

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

20000168

I. D. Number

Gorrill Palmer

Applicant

P.O. Box 10127, Portland, ME 04104

Applicant's Mailing Address

SAA

Consultant/Agent

773-4988 773-2267

Applicant or Agent Daytime Telephone, Fax

9/6/00

Application Date

Maggie Lane Lot 8

Project Name/Description

59- 61 Maggie Ln, Portland Maine 04103

Address of Proposed Site

342-A-011

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) **Duplex 2 unit**

1,872 **21,388** **R5**
 Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other

Fees Paid: Site Plan **\$400.00** Subdivisio _____ Engineer Review _____ Date **9/6/00**

Planning Approval Status:

Reviewer _____

- Approved Approved w/Conditions See Attached Denied

Approval Date **10/6/00** Approval Expiration **10/6/00** Extension to _____ Additional Sheets Attached

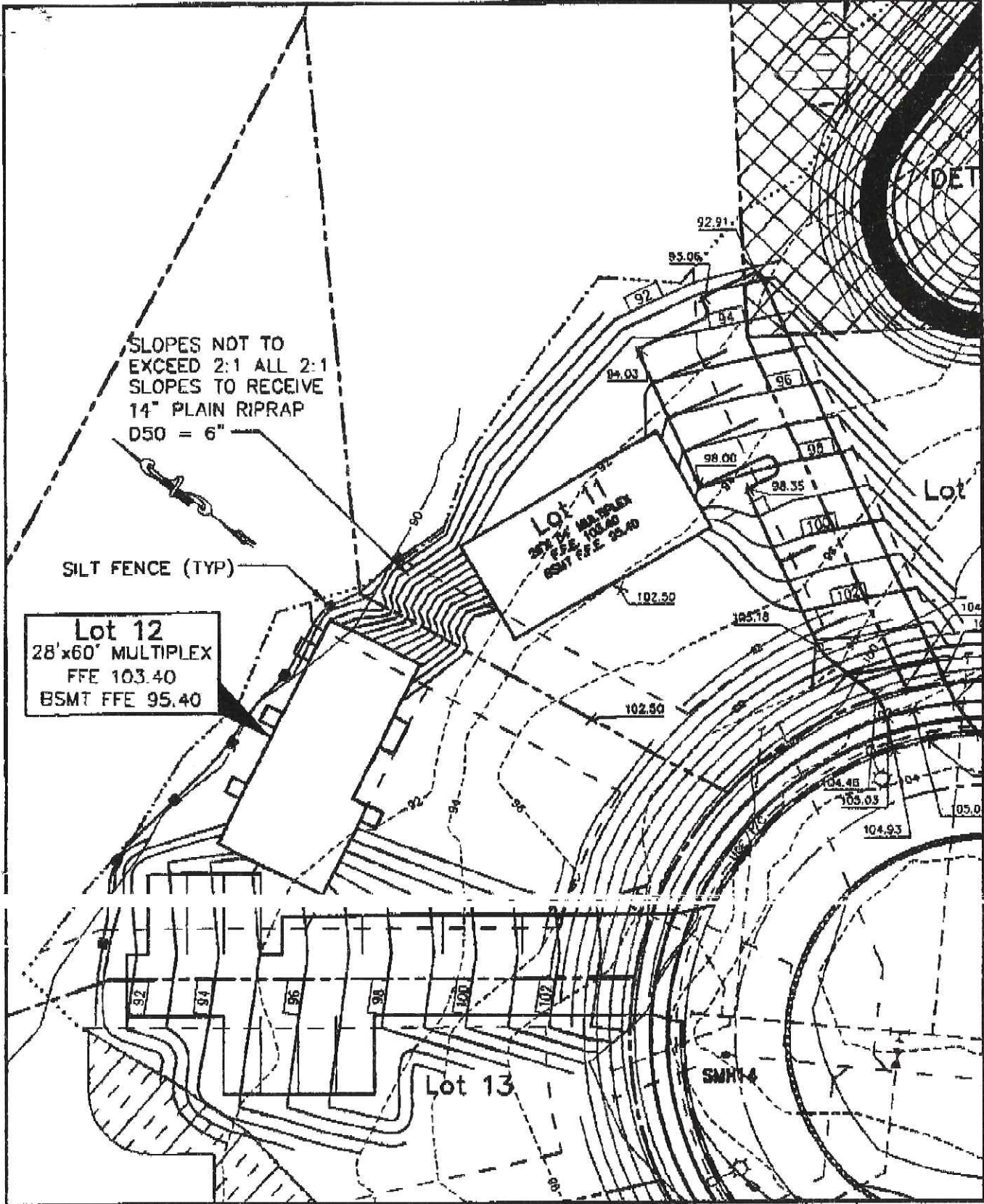
OK to Issue Building Permi **knowland** **10/6/00**
 signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- Performance Guarantee Accepted _____ date _____ amount _____ expiration date
- Inspection Fee Paid _____ date _____ amount
- Building Permit Issue _____ date
- Performance Guarantee Reduced _____ date _____ remaining balance _____ signature
- Temporary Certificate of Occupancy _____ date Conditions (See Attached)
- Final Inspection _____ date _____ signature
- Certificate Of Occupancy _____ date
- Performance Guarantee Released _____ date _____ signature
- Defect Guarantee Submitted _____ submitted date _____ amount _____ expiration date
- Defect Guarantee Released _____ date _____ signature

