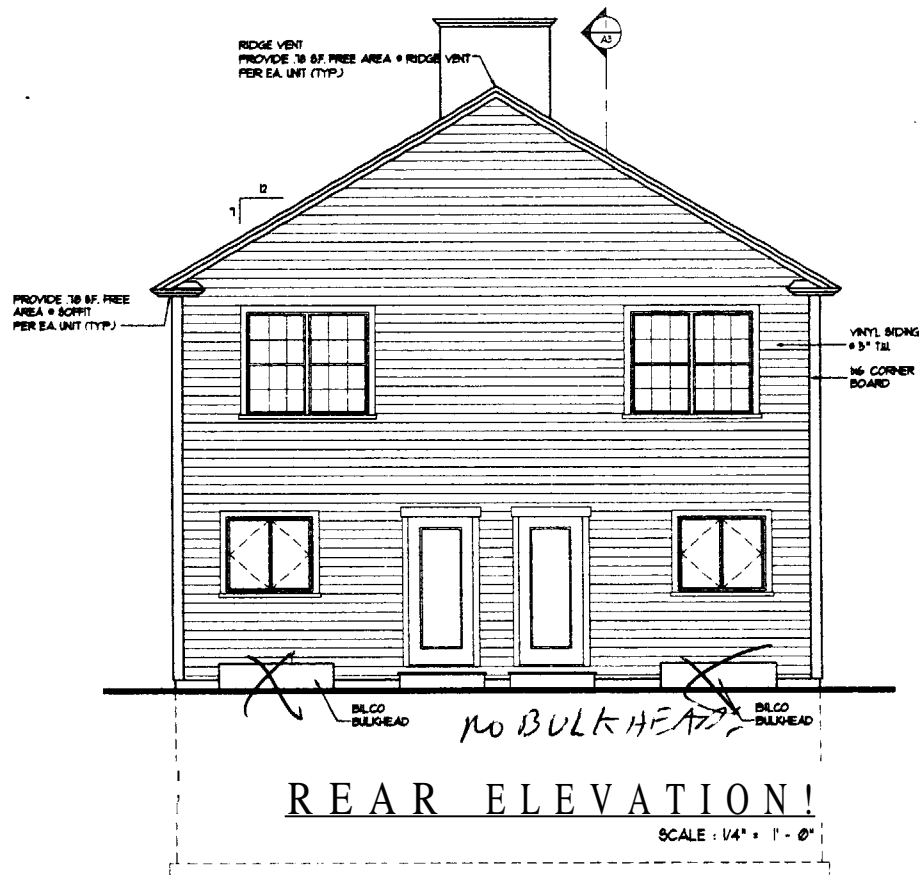
TYP. EXTERIOR WALL:
 1/2" GWS OVER
 4 MIL REIN. POLY VAPOR BARRIER
 2x6 STUDS @ 24" O.C.
 W/ SOLID 2x BLOCKING AT ALL SHEATHING
 PANEL EDGES
 1/8" APA RATED SHEATHING
 8d NAILS - RING SHANK @ 4" O.C.
 PANEL EDGES AND 6" O.C. INTERMEDIATE (TYP) OVER CONT.
 BLDG. WRAP UNDER VINYL SIDING



