

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED

Location of Construction: 51 Maggie Ln (A01) Lot #22		Owner Name: W A One	Owner Address: Po Box 10127	Issue Date: JUN 22 2001	Permit No: 01-0400	Phone: 73-4988
Business Name: n/a		Contractor Name: no contractor/self	Contractor Address: n/a n/a	CITY OF PORTLAND		
Lessee/Buyer's Name: n/a		Phone: n/a	Permit Type: Multi Family		Zone: R-5	

Past Use: Vacant	Proposed Use: Nine Units	Permit Fee: \$2,424.00	Cost of Work: \$400,000.00	CEO District: 1
Proposed Project Description: Build Multi Family		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group: Type: MULTIFAMILY 1/1000? WITH REQUIREMENTS Signature: [Signature] Date: 500.30.5		
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: [Signature] Date:		

Permit Taken By: gg	Date Applied For: 04/25/2001	Zoning Approval	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland N/A <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone Panel 7 Zone X <input checked="" type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan # 2000-0192 Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> Date: 6/19/01	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE
PERMIT IS ISSUED

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: Lot 22 Maggie Lane

Total Square Footage of Proposed Structure <u>8424</u>	Square Footage of Lot <u>67,949</u>
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Tax Assessor's Chart, Block & Lot Number Chart# <u>342</u> Block# <u>A</u> Lot# <u>014</u>	Owner: <u>W.A. ONE INC.</u> <u>P.O. Box 10127</u> <u>Portland ME 04104</u>	Telephone#: <u>773-4988</u>
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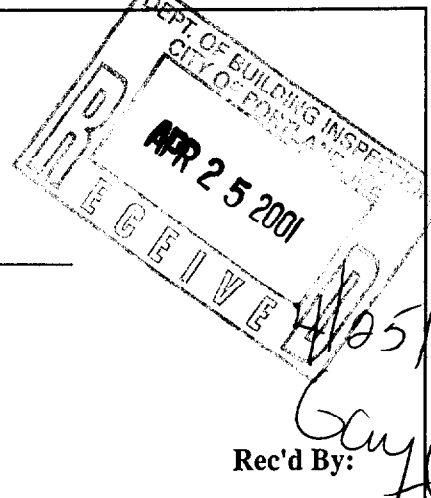
Lessee/Buyer's Name (If Applicable) <u>-</u>	Owner's/Purchaser/Lessee Address: <u>-</u>	Cost Of Work: <u>\$400,000</u> Fee: <u>\$2,424.00</u>
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Current use: Vacant land

If the location is currently vacant, what was prior use:
Approximately how long has it been vacant: for ever

Proposed use: nine units

Project description: nine units

Contractor's Name, Address & Telephone: <u>owner</u>	
Applicants Name, Address & Telephone: <u>owner</u>	
Who should we contact when the permit is ready: <u>Jim Wolf</u> Telephone: <u>773-4988</u>	
If you would like the permit mailed, what mailing address should we use: <u>owner</u>	

Rec'd By: Guy

**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE
PERMIT IS ISSUED**

PLOT PLAN INCLUDES THE FOLLOWING:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches; a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation (based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

A COMPLETE SET OF CONSTRUCTION DRAWINGS INCLUDES THE FOLLOWING:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
 - Floor Plans & Elevations
 - Window and door schedules
 - Foundation plans with required drainage and damp proofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

**SEPARATE PERMITS ARE REQUIRED FOR INTERNAL & EXTERNAL PLUMBING, HVAC
AND ELECTRICAL INSTALLATIONS**

- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

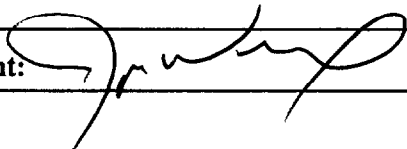
Minor/Minor Site Review Fee for New Single Family homes: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

**ONE SET OF SUBMISSIONS INCLUDING CONSTRUCTION AND SITE
PLAN DRAWINGS MUST BE SUBMITTED ON PAPER NO LARGER
THAN 11" x 17" BEFORE ANY BUILDING PERMIT WILL BE ISSUED**

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:



Date:

4/25/07

BUILDING PERMIT REPORT

DATE: 27 APRIL 2001 ADDRESS: 33 34 St Maggie Lane Lot 22 CBL: 342-A-014
REASON FOR PERMIT: To Construct a multi single family dwelling (Sec 310.5)
BUILDING OWNER: W A ONE

PERMIT APPLICANT: CONTRACTOR Owner

USE GROUP: R-3 CONSTRUCTION TYPE: 50 CONSTRUCTION COST: \$400,000.00 PERMIT FEES: \$2,424.00

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: *1 *2 *3 *4 *5 *6 *7
*9 *10 *11 *14 *15 *16 *20 *23 *27 *28 *29 *30 *31 *32 *33 *34 *35 *36

- *1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- *2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) "ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."
- *3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- *4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts. Section 2305.17
- *5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
- *6. Precaution must be taken to protect concrete and masonry. Concrete Sections 1908.9-19.8.10/ Masonry Sections 2111.3-2111.4.
- *7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1999)
- *9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
- *10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
- *11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42". In occupancies in Use Group A, B.H-4, I-1, I-2, M, R, public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. Handrails shall be a minimum of 34" but not more than 38". Exception: Handrails that form part of a guard shall have a height not less than 36 inches (914 mm) and not more than 42 inches (1067 mm). Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7)
12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
- *13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/4" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
- *14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
- *15. The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less than 36".
- *16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
17. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

4/25

- *20. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
- In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
22. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
- *23. The Sprinkler System shall be installed and maintained to NFPA #13 Standard. *NFPA #13R*
- *24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
25. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
- *27. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
- *28. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
- *29. All requirements must be met before a final Certificate of Occupancy is issued.
- *30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
- *31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16) *All requirements and conditions on the attached site development review sheets 9/16*
- *32. Please read and implement the attached Land Use Zoning report requirements. *Attached site development review sheets 9/16*
- *33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code. *See me*
- *34. Bridging shall comply with Section 2305.16.
- *35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
- *36. All flashing shall comply with Section 1406.3.10.
- *37. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).

[Signature]
F. Samuel Hoffes, Building Inspector

Cc: Lt. McDougall, PFD
Marge Schmuckal, Zoning Administrator
Michael Nugent, Inspection Service Manager

PSH 10/1/00 *[Signature]*

****This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.**

*****THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. (You Shall Call for Inspections)**

******ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.**

*******CERTIFICATE OF OCCUPANCY FEE \$50.00**

CITY OF PORTLAND, ME
BOCA 1999 Plan Review Record
One and Two Family Dwelling

Valuation: \$400,000.00 Plan Review # 436/2001

Fee: \$2,424.00 Date: 27 APRIL 2001

Building Location: 31 Maggie Lane (Q120) ZBL: 342-A-014

Building Description: Multi Single Family (Section 310.5)

Reviewed By: S. Hoffses

Use or Occupancy: R-3 Sec. 310.5 Type of Construction: 5B

*NR: Not Required NA: Not Applicable SR: See Report X: OK per plan

Correction List		
NO:	Description	Code Section
1.	All Site Plan and building Code requirements shall be completed before a Certificate of occupancy can or will be issued	111.0 118.0
2.	Before placing Foundation concrete you shall call this office for a setback inspection	111.0
3.	Foundation drains shall comply with section	1813.5.2
4.	Foundation anchors shall comply with section	2305.12
5.	Water proofing & damp proofing shall comply with section 1813.0	1813.0
6.	All Chimney & vents shall comply with NFPA 211	NFPA 211
7.	Sound Transmission Control shall comply with section 1214.0	1214.0
8.	Flashing shall comply with section 1406.3.10	1406.3.10
9.	STAIR Construction shall comply with section	1014.0
10.	Guardrails shall comply with section 1021.0	1021.0
11.	Hand rails shall comply with section 1022.0	1022.0
12.	Sleeping room egress or rescue with section	1010.4
13.	Smoke detectors shall comply with section	920.2.2
14.	Sprinkler suppression sys. shall comply with NFPA 13A	NFPA 13A
15.	Venting of crawl/c attic space shall comply with sections 1210.0 & 1211.0	1210.0 1211.0
16.	All building elements shall meet fastening schedule	

REV: PSH 4-7-00

[illegible]

Foundations (Chapter 18)

Wood Foundation (1808)

NA Design
NA Installation

Footings (1807.0)

X Depth below (outside) grade 4' minimum;
but below frost line except for insulated footings.
NA Insulated footing provided
X Soil bearing value (table 1804.3)
X Footing width
X Concrete footing (1810.0) .3.1, 3.2

Foundation Walls

X Design (1812.1)
X Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2)
SA Waterproofing and damp proofing Section 1813
X Sill plate (2305.17)
SA Anchorage bolting in concrete (2305.17)
X Columns (1912)
SA Crawl space (1210.2) Ventilation
SA Crawl opening size (1210.2.1)
SA Access to crawl and attic space (1211.0)

Floors (Chapter 16-23)

X Joists - Non sleeping area LL40PSF (Table - 1606)
X Joists - Sleeping area LL30PSF (Table - 1606)
X Grade
X Spacing
X Span
X Girder 4" bearing 2305

Egress (Chapter 10)

- X One exit from dwelling unit (1010.2)
- SA Sleeping room window (1010.4)
- X EXIT DOOR (1017.3) 32" W 80" H
- X Landings (1014.3.2) stairway
- NA Ramp slope (1016.0)
- SA Stairways (1014.3) 36" W
- SA Treads (1014.6) 10" min.
- SA Riser (1014.6) 7 3/4" max.
- SA Solid riser (1014.6.1)
- SA Winders (1014.6.3)
- NA Spiral and Circular (1014.6.4)
- SA Handrails (1022.2.2.) Ht.
- SA Handrail grip size (1022.2.4) 1 1/4" to 2"
- SA Guards (1012.0) 36" min.