11/14/2000



SLOPES NOT TO EXCEED 2:1 ALL 2:1 SLOPES TO RECEIVE 14" PLAIN RIPRAP D50 = 6"

SILT FENCE (TYP)

Lot 12
28'x60' MULTIPLEX
FFE 103.40
BSMT FFE 95.40

Lot 11
28'x14' MULTIPLEX
FFE 103.40
BSMT FFE 95.40

Lot 13

Design: DER	Date: MAR 2000
Draft: DB	Job No.: 145
Checked: AUP	Scale: 1" = 30'
File Name: 88103-ALL-LOT32.DWG	

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
PO Box 1237, 26 Main Street
Gray, ME 04039
207-637-6910

Drawing Name:	Figure No.
Project:	
MAGGIE LANE, PORTLAND	

Planning & Urban Development



CITY OF PORTLAND

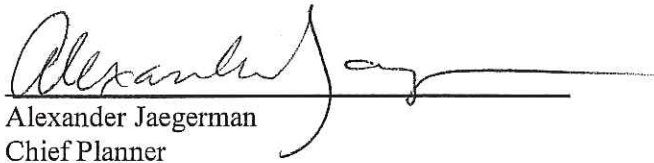
TO: Duane Kline, Finance Department
FROM: Alexander Jaegerman, Chief Planner
DATE: November 1, 2001
SUBJECT: Request for Reduction in Performance Guarantee
Maggie Lane lot 12 Triplex
ID # (2000-0157) Lead CBL # (341-A-022)

A request by Custom Built Homes of Maine has been made for a reduction of Escrow Account # 710-0000-233.12-00 for Maggie Lane, Lot 12.

Original Sum	\$ 2,000.00
<u>This Reduction Amount</u>	<u>\$ 1,800.00</u>
Remaining Sum	\$ 200.00

This is the first reduction for the project.