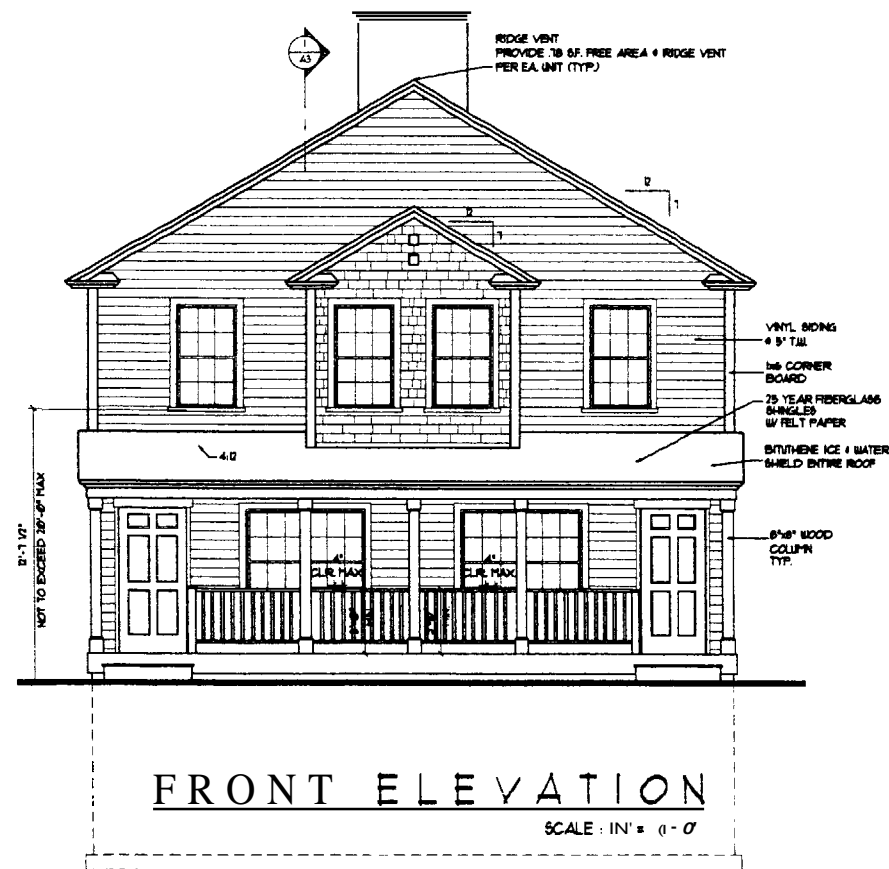
SECTION THRU MOUSE
 SCALE: 1/4" = 1' - 0"



LEFT SIDE ELEVATION
 (RIGHT SIDE ELEVATION SIMILAR) SCALE: 1/4" = 1' - 0"



REAR ELEVATION!
 SCALE: 1/4" = 1' - 0"



FRONT ELEVATION
 SCALE: 1/4" = 1' - 0"

HEADER SCHEDULE	
ROUGH OPENING	HEADER SIZE
0' - 3' - 0"	(3) - 2x6
3' - 1" - 4' - 6"	(3) - 2x8
4' - 7" - 5' - 0"	(3) - 2x10
5' - 9" - 7' - 0"	(3) - 2x12

NOTE: PROVIDE JAMBS BOTH ENDS AS FOLLOWS:
 2x6 JACK PLUS 2x6 KING UP TO 4' - 6" ROUGH OPENING
 (2) 2x6 JACKS PLUS (2) 2x6 KINGS UP TO 7' - 0" ROUGH OPENING