Smoke Detectors (920.3.2)

- SA Location and interconnection
- SA Power source

Dwelling Unit Separation Table 602

Section 310.5

Applicant: W.A. ONE

Date: 6/19/01

Address: 31 MAGGIE Lane (lot #22) C-B-L: 342-A-14

CHECK-LIST AGAINST ZONING ORDINANCE

Date - NEW

Zone Location - R-5

Interior or corner lot -

Proposed Use/Work - construct 3 multiplex units

4 unit = 26' X 72'
3 unit = 26' X 54'
2 unit = 26' X 36'

Sewage Disposal - City

Lot Street Frontage - 50' - 50' shown

Front Yard - 20' req - 38' at closest

Rear Yard - 20' req - 23' at closest

Side Yard - 12' req - 14' shown (No wooden Decks Allowed into)

Projections - Some rear Decks - Some Patios - front entry ways
The 12' set backs

Width of Lot - 90' - 205' shown

Height - 35' MAX - 25' scaled to the ridge

Lot Area - 54,000^{sq} ft - ~~70,643^{sq} ft~~ per revised

Lot Coverage/Impervious Surface - 40% = 27,179.6^{sq} ft

Area per Family - 6,000^{sq} ft per unit on 54,000^{sq} ft

Off-street Parking - 2 per unit or 18 parking spaces
+ 1 extra (one)

1/19 TOTAL req - 20 spcs shown

Loading Bays - N/A

Site Plan - major side plan & subdivision

Shoreland Zoning/Stream Protection - N/A

Flood Plains - Panel 7 zone X

typical unit sizes

18 X 26 = 468
18 X 26 = 468
600^{sq} ft min OK → 936^{sq} ft

CITY OF PORTLAND, MAINE

PLANNING BOARD

Jaimy Caron, Chair
Deborah Krichels, Vice Chair
Kenneth M. Cole III
Cyrus Y. Hagge
Erin Rodriguez
Mark Malone
Orlando E. Delogu

February 27, 2001

2000-0192

Mr. Jim Wolf
Diversified Properties, Inc.
P.O. Box 10127
Portland, ME 04104

Re: Lot 22, Maggie Lane
(ID#20000192)

Dear Mr. Wolf:

On October 24, 2000, the Portland Planning Board voted 6-0 (Cole absent) to approve the revision to the Maggie Lane subdivision Plan to consolidate Lots 1, 2 and 3 into two (2) lots, with three (3) dwelling units to be built on each of the two lots. Alterations of original approval recording plat have been approved by the City of Portland in accordance with Section 14-496(3) of the Subdivision Ordinance.

The Planning Board also voted 6-0 (Cole absent) to approve your application for a 9 unit multiplex located at Lot 22, Maggie Lane. The Board found that the application met the standards of the Subdivision and Site Plan ordinance of the Land Use Code.

The approval was granted for the project with the following conditions:

Subdivision

- i. The design engineer of record, Gorrill-Palmer Consulting Engineers, Inc., shall provide a certification upon completion of construction that the work is in substantial conformance to the approved plans and that all conditions of approval have been satisfied. The applicant shall retain the design engineer to provide construction phase services including but not limited to, periodic site inspection for adherence to all required erosion and sedimentation control measures and to address any changes in the field conditions which require modifications to the design.
- ii. Access to Lot 22 access drive, from other lots will be subject to approval by the Fire Department and Traffic Engineer.

Site Plan

- i. that the applicant contact the City Arborist prior to planting of landscaping, and that the City Arborist review and approve all planting locations.

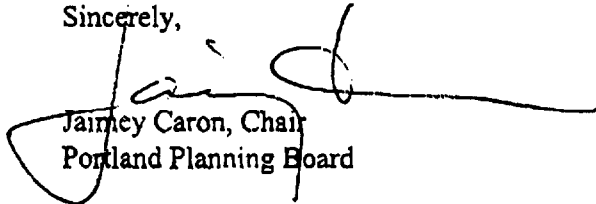
The approval is based on the submitted site plan and the findings related to subdivision and site plan review standards as contained in Planning Report #55-00 and Planning Memo dated October 24, 2000, which are attached.

Please note the following provisions and requirements for all site plan approvals:

1. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and 7 final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.
2. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
3. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
4. Prior to construction, a preconstruction meeting shall be held at the project site with the contractor, development review coordinator, Public Works representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the preconstruction meeting.
5. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)
6. The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact the Planning Staff.

Sincerely,



Jaimy Caron, Chair
Portland Planning Board

cc: Joseph E. Gray, Jr., Director of Planning and Urban Development
Alexander Jaegerman, Chief Planner
Kandice Talbot, Planner
P. Samuel Hoffses, Building Inspector
Marge Schmuckal, Zoning Administrator
Tony Lombardo, Project Engineer
Development Review Coordinator
William Bray, Director of Public Works
Nancy Knauber, Associate Engineer
Jeff Tarling, City Arborist
Charlie Lanc, Associate Corporation Counsel
Lt. Gaylen McDougall, Fire Prevention
Inspection Department
Lee Urban, Director of Economic Development
Don Hall, Appraiser, Assessor's Office
Susan Doughty, Assessor's Office
Approval Letter File

15413/106

STATUTORY WARRANTY DEED

COPY

MAGGIE LANE DEVELOPMENT, LLC, a Maine Limited Liability Company with a mailing address of P.O. Box 10127, Portland, Maine 04104

For Consideration Paid, GRANT with WARRANTY COVENANTS TO:

W.A. ONE, a Maine corporation with a mailing address of P.O. Box 10127, Portland, Maine 04104

Certain lots or parcels of land situated in the City of Portland, County of Cumberland and State of Maine, and being Lots 1, 2, 7, 15, 20 and 22 as shown on a plan entitled "Maggie Lane Subdivision" made for Maggie Lane Development LLC dated February 2, 1999, prepared by Titcomb Associates and recorded at the Cumberland County Registry of Deeds in Plan Book 200, Page 128, together with rights in common with others to Maggie Lane as shown on said Plan.

Being a portion of the premises conveyed to Grantor herein by deed from W.A. One dated of even or recent date and recorded at said Registry of Deeds, together with and subject to a utility easement set forth in said deed.

This conveyance is together with and subject to all notes and conditions as shown on said Plan.

This conveyance is together with and subject to all rights, easements, privileges and appurtenances belonging to the premises hereinabove described.

IN WITNESS WHEREOF, the said MAGGIE LANE DEVELOPMENT, LLC has caused this instrument to be signed and sealed by LLOYD B. WOLF, its MEMBER thereunto duly authorized this 15th day of APRIL, 2000.

MAGGIE LANE DEVELOPMENT, LLC

Joyce M. Yates

By: Lloyd B. Wolf
Its Authorized Member
Lloyd B. Wolf

STATE OF MAINE
CUMBERLAND, SS.

APRIL 11, 2000

Then personally appeared the above-named Lloyd B Wolf,
its Authorized member of MAGGIE LANE DEVELOPMENT, LLC as aforesaid
and acknowledged the foregoing instrument to be his free act and deed in his said
capacity and the free act and deed of said Limited Liability Company.