Approved:


Alexander Jaegerman
Chief Planner

cc: Sarah Hopkins, Development Review Services Manager
Richard Knowland, Senior Planner
✓ Development Review Coordinator
Todd Merkle, Public Works
Code Enforcement
file

O:\PLAN\CORRESP\DRC\PERFORM\MAGGIELOT12A.DOC

CITY OF PORTLAND

Site Plan \ Subdivision Performance Guaranty

CASH ESCROW AGREEMENT¹

Developer's Tax Identification Number: 01-0359647

Developer's Name and Mailing Address: CUSTOM BUILT HOMES OF MAINE
27 MAIN ST.
WINDHAM MA. 04062

Amount to be Escrowed: \$ 2000.00

City Account Number:² _____

Treasurer's Report of Receipts Number: _____

Project Job Number:
(from Site Plan Application Form) _____

Project Location: Lot # ¹² ~~10~~ Maggie Lane

Project Description:
(Attach Approval Letter) _____

This Escrow Agreement was completed by _____ on 10-2, 2000.

This Agreement entered into this _____ day of _____, 2000, by and between _____

CUSTOM BUILT HOMES OF MAINE
(hereinafter "Developer"), and the City of Portland, a body politic and corporate, having a place of business in the County of Cumberland and the State of Maine (hereinafter "Escrow Agent").

In consideration of their mutual promises, covenants and agreements, and other good and valuable consideration, receipt of which is hereby acknowledged, the said parties agree, as

(Rev. Jan. 2000)

- (a) Developer should fail to complete satisfactorily by [Date: Within two years but in no event between November 15 and April 15 of any given year] the required site improvements described in Paragraph 1;
- (b) The Developer should fail to request the City to conduct inspections of the required site improvements described in Paragraph 1; or
- (c) The Developer should fail to provide a surety bond, letter of credit or escrow account equal in value to ten percent (10%) of the estimated cost of the required site improvements, pursuant to sections 14-501 and 14-525.

REDUCTION OF ESCROW ACCOUNT

10. At the direction of the Director of Planning and Urban Development, the Director of Finance may either reduce or release the amount of the escrow account, pursuant to section §14-501.

COSTS OF ESCROW ACCOUNT

11. All costs associated with establishing, maintaining and disbursing funds from the escrow account will be borne by the Escrow Agent.

PERIOD OF WITHDRAWAL

12. The City of Portland may draw against the escrow account during a period, not to exceed ninety days (90) following the expiration of the deadline for completing improvements (hereinafter "deadline"), provided that the Developer has given the City written notice of the deadline, at least ninety (90) days prior thereto, by certified mail, addressed to the Director of Planning and Urban Development. In the absence of such a notice, the City of Portland may draw against the account for a period, not to exceed ninety (90) days beyond the expiration date, which will commence to run from and after the date the City has received written notice of the pending expiration of the deadline.

(Rev. Jan. 2000)

follows:

PUBLIC IMPROVEMENTS

1. Pursuant to the project approval letter referred to above, the Developer is obligated to make certain required site improvements, all as more fully described therein.

2. The estimated cost of completing the improvements is: \$

3. The deadline for completing the improvements is :

APPOINTMENT OF ESCROW AGENT

4. The Developer hereby appoints the City of Portland to act as its Escrow Agent.

DUTIES OF ESCROW AGENT

5. During the term of this Agreement, the Escrow Agent will hold and disburse the escrowed funds in accordance with the terms and provisions hereof.

LIMITATION OF LIABILITY

6. The Developer agrees that the Escrow Agent assumes no liability in connection with its performance under this Agreement, except for gross negligence or willful misconduct.

INTEREST

7. The Escrow Agent will not pay interest on the escrowed funds.

INSPECTION OF COMPLETED WORK

8. The Developer has the duty to advise either the City of Portland's Planning Department or its Department of Public Works, whichever is appropriate, when the required site improvements either have been completed or are otherwise ready for inspection.

DISBURSEMENT OF ESCROW FUNDS

9. The City of Portland may draw against the escrow account at the direction of the Director of Planning in the event that:

(Rev. Jan. 2000)

TERMINATION OF ESCROW AGREEMENT

13. This escrow account will terminate either on [a date which is either ninety (90) days after the date for completion of the required site improvements, but which does not fall between September 15th and April 15th] or as extended, pursuant to paragraph 12. The Agreement may also be terminated and the funds released, prior to either of the foregoing dates when either the Director of Planning and Urban Development or the Department of Public Works, which ever is appropriate, has certified in writing to the Developer that the required site improvements have been completed in accordance with the project approval letter.