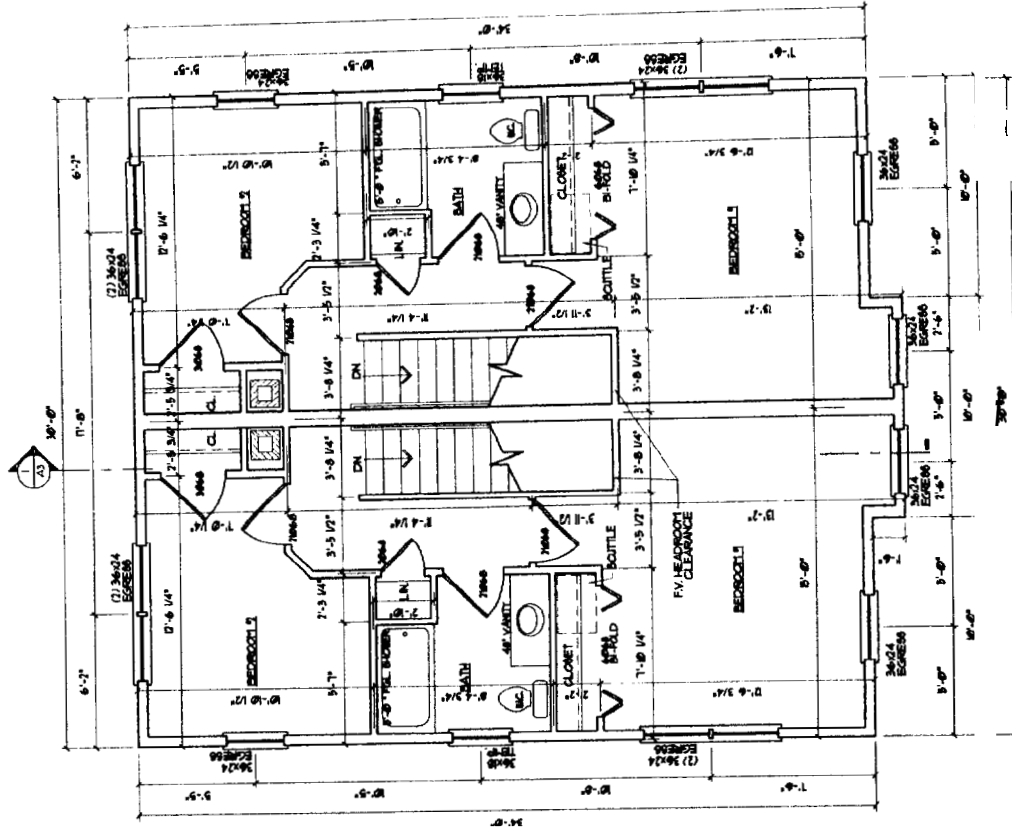
30' x 40' UNIT
 (FULL BASEMENT)
 LOT 10
 SCALE 1/4" = 1' - 0"