Before me,

Joyce M. Yates
Attorney at Law/Notary Public

JOYCE M. YATES
NOTARY PUBLIC, MAINE
MY COMMISSION EXPIRES SEPTEMBER 16, 2003

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

20000192

I. D. Number

Maggie Lane Development

Applicant

PO Box 10127, Portland, ME 04104

Applicant's Mailing Address

Gorrell/Palmer Eng

Consultant/Agent

10/10/00

Application Date

Maggie Lane Lot 22

Project Name/Description

Maggie Ln, Portland Me 04103

Address of Proposed Site

Applicant or Agent Daytime Telephone, Fax

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):
☒ New Building ☐ Building Addition ☐ Change Of Use ☒ Residential
☐ Office ☐ Retail ☐ Manufacturing ☐ Warehouse/Distribution ☐ Parking Lot ☒ Other (specify) **9 Units**

Proposed Building square Feet or # of Units **1.5** Acreage of Site **R5** Zoning

Check Review Required:

☒ Site Plan (major/minor) ☐ Subdivision # of lots _____ ☐ PAD Review ☐ 14-403 Streets Review
☐ Flood Hazard ☐ Shoreland ☐ Historic Preservation ☐ DEP Local Certification
☐ Zoning Conditional Use (ZBA/PB) ☐ Zoning Variance ☐ Other _____

Fees Paid: Site Plan **\$600.00** Subdivision **\$125.00** Engineer Review Date: **10/10/00**

Inspections Approval Status:

Reviewer _____

☐ Approved ☐ Approved w/Conditions see attached ☐ Denied
Approval Date _____ Approval Expiration _____ Extension to _____ ☐ Additional Sheets Attached
☐ Condition Compliance signature _____ date _____

Performance Guarantee ☐ Required* ☐ Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issued	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	
	date		
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date

Jim Wolf
773-4988

Site Review Pre-Application
Multi-Family/Attached Single Family Dwellings/Two-Family Dwelling
or Commercial Structures and Additions Thereto

In the interest of processing your application in the quickest possible manner, please complete the Information below for Site Plan Review

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

Maggie Lane Development

Applicant

P.O. Box 10127

Application Date

10/10/00

Applicant's Mailing Address

Portland, ME 04104

Project Name/Description

Lot 22 Maggie Lane

Consultant/Agent

Gerrill / Palmer Engineers

Address Of Proposed Site

Applicant/Agent Daytime telephone and FAX

Assessor's Reference, Chart#, Block, Lot#

Proposed Development (Check all that apply) ☒ New Building ☐ Building Addition ☐ Change of Use ☒ Residential ☐ Office ☐ Retail
☐ Manufacturing ☐ Warehouse/Distribution ☐ Other(Specify) _____

9 units

Proposed Building Square Footage and /or # of Units

1.5 Acres

Acreage of Site

R-5

Zoning

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) 7 sets of Site Plan packages containing the information found in the attached sample plans and checklist.

(Section 14-522 of the Zoning Ordinance outlines the process, copies are available for review at the counter, photocopies are \$ 0.25 per page)

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if an approval for the proposed project or use described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this approval at any reasonable hour to enforce the provisions of the codes applicable to this approval.

Signature of applicant:

Date:

10/10/01

Site Review Fee: Major \$500.00 Minor 400.00

This application is for site review ONLY, a Building Permit application and associated fees will be required prior to construction.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Insp Copy**

2000-0192

Application I. D. Number

10/10/2000

Application Date

Maggie Lane Lot #22

Project Name/Description

Maggie Lane Development

Applicant

PO Box 10127, Portland, ME 04104

Applicant's Mailing Address

Gorill-Palmer Consulting Eng.

Consultant/Agent

Agent Ph: 207-657-6910

Agent Fax: 207-657-6912

Applicant or Agent Daytime Telephone, Fax

7 - 7 Maggie Ln, Portland, Maine 04103

Address of Proposed Site

342 A014001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): ☒ New Building ☐ Building Addition ☐ Change Of Use ☒ Residential ☐ Office ☐ Retail
☐ Manufacturing ☐ Warehouse/Distribution ☐ Parking Lot ☒ Other (specify) 9 Units

Proposed Building square Feet or # of Units 1.5
Acreage of Site

R5
Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Plan \$500.00 Subdivision \$125.00 Engineer Review _____ Date: 10/10/2000

Insp Approval Status:

Reviewer Marge Schmuckal

- ☐ Approved ☒ Approved w/Conditions
See Attached ☐ Denied

Approval Date 06/19/2001

Approval Expiration 06/19/2002

Extension to _____

☒ Additional Sheets
Attached

☒ Condition Compliance

Marge Schmuckal
signature

06/19/2001
date

Performance Guarantee

☒ Required*

☐ Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|--|---------------------------|--|--------------------------------------|
| <input checked="" type="checkbox"/> Performance Guarantee Accepted | <u>06/07/2001</u>
date | <u>\$70,613.00</u>
amount | <u>06/04/2003</u>
expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____
date | _____
amount | |
| <input type="checkbox"/> Building Permit Issued | _____
date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____
date | <u>remaining balance</u> | <u>signature</u> |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____
date | <input type="checkbox"/> Conditions (See Attached) | <u>expiration date</u> |
| <input type="checkbox"/> Final Inspection | _____
date | <u>signature</u> | |
| <input type="checkbox"/> Certificate Of Occupancy | _____
date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____
date | <u>signature</u> | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____
submitted date | <u>amount</u> | <u>expiration date</u> |

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Planning Copy

lot #22

Maggie Lane Development

Applicant

PO Box 10127, Portland, ME 04104

Applicant's Mailing Address

Gorrill-Palmer Consulting Eng.

Consultant/Agent

Agent Ph: 207-657-6910

Agent Fax: 207-657-6912

Applicant or Agent Daytime Telephone, Fax

2000-0192

Application I. D. Number

10/10/2000

Application Date

Maggie Lane Lot #22

Project Name/Description

7 - 7 Maggie Ln, Portland, Maine 04103

Address of Proposed Site

342 A014001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): ☒ New Building ☐ Building Addition ☐ Change Of Use ☒ Residential ☐ Office ☐ Retail
☐ Manufacturing ☐ Warehouse/Distribution ☐ Parking Lot ☒ Other (specify) **9 Units**

Proposed Building square Feet or # of Units	1.5 Acreage of Site	R5 Zoning
---	------------------------	--------------

Check Review Required:

<input checked="" type="checkbox"/> Site Plan (major/minor)	<input type="checkbox"/> Subdivision # of lots _____	<input type="checkbox"/> PAD Review	<input type="checkbox"/> 14-403 Streets Review
<input type="checkbox"/> Flood Hazard	<input type="checkbox"/> Shoreland	<input type="checkbox"/> Historic Preservation	<input type="checkbox"/> DEP Local Certification
<input type="checkbox"/> Zoning Conditional Use (ZBA/PB)	<input type="checkbox"/> Zoning Variance	<input type="checkbox"/> Other _____	

Fees Paid: Site Plan **\$500.00** Subdivision **\$125.00** Engineer Review **\$188.00** Date **04/12/2001**

Planning Approval Status:

Reviewer **Kandi Talbot**

☐ Approved ☒ Approved w/Conditions
See Attached ☐ Denied

Approval Date **10/24/2000** Approval Expiration **10/24/2001** Extension to _____ ☒ Additional Sheets
Attached

☒ OK to Issue Building Permit **Kandi Talbot** **06/11/2001**
signature date

Performance Guarantee ☒ Required* ☐ Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	06/07/2001 date	\$70,613.00 amount	06/04/2003 expiration date
<input type="checkbox"/> Inspection Fee Paid	_____ date	_____ amount	
<input type="checkbox"/> Building Permit Issue	_____ date		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	expiration date
<input type="checkbox"/> Final Inspection	_____ date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date		
<input type="checkbox"/> Performance Guarantee Released	_____ date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____ date	signature	

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

Maggie Lane Development

Applicant

PO Box 10127, Portland, ME 04104

Applicant's Mailing Address

Gorrill-Palmer Consulting Eng.

Consultant/Agent

Agent Ph: 207-657-6910

Agent Fax: 207-657-6912

Applicant or Agent Daytime Telephone, Fax

2000-0192

Application I. D. Number

10/10/2000

Application Date

Maggie Lane Lot #22

Project Name/Description

7 - 7 Maggie Ln, Portland, Maine 04103

Address of Proposed Site

342 A014001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of Planning

- 1 Subdivision:
 - i. The design engineer of record, Gorrill-Palmer Consulting Engineers, Inc. Shall provide a certification upon completion of construction that the work is in substantial conformance to the approved plans and that all conditions of approval have been satisfied. The applicant shall retain the design engineer to provide construction phase services including but not limited to, periodic site inspection for adherence to all required erosion and sedimentation control measures and to address any changes in the field conditions which require modifications to the design.
- 2 ii. Access to Lot 22 access drive, from other lots will be subject to approval by the Fire Department and Traffic Engineer.
- 3 Site Plan:
 - i. That the applicant contact the City Arborist prior to planting of landscaping, and that the City Arborist review and approve all planting locations.

Approval Conditions of Insp

- 1 This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2 Separate permits shall be required for future decks, sheds, pools, and/or garage.
- 3 Your duplex may not have wooden, constructed decks because of the setback requirements. These may be patio brick on the ground. In the triplex, the unit closest to Maggie Lane may not have a wooden, constructed deck because of the setback requirements. This may be patio brick on the ground.
- 4 Please note that there are NO DAYLIGHT BASEMENTS shown on any of your submitted plans. Any changes to you structure would require separate permits and reviews.

Approval Conditions of DRC

- 1 See Planner's conditions

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2000-0192

Application I. D. Number

10/10/2000

Application Date

Maggie Lane Lot #22

Project Name/Description

Maggie Lane Development

Applicant

PO Box 10127, Portland, ME 04104

Applicant's Mailing Address

Gorrill-Palmer Consulting Eng.