Developer

by CBV
its FRASID

City of Portland

by Duane Kline
its Director of Finance

Distribution

1. This Form will be completed by Planning Staff.
2. The account number can be obtained by calling Paul Colpitts, Chief Accountant, at x8665.
3. The Agreement will be executed in duplicate originals.
4. The duplicate originals, each signed by the Developer, will be delivered to the Finance office, together with a check or the funds representing the escrowed amount.
5. The Director of Finance or his designated agent will sign the escrow agreement in duplicate, acknowledge receipt of funds and deposit them into a City account.
6. The Director of Finance will retain one duplicate original.
7. The Director of Finance will return the other duplicate original to Planning. Planning will retain a copy and mail the other duplicate original to the Developer.

(Rev. Jan. 2000)

WINDHAM, MAINE 04062

12290

PAY AMOUNT OF

52-7451
2112

DATE
9-28-00

TO THE ORDER OF

CITY OF NORWAY

DOLLARS

GROSS AMT.	ALLOW.	DISC.	CHECK AMOUNT
2300			2300

Magic Lane Lot 5

Security features included. Details on back.

NORWAY SAVINGS BANK - NORWAY, MAINE 04268

[Signature]

⑈012290⑈ ⑆211274515⑆0699 0021617⑈

CUSTOM BUILT HOMES OF MAINE, INC.
27 MAIN STREET
WINDHAM, MAINE 04062

DATE	INVOICE	AMOUNT

12289

52-7451
2112

PAY AMOUNT OF *two thousand three hundred dollars* DOLLARS

DATE
9-28-00

TO THE ORDER OF

CITY OF NORWAY

GROSS AMT.	ALLOW.	DISC.	CHECK AMOUNT
2300			2300

Magic Lane Lot 12

351440-12-99

Security features included. Details on back.

NORWAY SAVINGS BANK - NORWAY, MAINE 04268

[Signature]

⑈012289⑈ ⑆211274515⑆0699 0021617⑈

RECEIVED 9-30-00

FOR LOT 5 & 12 MAGIC LANE

INSPECTION FEE AND PROGRAM COST

[Signature]

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

20000157

I. D. Number

Custom Built Homes of Maine

Applicant

27 Main Street, Windham, ME

Applicant's Mailing Address

Danny McCarthy

Consultant/Agent

892-1383

Applicant or Agent Daytime Telephone, Fax

7/26/00

Application Date

Maggie Lane lot 12

Project Name/Description

77 - 77 Maggie Ln, Portland Maine

Address of Proposed Site

341 A022

Assessor's Reference: Chart-Block-Lot

DRC Conditions of Approval

Approved subject to site plan review condition of approval sheet.

All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.

Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

Your new street address is now 77 Maggie Lane, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.

The Development Review Coordinator (874-8300 ext.8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

Show all utility connections: water, sanitary, sewer, storm drain, electric, telephone, cable.

A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.

The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.

The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.

A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for drainage from the property.

The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

The applicant coordinate with the developer and the developer's contractor for all grading utilities and curb openings to insure compliance with approved subdivision plans.

The applicant shall be responsible for installation and maintenance of erosion control devices. The applicant shall be responsible to clean up any tracking of mud or debris onto Maggie Lane or Forest Avenue as result of this project-street sweeping my be required.

The site grading shall be accomplished to avoid any ponding of water or concentrated flow of runoff onto adjacent properties.

Planning Conditions of Approval

1. That the building shall have a minimum 7 in 12 roof pitch.
2. That the building elevations on the left and right side shall have a minimum number of windows as required by the the planning office.
3. Common driveway pavement shall be expanded as shown on the attached site plan. Site plan shall be revised Prior to the accordingly for review and approval. Prior to the issuance of a certificate of occupancy for lot 12, the common driveway easement for lot 12 and 1 driveway easement shall be expanded.