ELEVATIONS
 SECTION

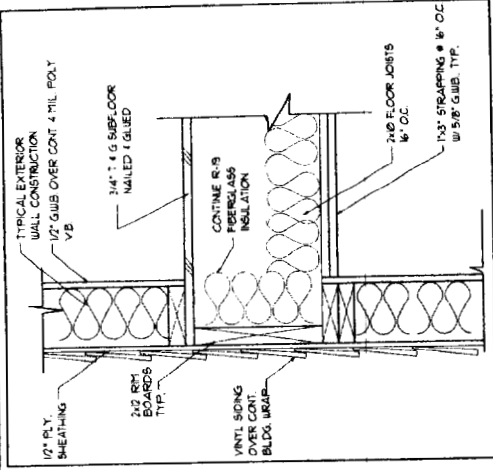
DATE
 04/15/24

A3

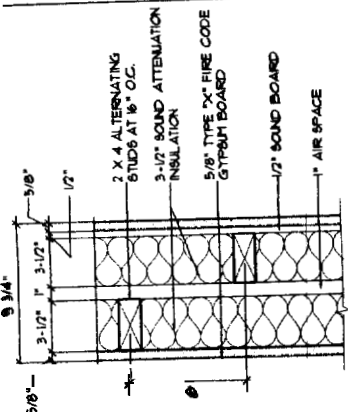
FIRST FLOOR PLAN



FLOOR FRAMING DETAIL



(1) HIRATED

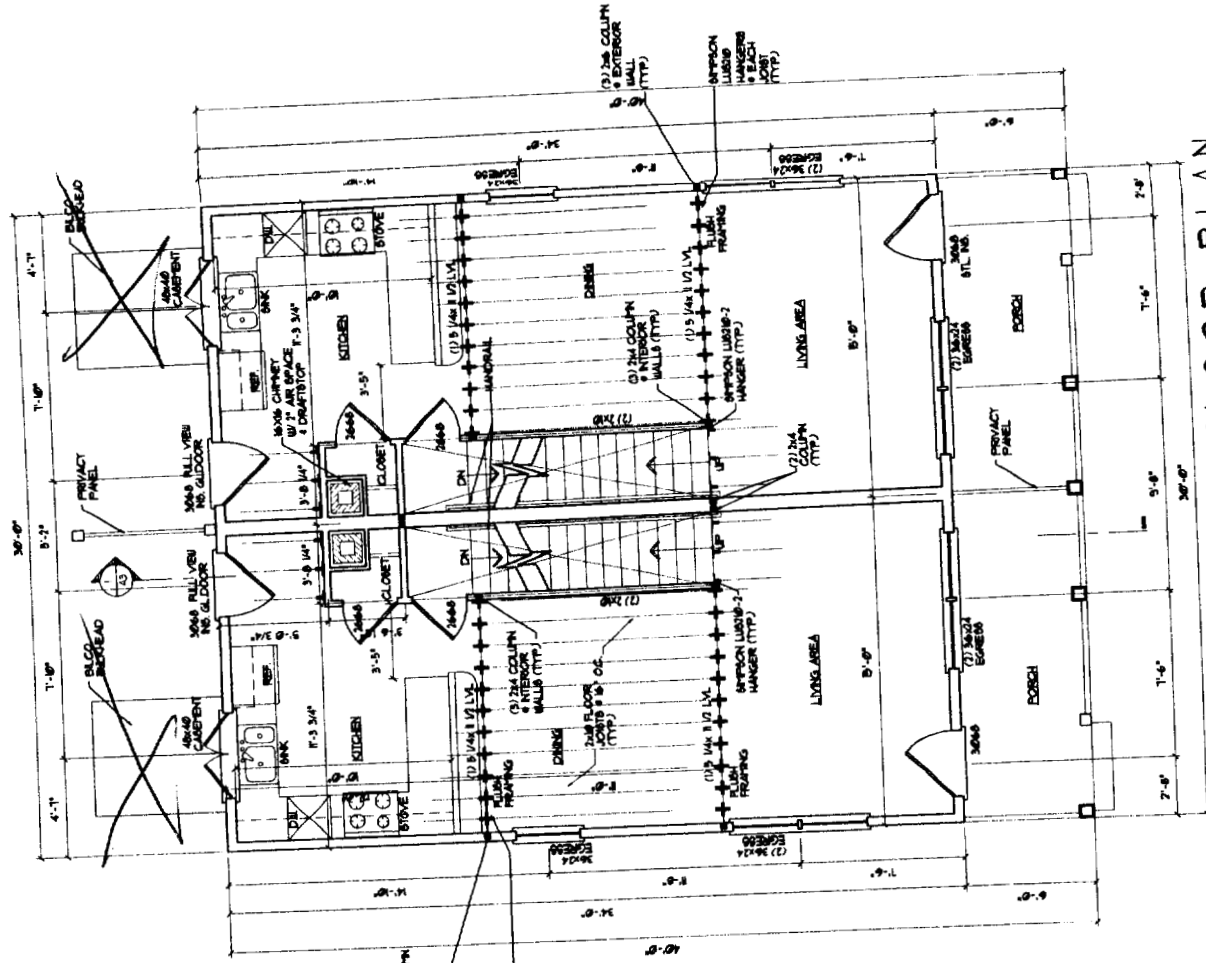


2 PARTY WALL DETAIL

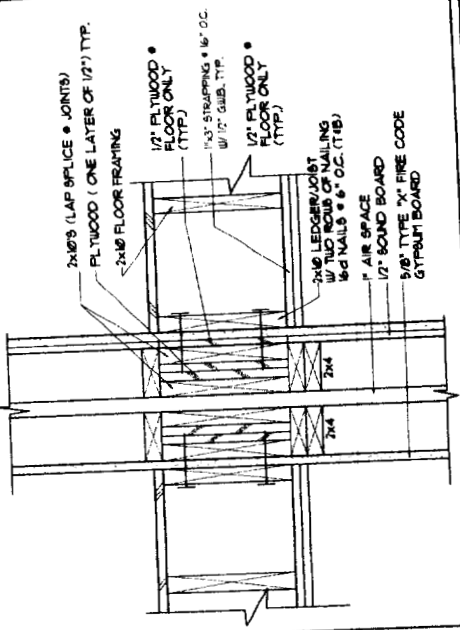
PARTY WALL DETAIL

GENERAL NOTE FOR PARTY / SHEAR WALL:

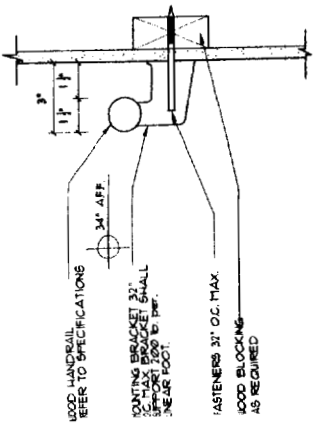
1. PROVIDE 2x4 BLOCKS. • ALL PANEL EDGES • INTERMEDIATE PROVIDE SCREWS @ 6" O.C. • PANEL EDGES • INTERMEDIATE.
2. RUN 2x4 WALL TO UNDERSIDE OF ROOF DECK (IN ATTIC SPACE) ALLOWED ONE (1) OF THE 2x4 WALLS IN THE PARTY WALL BELOW PROVIDE 1" LAYER 7/8" APA RATED MEANINGS ONE SIDE ONLY.
3. PROVIDE 2x4 BLOCKS. • ALL PANEL EDGES • INTERMEDIATE. PROVIDE 8d NAILS @ 6" O.C. • PANEL EDGES • INTERMEDIATE.
4. OBTAIN WRITTEN APPROVAL FROM AUTHORITY HAVING JURISDICTION FOR FIRE WALL RATINGS ABOVE.



SECTION • PARTY WALL DETAIL



HANDRAIL DETAIL



WOOD HANDRAIL
REFER TO SPECIFICATIONS

MOUNTING BRACKET 3" O.C. MAX. BRACKET SHALL
SUPPORT 200 LB. PER
LINEAR FOOT.

FASTENERS 3" O.C. MAX.

WOOD BLOCKING
AS REQUIRED

- GENERAL NOTES:**
- All work shall be in accordance with BOCA Basic Building Code NFPA-10 National Electric Code, NFPA-70 National Fire Protection Code, NFPA-92, NFPA-101, NFPA-102, NFPA-103, NFPA-104, NFPA-105, NFPA-106, NFPA-107, NFPA-108, NFPA-109, NFPA-110, NFPA-112, NFPA-113, NFPA-114, NFPA-115, NFPA-116, NFPA-117, NFPA-118, NFPA-119, NFPA-120, NFPA-121, NFPA-122, NFPA-123, NFPA-124, NFPA-125, NFPA-126, NFPA-127, NFPA-128, NFPA-129, NFPA-130, NFPA-131, NFPA-132, NFPA-133, NFPA-134, NFPA-135, NFPA-136, NFPA-137, NFPA-138, NFPA-139, NFPA-140, NFPA-141, NFPA-142, NFPA-143, NFPA-144, NFPA-145, NFPA-146, NFPA-147, NFPA-148, NFPA-149, NFPA-150, NFPA-151, NFPA-152, NFPA-153, NFPA-154, NFPA-155, NFPA-156, NFPA-157, NFPA-158, NFPA-159, NFPA-160, NFPA-161, NFPA-162, NFPA-163, NFPA-164, NFPA-165, NFPA-166, NFPA-167, NFPA-168, NFPA-169, NFPA-170, NFPA-171, NFPA-172, NFPA-173, NFPA-174, NFPA-175, NFPA-176, NFPA-177, NFPA-178, NFPA-179, NFPA-180, NFPA-181, NFPA-182, NFPA-183, NFPA-184, NFPA-185, NFPA-186, 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NFPA-987, NFPA-988, NFPA-989, NFPA-990, NFPA-991, NFPA-992, NFPA-993, NFPA-994, NFPA-995, NFPA-996, NFPA-997, NFPA-998, NFPA-999.
 - All applicable Federal, State and Municipal regulations shall be followed, including the Federal Department of Labor Occupational Safety and Health Act.
 - All required City and State permits shall be obtained before any construction begins.
 - It is the contractor's sole responsibility to determine erection procedures and sequence to be followed. The contractor shall be responsible for obtaining all necessary permits and for the safety of the construction during erection. The contractor shall be responsible for the addition of necessary bracing, shoring, temporary bracing, and other measures to maintain the stability of the structure during erection. The contractor shall be responsible for the safety of the construction during erection.
 - Structural, Mechanical, Electrical and Plumbing design and installation by others shall be performed in accordance with local, State and Federal standards.
 - All the rings indicated shall be continuous to underside of the raised ceiling or underside of roof deck. Seal all openings & mechanical penetrations with approved fire stopping material.
 - Building shall be sprinklered in accordance with NFPA-101. Contractor shall submit plans for State Fire Marshal approval prior to construction in accordance to state law.
 - Building shall have approved means egress in accordance with NFPA-101 Life Safety Code. Smoke detectors shall include alarm that is audible in the sleeping rooms of each unit.
 - Portable fire extinguishers shall be provided in all hazardous areas in accordance to NFPA-101. Local authority having jurisdiction needs to provide written requirements.
 - Balconies must maintain a 42" guardrail height and shall be kept free and clear of ice and snow at all times to ensure the second means of egress.
 - MVAC installation to be in accordance with ASHRAE, NFPA-96A, NFPA-96B, NFPA-96C and all Federal, local and NFPA-96A, NFPA-96B, NFPA-96C as applicable.