Consultant/Agent

Agent Ph: 207-657-6910

Agent Fax: 207-657-6912

Applicant or Agent Daytime Telephone, Fax

7 - 7 Maggie Ln, Portland, Maine 04103

Address of Proposed Site

342 A014001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): ☒ New Building ☐ Building Addition ☐ Change Of Use ☒ Residential ☐ Office ☐ Retail
☐ Manufacturing ☐ Warehouse/Distribution ☐ Parking Lot ☒ Other (specify) **9 Units**

Proposed Building square Feet or # of Units

1.5
Acreage of Site

R5
Zoning

Check Review Required:

☒ Site Plan (major/minor) ☐ Subdivision # of lots ☐ PAD Review ☐ 14-403 Streets Review
☐ Flood Hazard ☐ Shoreland ☐ Historic Preservation ☐ DEP Local Certification
☐ Zoning Conditional Use (ZBA/PB) ☐ Zoning Variance ☐ Other

Fees Paid: Site Plan **\$500.00** Subdivision **\$125.00** Engineer Review **\$188.00** Date **04/12/2001**

DRC Approval Status:

Reviewer **Steve Bushey**

☐ Approved ☒ Approved w/Conditions See Attached ☐ Denied

Approval Date **10/24/2000**

Approval Expiration **10/24/2001**

Extension to

☒ Additional Sheets Attached

☒ Condition Compliance

Kandi Talbot
signature

06/11/2001
date

Performance Guarantee

☒ Required*

☐ Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	06/07/2001 date	\$70,613.00 amount	06/04/2003 expiration date
<input type="checkbox"/> Inspection Fee Paid	 date	 amount	
<input type="checkbox"/> Building Permit Issue	 date		
<input type="checkbox"/> Performance Guarantee Reduced	 date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	 date	<input type="checkbox"/> Conditions (See Attached)	expiration date
<input type="checkbox"/> Final Inspection	 date	signature	
<input type="checkbox"/> Certificate Of Occupancy	 date		
<input type="checkbox"/> Performance Guarantee Released	 date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	 submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	 date	signature	

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

Maggie Lane Development

Applicant

PO Box 10127, Portland, ME 04104

Applicant's Mailing Address

Gorrill-Palmer Consulting Eng.

Consultant/Agent

Agent Ph: 207-657-6910

Agent Fax: 207-657-6912

Applicant or Agent Daytime Telephone, Fax

2000-0192

Application I. D. Number

10/10/2000

Application Date

Maggie Lane Lot #22

Project Name/Description

7 - 7 Maggie Ln, Portland, Maine 04103

Address of Proposed Site

342 A014001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of Planning

1 Subdivision:

i. The design engineer of record, Gorrill-Palmer Consulting Engineers, Inc. Shall provide a certification upon completion of construction that the work is in substantial conformance to the approved plans and that all conditions of approval have been satisfied. The applicant shall retain the design engineer to provide construction phase services including but not limited to, periodic site inspection for adherence to all required erosion and sedimentation control measures and to address any changes in the field conditions which require modifications to the design.

2 ii. Access to Lot 22 access drive, from other lots will be subject to approval by the Fire Department and Traffic Engineer.

3 Site Plan:

i. That the applicant contact the City Arborist prior to planting of landscaping, and that the City Arborist review and approve all planting locations.

Approval Conditions of DRC

1 See Planner's conditions

From: Marge Schmuckal
To: Kandi Talbot
Subject: Lot #22 Maggie Lane

Kandi - Is this multi-unit ok to be issued? I saw your comments on the approval list giving conditions. However, I do not see that any guarantee fees have been collected. I do not have I have a stamped, approved site plan. I do not entirely trust what they give me to be accurate. The building permit on my desk now. #2000-0192



CITY OF PORTLAND

March 14, 2001

Mr. Alton Palmer, P.E.
Vice President
Gorrill-Palmer Consulting Engineers, Inc.
P.O. Box 1237
26 Main Street
Gray, ME 04039

RE: Maggie Lane, Lot 22

Dear Mr. Palmer:

After review of the revised plans submitted on March 1, 2001, the following comment has been generated:

1. On Sheet 5, "*Site Details and Notes – Lot 22*" the typical driveway section shall be revised to reflect the changes made to the site plan regarding the twenty-four foot width of the driveway.

If you have any questions, please do not hesitate to contact me at 874-8901.

Sincerely,

A handwritten signature in cursive script that reads "Kandice Talbot".

Kandice Talbot
Planner



CITY OF PORTLAND, MAINE
Department of Building Inspection

Received from Jim Wolf a fee 1410 20 00
of perm included 100 Dollars \$ 400.00
for permit to install
erect
alter minor site plan
at Maggie Lane Lot 22 move
demolish Est. Cost \$
Cash
(K)
Inspector of buildings
Per

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$5.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Auditors Copy



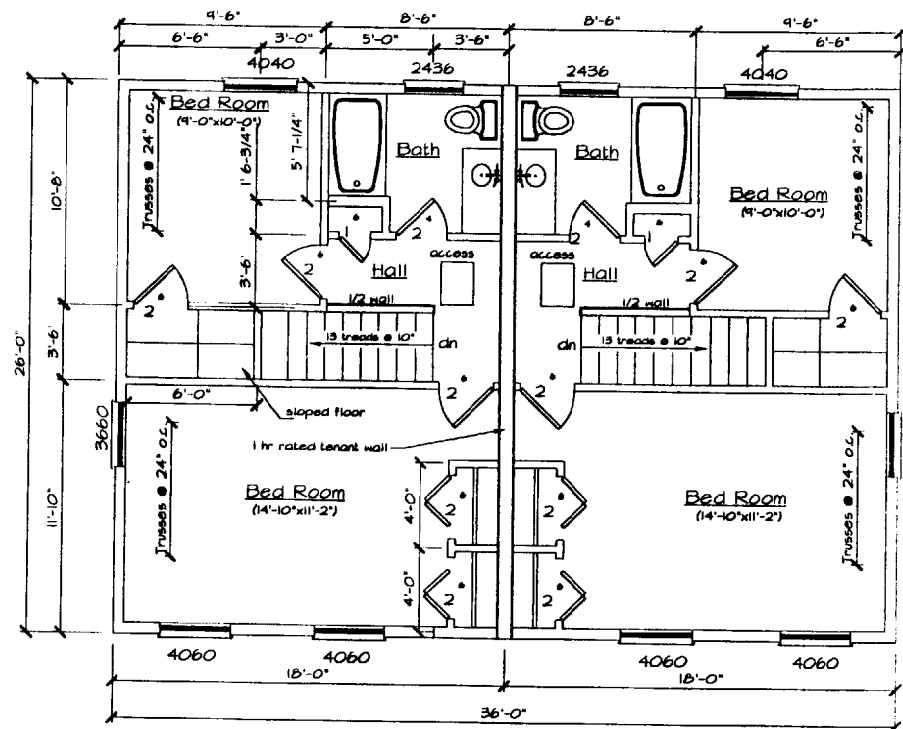
CITY OF PORTLAND, MAINE
Department of Building Inspection

Received from Maggie Lane Dev. a fee 10/25 20 00
of three hundred twenty five 100 Dollars \$ 325-
for permit to install
erect
alter added to site plan
at Maggie Lane move
demolish # 20000142 Est. Cost \$
Lot 22
#673
(K)
Inspector of buildings
Per