SPACE AND BULK REQUIREMENTS – LOT 12

MINIMUM LOT SIZE:	6,000 S.F.
MINIMUM FRONTAGE:	50 FT.
MINIMUM SETBACKS:	20 FT.
FRONT YARD	
REAR YARD	20 FT.
SIDE YARD*	
1 STORY	8 FT.
1 1/2 STORY	8 FT.
2 STORY	12 FT.
2 1/2 STORY	14 FT.
MINIMUM LOT WIDTH:	
OTHER USES	60 FT.

* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NOT SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.

*NOTE: ORIGINAL CONDITIONS OF APPROVAL AND STAMPED PLAN OF 11-16-00 STILL APPLY. THE APPROVED CHANGE IS ONLY FOR THE BUILDING CONFIGURATION
RK*

CITY OF PORTLAND
APPROVED SITE PLAN
 SUBJECT TO DEPARTMENTAL
 CONDITIONS
 DATE OF APPROVAL 12-14-00

Design: DER	Date: APR 2000
Draft: LAN	Job No.: 165
Checked: AMP	Scale: NONE
File Name: 99103-ALL-LOTS2.DWG	

GP Traffic and Civil Engineering Services
 PO Box 1237, 26 Main Street
 Gray, ME 04039
 207-657-6910

Drawing Name: Space & Bulk Requirements Lot 12
Project: MAGGIE LANE, PORTLAND

Figure No. 1

EACH UNIT ON LOT 12 MAY HAVE A FUTURE REAR DECK WITH OPTIONAL STEPS TO THE GROUND. CONTRACTOR SHALL BE RESPONSIBLE FOR 4'x4' DECK WITH STAIRS FROM BASEMENT TO GROUND

NOTE:
EXACT BUILDING LOCATION TO BE WITHIN MINIMUM SETBACKS AS SHOWN ON FIGURE 1.