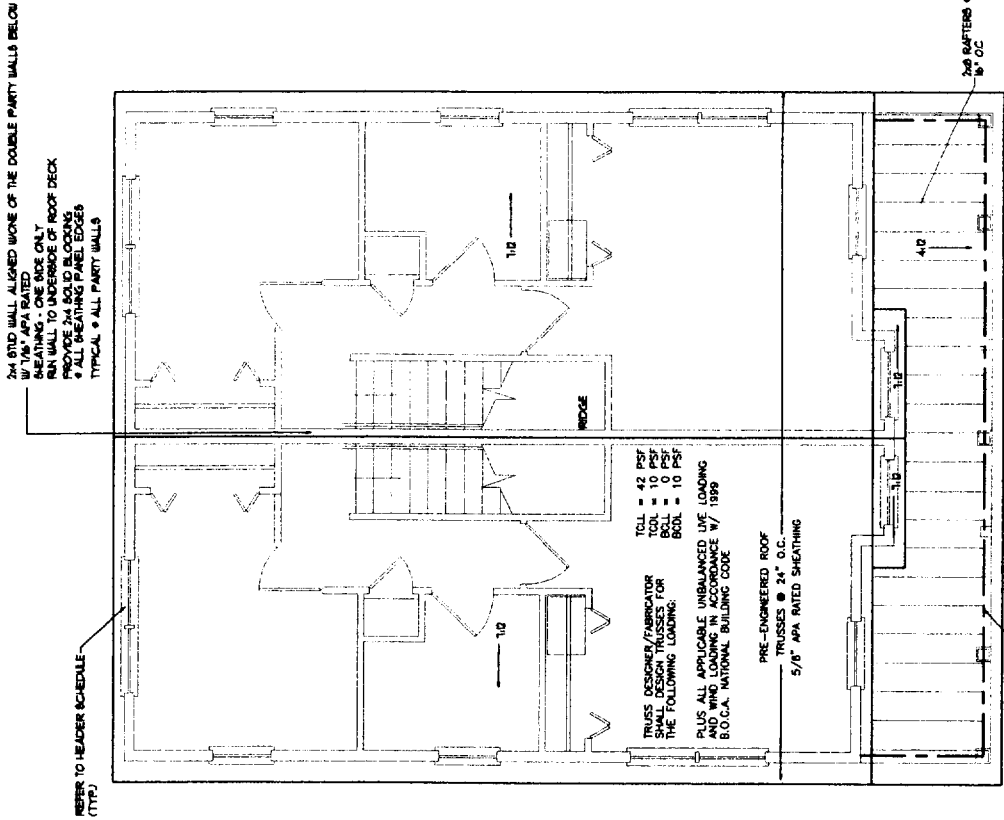
FRAMING NOTES:

- All exterior walls to be 2x4 wood stud walls. 2x4 studs @ 16" O.C. with 1/2" gypsum board on exterior face of wall. 1/2" gypsum board on interior face of wall. APA Rated Sheathing - EXTERIOR FACE OF WALL.
- All interior walls to be 2x4 wood stud walls (unless noted otherwise) w/ ONE LAYER 1/2" GYPSUM BOARD EACH SIDE.
- INSTALL BLOCKING BEHIND ALL SURFACE APPLIED FINISHES, TRIM, AND SHELVES WHEN MOUNTED ON WALLS.
- THE LOCATION OF ALL DOOR FRAMES SHALL BE 4 1/2" (UNLESS NOTED OTHERWISE) FROM ADJACENT WALLS.