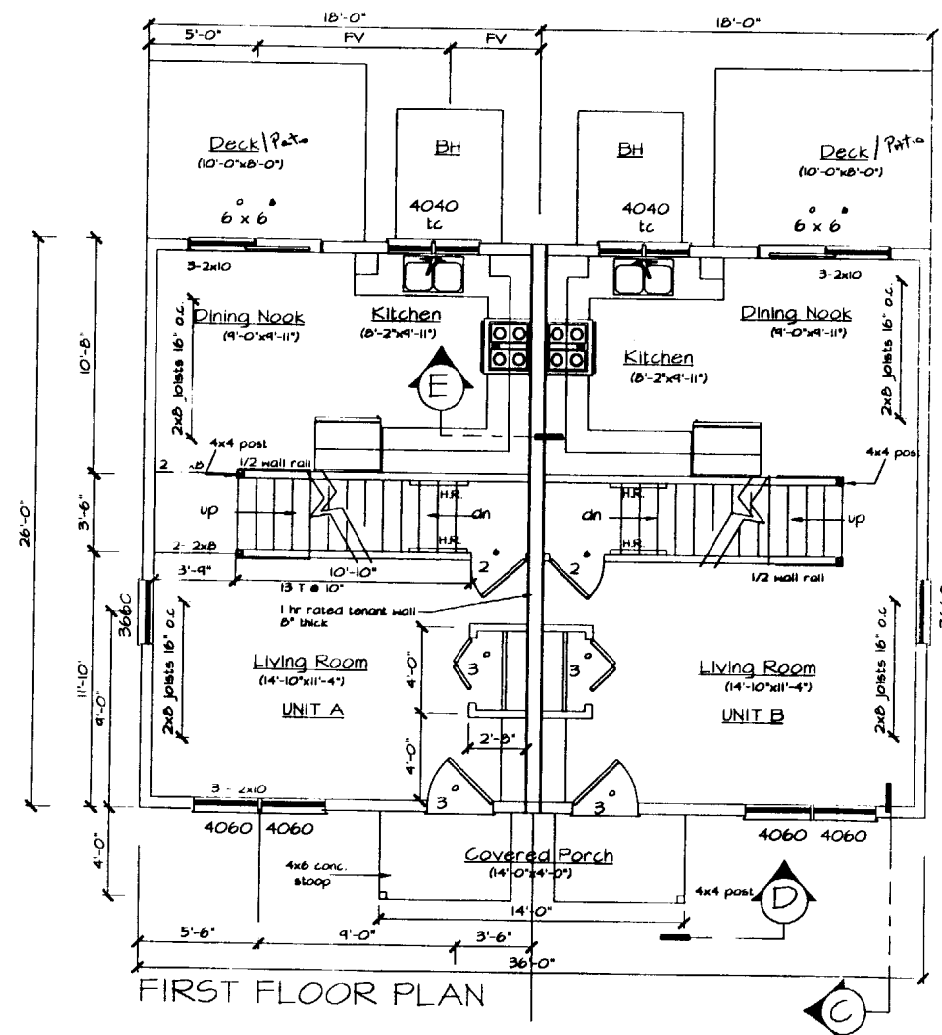
THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$5.00 or 10% whichever is greater.

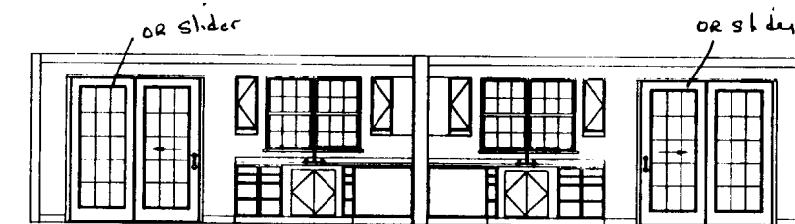
WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Auditors Copy



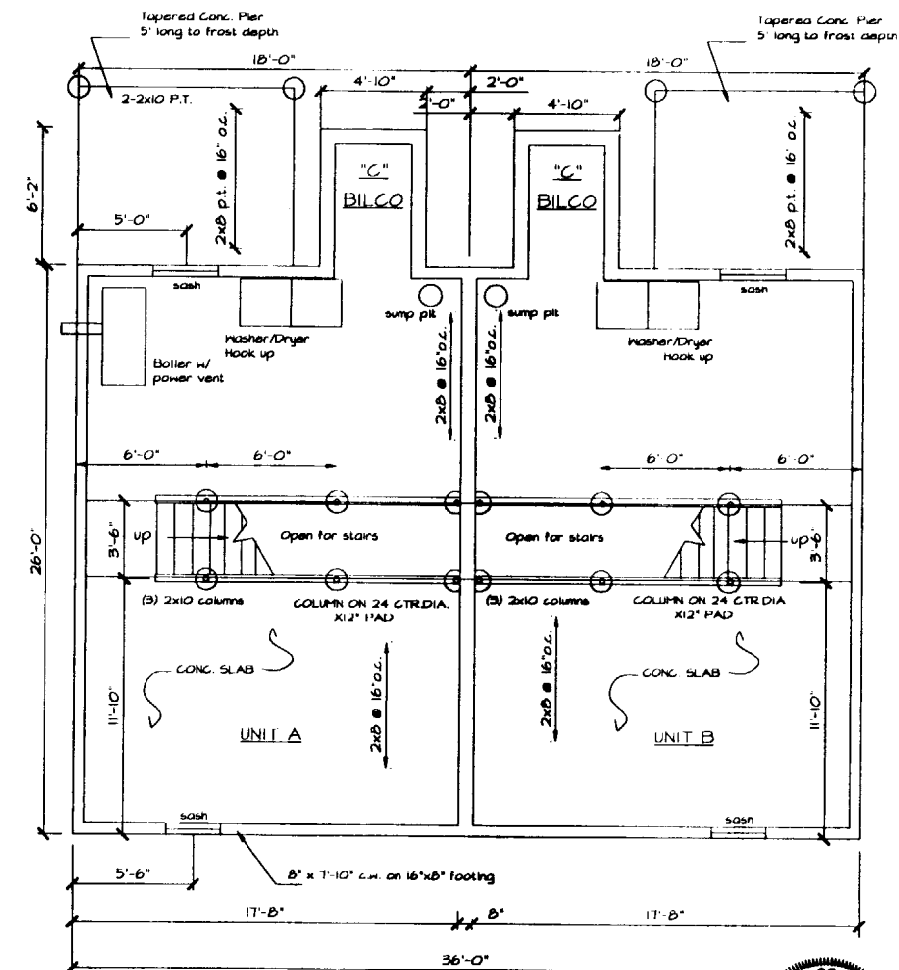
SECOND FLOOR PLAN



FIRST FLOOR PLAN



SECTION E



FOUNDATION PLAN

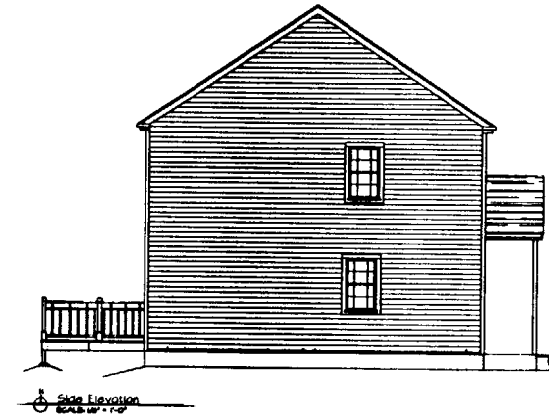
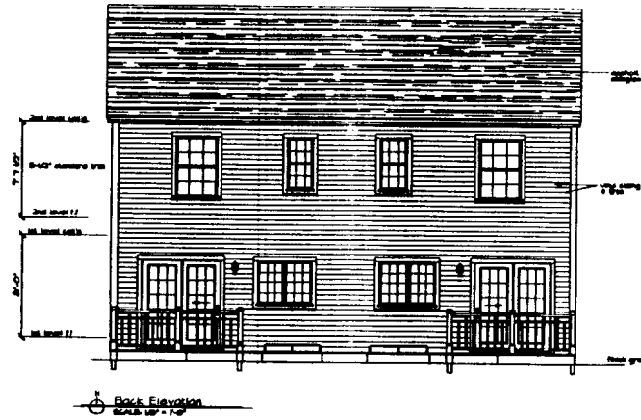
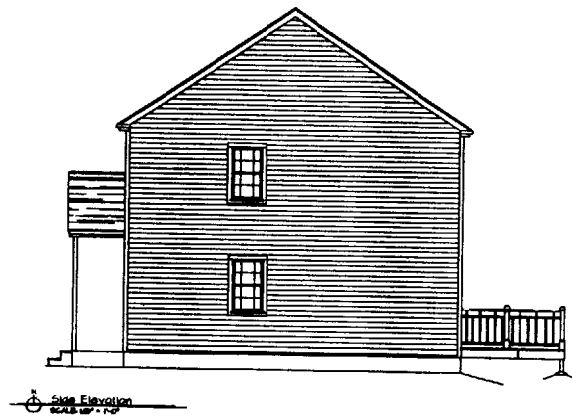
MULTI-FAMILY COMPLEX, LOT 22 MAGGIE LANE, PORTLAND, ME.
MAGGIE LANE DEVELOPMENT LLC, DEVELOPER

PLANNING / DESIGN ASSOCIATES
ENGINEERS, PLANNERS, REAL ESTATE DEVELOPMENT CONSULTANTS
P.O. BOX 391, 35 PARTRIDGE ROAD, WINDHAM, ME 04987-0391

Revisions:
Date: 04/02/01

Date: 05/30/00
Scale: 1/4"
Drawn: JTH/KAW
Project: 000502
Sheet:





MULTI-FAMILY COMPLEX, LOT 22 MAGGIE LANE, PORTLAND, ME
MAGGIE LANE DEVELOPMENT LLC, DEVELOPER
PLANNING / DESIGN ASSOCIATES
ENGINEER, PLANNER, REAL ESTATE DEVELOPMENT CONSULTANTS

Revisions:
Date : 04/02/01
Date : 05/30/00
Scale : 1/4"
Drawn: JTM/KAW
Project: 000502
Sheet:



MULTI-FAMILY COMPLEX, LOT 22 MAGGIE LANE, PORTLAND, ME
MAGGIE LANE DEVELOPMENT LLC, DEVELOPER

PLANNING / DESIGN ASSOCIATES
ENGINEERS, PLANNERS, REAL ESTATE DEVELOPMENT CONSULTANTS
P.O. BOX 201, 25 PARTRIDGE ROAD, WINDHAM, ME 04092-0201