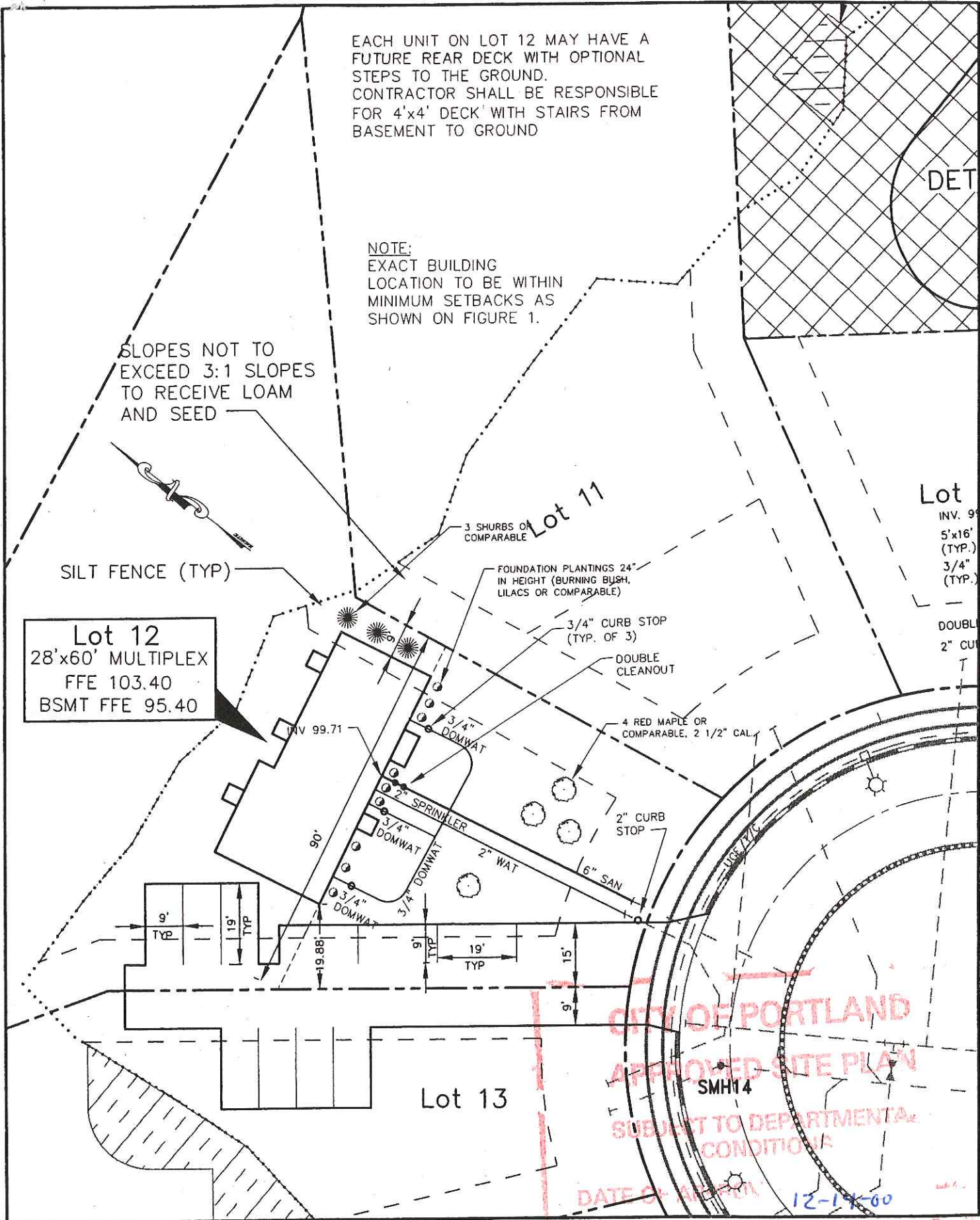
SLOPES NOT TO EXCEED 3:1 SLOPES TO RECEIVE LOAM AND SEED

DET

Lot
INV. 9'
5'x16'
(TYP.)
3/4"
(TYP.)