FOUNDATION NOTES:

- PROVIDE SILL SEALER ON TOP OF ALL FOUNDATION WALLS.
- FOUNDATION WALLS SHALL BE BACKFILLED IMMEDIATELY ON BOTH SIDES.
- ALL STEEL REINFORCING IN FOOTINGS TO BE A MINIMUM 3" CLEAR FROM BOTTOM OF FOOTING.
- ALL STEEL REINFORCING IN FOOTINGS SHALL BE ON GRADE TO BE MINIMUM OF 3" CLEAR FROM FACE OF WALL.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESURE TREATED (TYPICAL) TO PROVIDE RETENTION PER NFPA-101.
- ALL CONCRETE SURFACES SHALL HAVE A STEEL TRIMMED, LIGHT ENCOFFINING.
- SET BOTTOM OF FOOTING MIN. 4" BELOW GRADE.
- SET ALL FOOTINGS ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL.
- GRADIENT LEAK IN SLAB.
- IF FIRST FLOOR SLAB SHALL BE 4" THICK CONCRETE SLAB ON GRADE w/ REINFORCING. PROVIDE CONTROL JOINTS @ 8'-0" SPACING (TYPICAL).
- ALL CONCRETE SHALL BE 3000 PSI (75) STRENGTH AT 28 DAYS.
- ALL CONCRETE SHALL BE AIR ENTRAINED 4-6%.
- ALL OTHER JOINTS SHALL BE PRE-APPROVED.

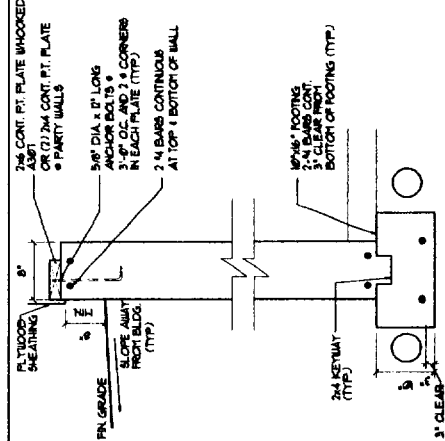
NOTE: BUILDING TO BE SPRINKLERED PER NFPA-101



REFER TO HEADER SCHEDULE (TYP)

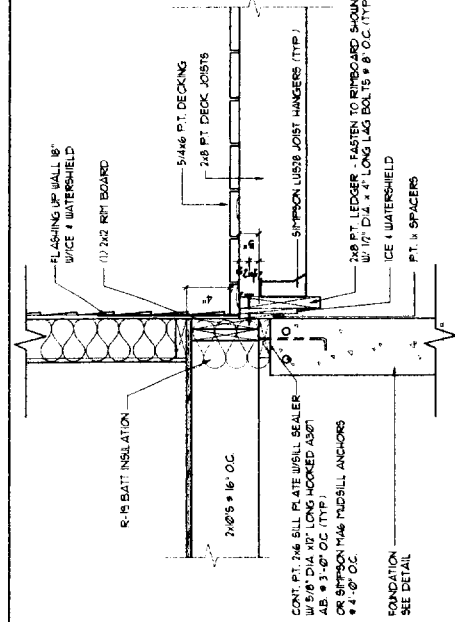
ROOF FRAMING PLAN

SCALE: 1/4" = 1' - 0"