Revisions:

Date : 04/02/01

Date : 05/30/00

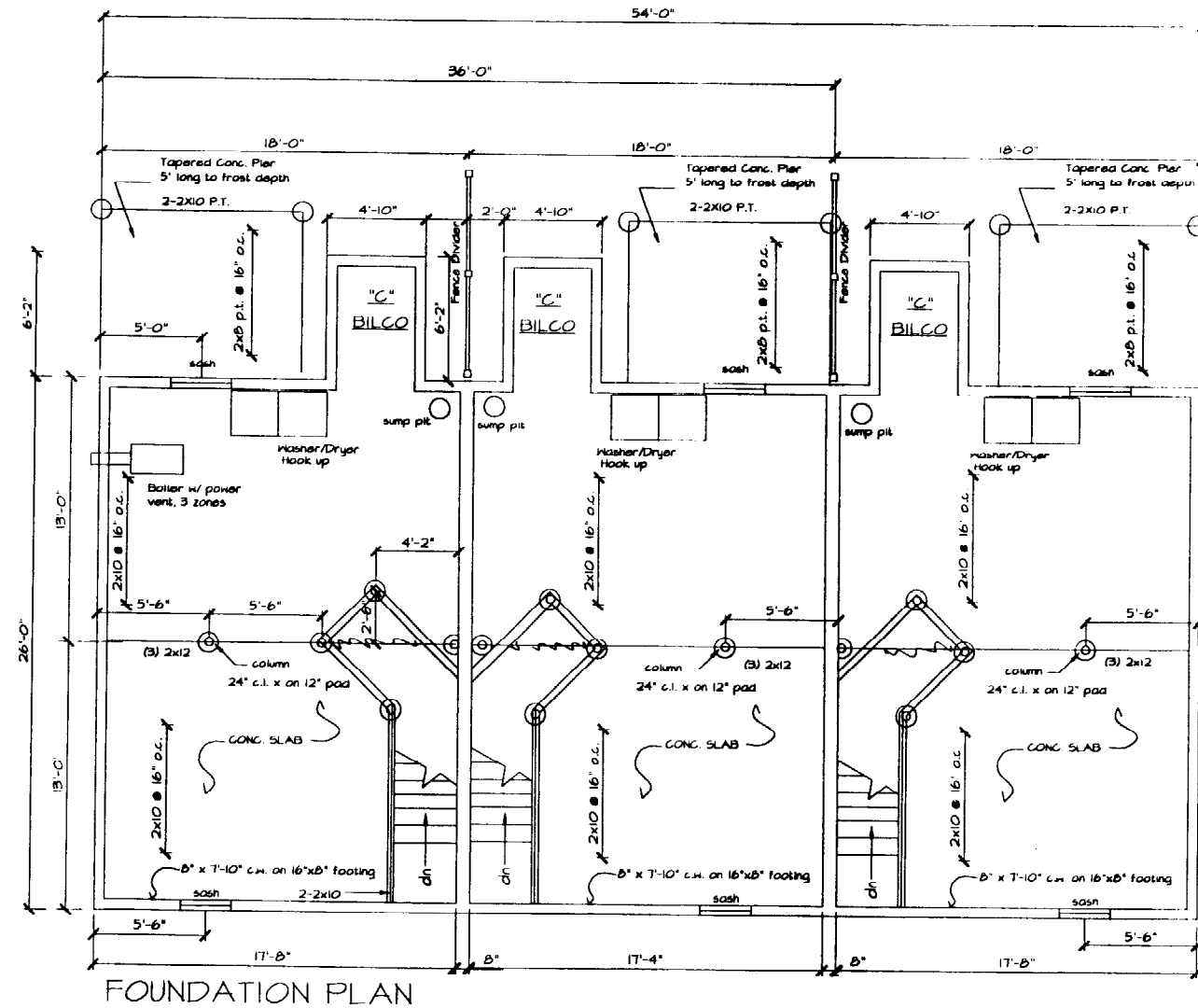
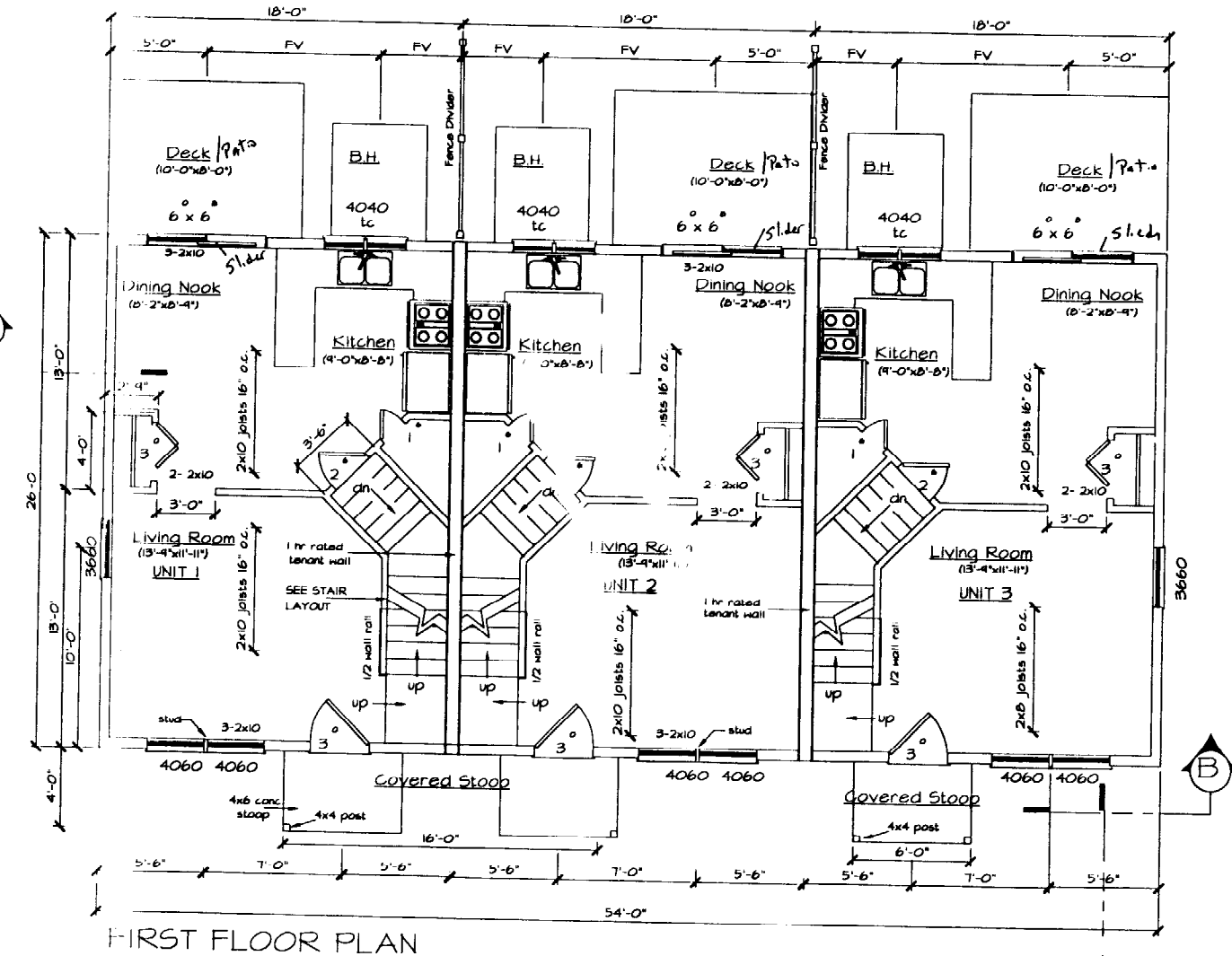
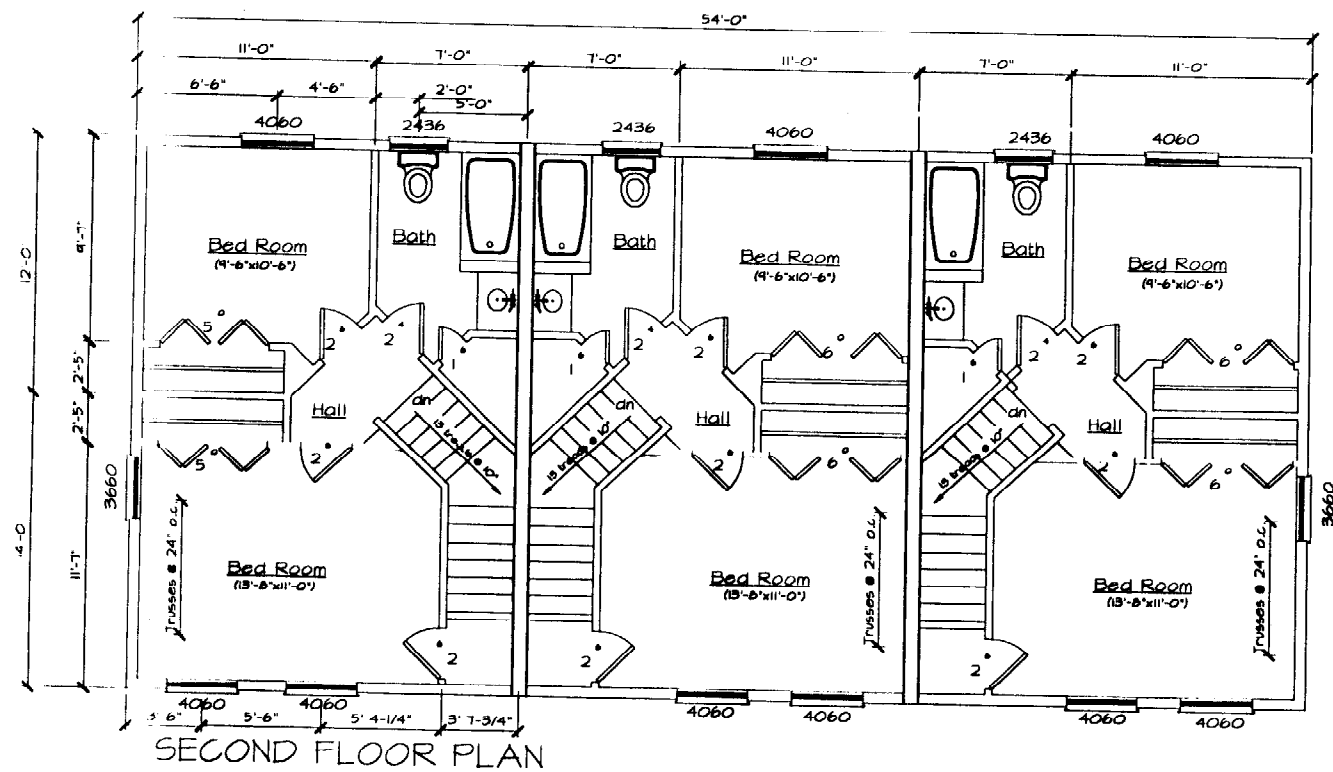
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Drawn: JTM