1 TYPICAL FOUNDATION WALL

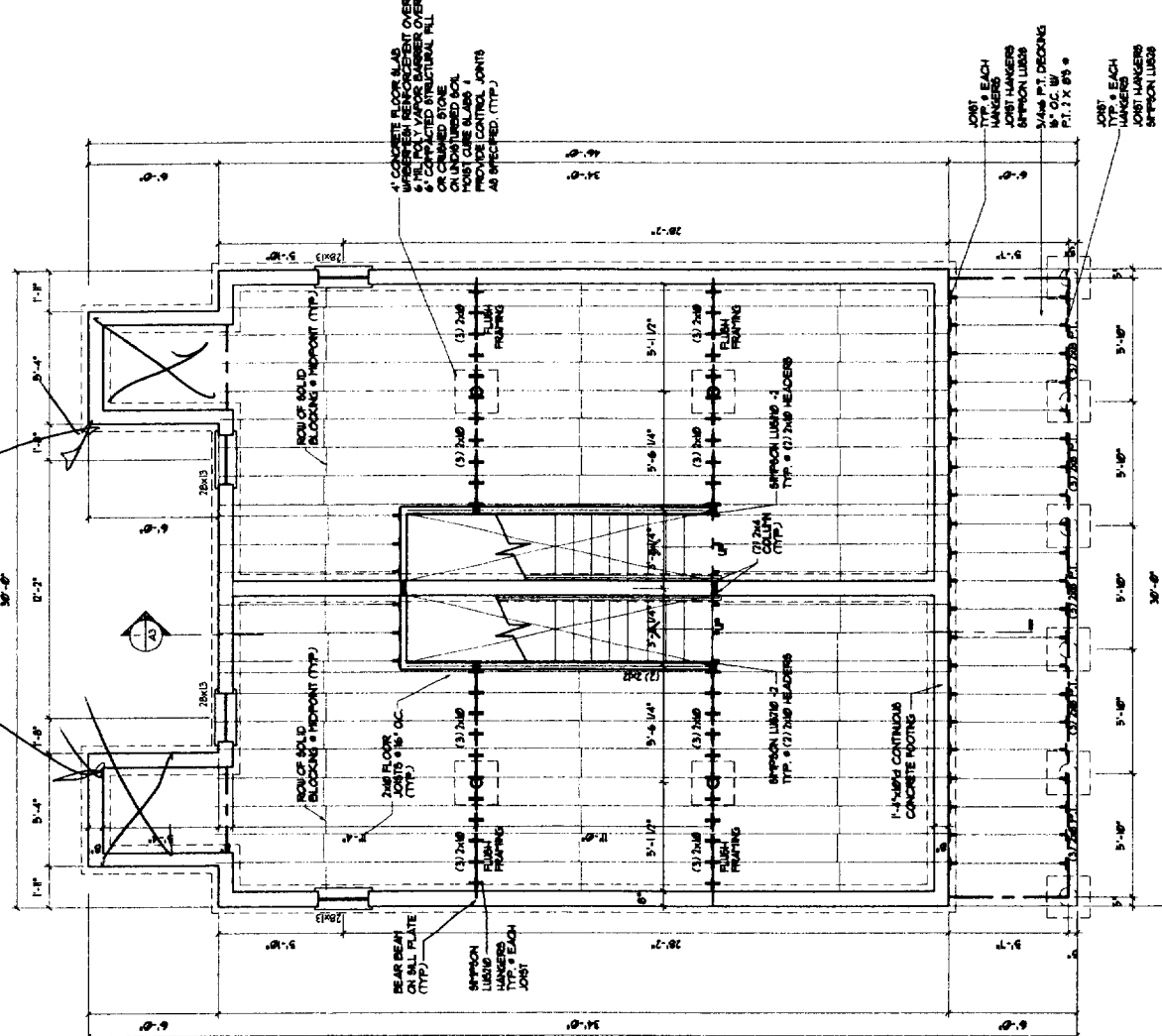
SCALE: 1/4" = 1' - 0"



2 DECK JOIST CONNECTION DETAIL

SCALE: 1/4" = 1' - 0"

NO BLOCK HERE



FOUNDATION / FIRST FLOOR FRAMING PLAN

SCALE: 1/4" = 1' - 0"

FOUNDATION PLAN

ROOF PLAN

DETAILS

DRAWINGS THIS SHEET

DATE

OWNER

AI

30 x 40 UNIT

(FULL BASEMENT)

SCHEME 'A'