Project: 000502

Sheet:



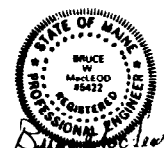


MULTI-FAMILY COMPLEX, LOT 22 MAGGIE LANE, PORTLAND, MI
MAGGIE LANE DEVELOPMENT LLC - DEVELOPER

PLANNING / DESIGN ASSOCIATES
ENGINEERS, PLANNERS, REAL ESTATE DEVELOPMENT CONSULTANTS
P.O. BOX 341, 51 PARTRIDGE ROAD, WINDHAM, MI 49153-0341
207-871-2440

Revisions:
Date: 04/02/01

Date: 05/30/00
Scale: 1/4"
Drawn: ITM/KAW
Project: 000502
Sheet:





MULTI-FAMILY COMPLEX, LOT 22 MAGGIE LANE, PORTLAND, ME.
MAGGIE LANE DEVELOPMENT LLC, DEVELOPER

PLANNING / DESIGN ASSOCIATES
ENGINEER, PLANNER, REAL ESTATE DEVELOPMENT CONSULTANT
P.O. BOX 351, 35 FARRINGTON ROAD, WINDHAM, ME 04092-0351

Revisions:

Date: 04/02/01

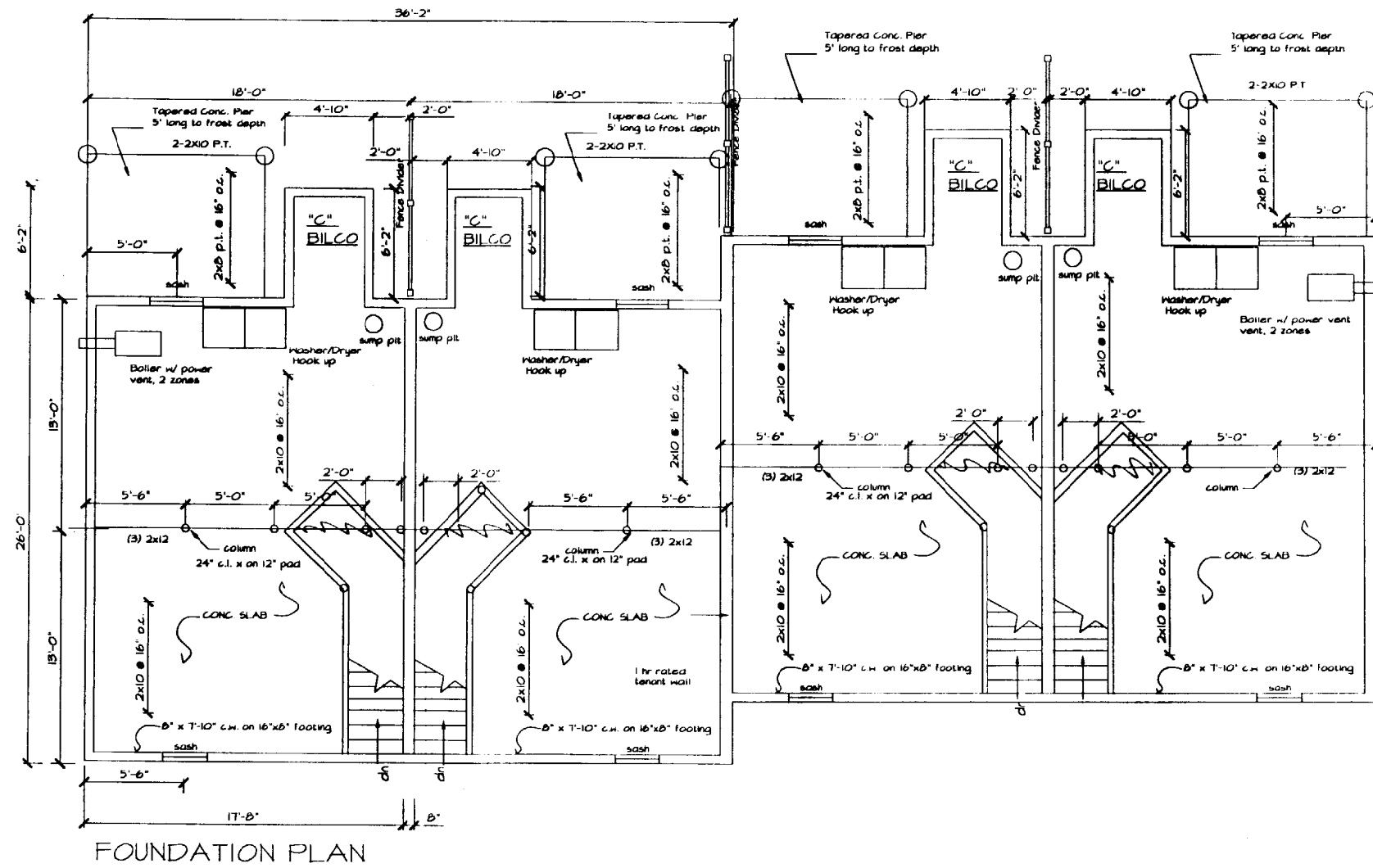
Date: 05/30/00

Scale: 1/4"

Drawn: JTH/KAW

Project: 000502

Sheet:



MULTI-FAMILY COMPLEX, LOT 22 MAGGIE LANE, PORTLAND, ME
MAGGIE LANE DEVELOPMENT LLC, DEVELOPER

PLANNING/DESIGN ASSOCIATES
ENGINEERS PLANNERS REAL ESTATE DEVELOPMENT CONSULTANTS
P.O. BOX 351, 35 PARTIDGE ROAD, WINDHAM, MI 49095-0351
207-897-2640

PLANNING / DESIGN ASSOCIATES

ENGINEERS PLANNERS REAL ESTATE DEVELOPMENT CONSULTANTS
P.O. BOX 351, 35 PARTRIDGE ROAD, WINDHAM, MI 49793-2641

ENGINEERS PLANNERS REAL ESTATE DEVELOPMENT CONSULTANTS
P.O. BOX 351, 35 PARTRIDGE ROAD, WINDHAM, MI 49793-2641

Revisions:

Date : 04/01/01

Date : 05/30/00

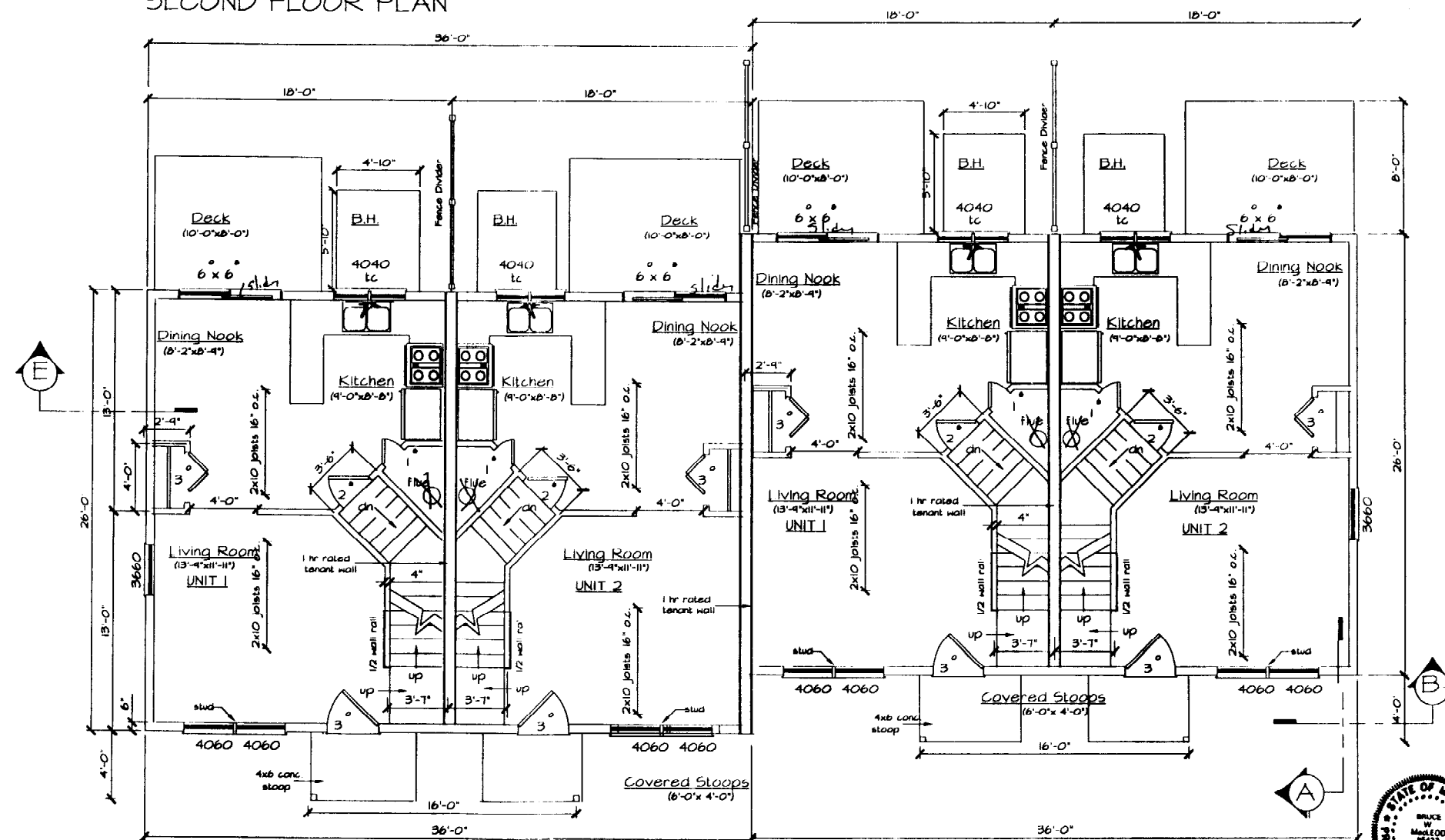
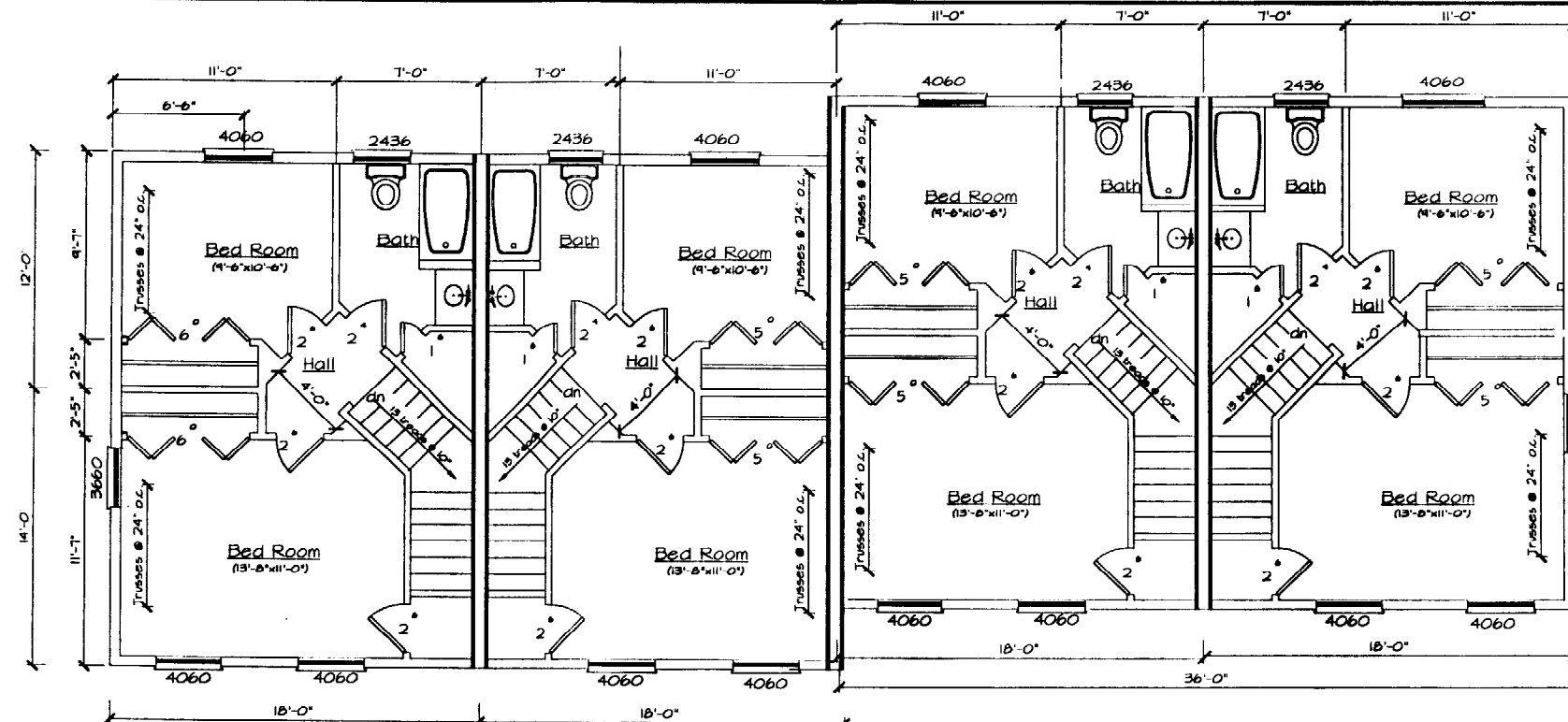
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Drawn: JTM

Project: 000502

Sheet:

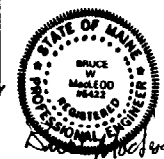




MULTI-FAMILY COMPLEX, LOT 22 MAGGIE LANE, PORTLAND, ME
MAGGIE LANE DEVELOPMENT LLC, DEVELOPER

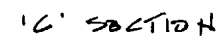
PLANNING / DESIGN ASSOCIATES
ENGINEERS, PLANNERS, REAL ESTATE DEVELOPMENT CONSULTANTS
P.O. BOX 351, 35 PARTING ROAD, WINDHAM, ME 04095

Revisions:	
Date:	04/01/01
Date:	05/30/00
Scale:	1/4"
Drawn:	JTM
Project:	000502
Sheet:	





	DATE	SHEET NO.	TITLE	BY	REVISIONS
<p>MULTI-FAMILY COMPLEX, LOT 22 MAGGIE LANE, PORTLAND, ME. MAGGIE LANE DEVELOPMENT LLC, DEVELOPER</p> <p>PLANNING / DESIGN ASSOCIATES ENGINEERS, PLANNERS, REAL ESTATE DEVELOPMENT CONSULTANTS P.O. BOX 291, 35 PARTRIDGE ROAD, WINDHAM, NH 087-897-3640</p>	Sheet	01	5		
	JOB				
	DRAWN				
	SCALE				
	DATE				



REVISIONS	DATE

MULTI-FAMILY COMPLEX, LOT 22 MAGGIE LANE, PORTLAND, ME
MAGGIE LANE DEVELOPMENT LLC, DEVELOPER

PLANNING / DESIGN ASSOCIATES
ENGINEERS PLANNERS REAL ESTATE DEVELOPMENT CONSULTANTS
P.O. BOX 331, 35 PARTRIDGE ROAD, WINDHAM, MI 49095-0331
207-893-2640

Date _____

Scal

Draw

34

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SECTIONS
Of 2 Sheets