DOUBLE
2" CURB

Lot 12
28'x60' MULTIPLEX
FFE 103.40
BSMT FFE 95.40



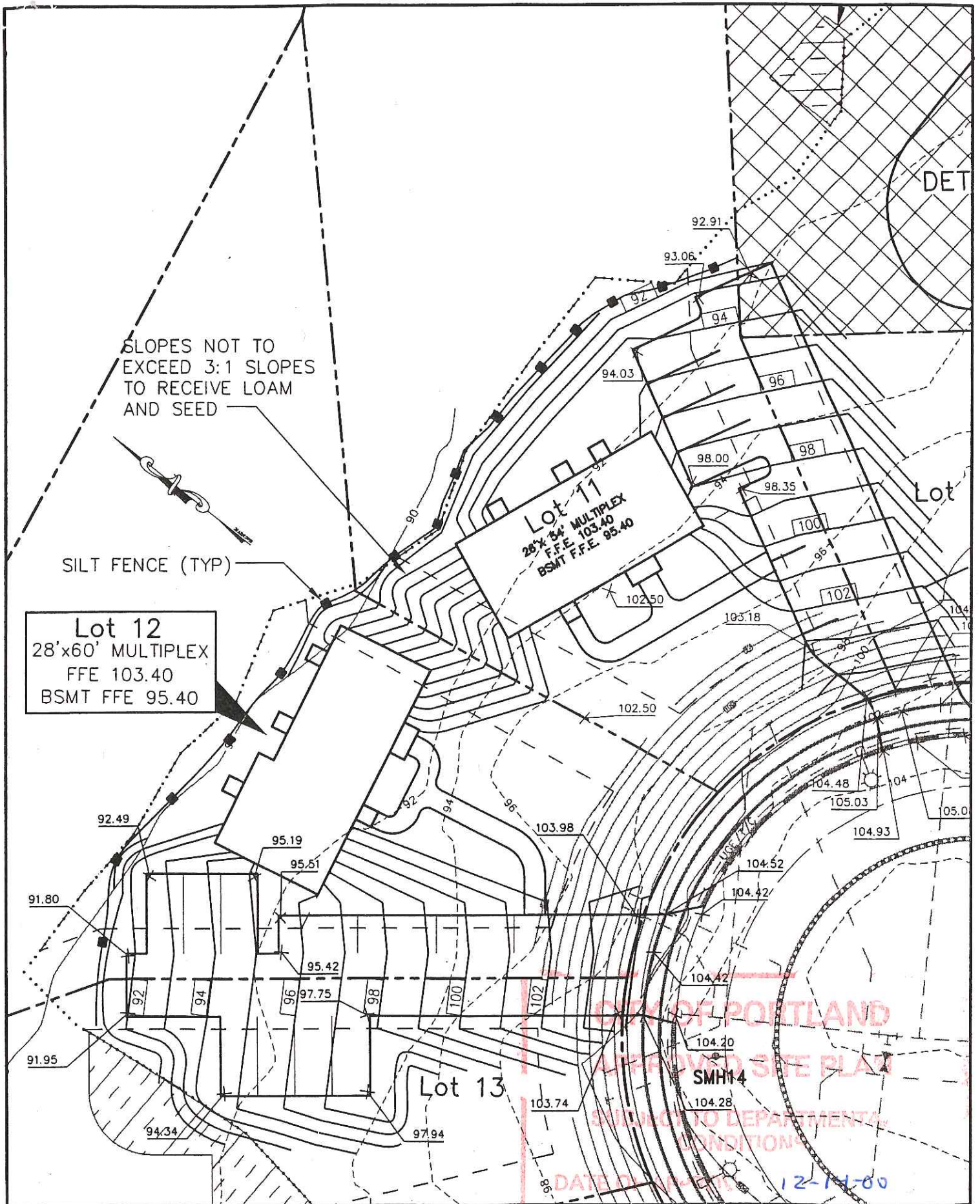
CITY OF PORTLAND
APPROVED SITE PLAN
SUBJECT TO DEPARTMENTAL
CONDITIONS
DATE OF APPROVAL 12-14-00

Design: DER	Date: MAR 2000
Draft: DB	Job No.: 165
Checked: AMP	Scale: 1" = 30'
File Name: 99103-ALL-LOTS2.DWG	

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
PO Box 1237, 26 Main Street
Gray, ME 04039
207-657-6910

Drawing Name: **Layout & Utilities-Lot 12 & 13**
Project: **MAGGIE LANE, PORTLAND**

Figure No. **2**



SLOPES NOT TO EXCEED 3:1 SLOPES TO RECEIVE LOAM AND SEED

SILT FENCE (TYP)

Lot 12
28'x60' MULTIPLEX
FFE 103.40
BSMT FFE 95.40

Lot 11
28'x54' MULTIPLEX
FFE 103.40
BSMT FFE 95.40

Lot 13

CITY OF PORTLAND
IMPROVED SITE PLAN

SUBJECT TO DEPARTMENTAL
CONDITIONS

DATE OF PLAN 12-14-00

Design:	DER	Date:	MAR 2000
Draft:	DB	Job No.:	165
Checked:	AMP	Scale:	1" = 30'
File Name:	99103-ALL-LOTS2.DWG		

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
PO Box 1237, 26 Main Street
Gray, ME 04039
207-657-6910

Drawing Name: **Grading & Drainage- Lot 12**
Project: **MAGGIE LANE, PORTLAND**

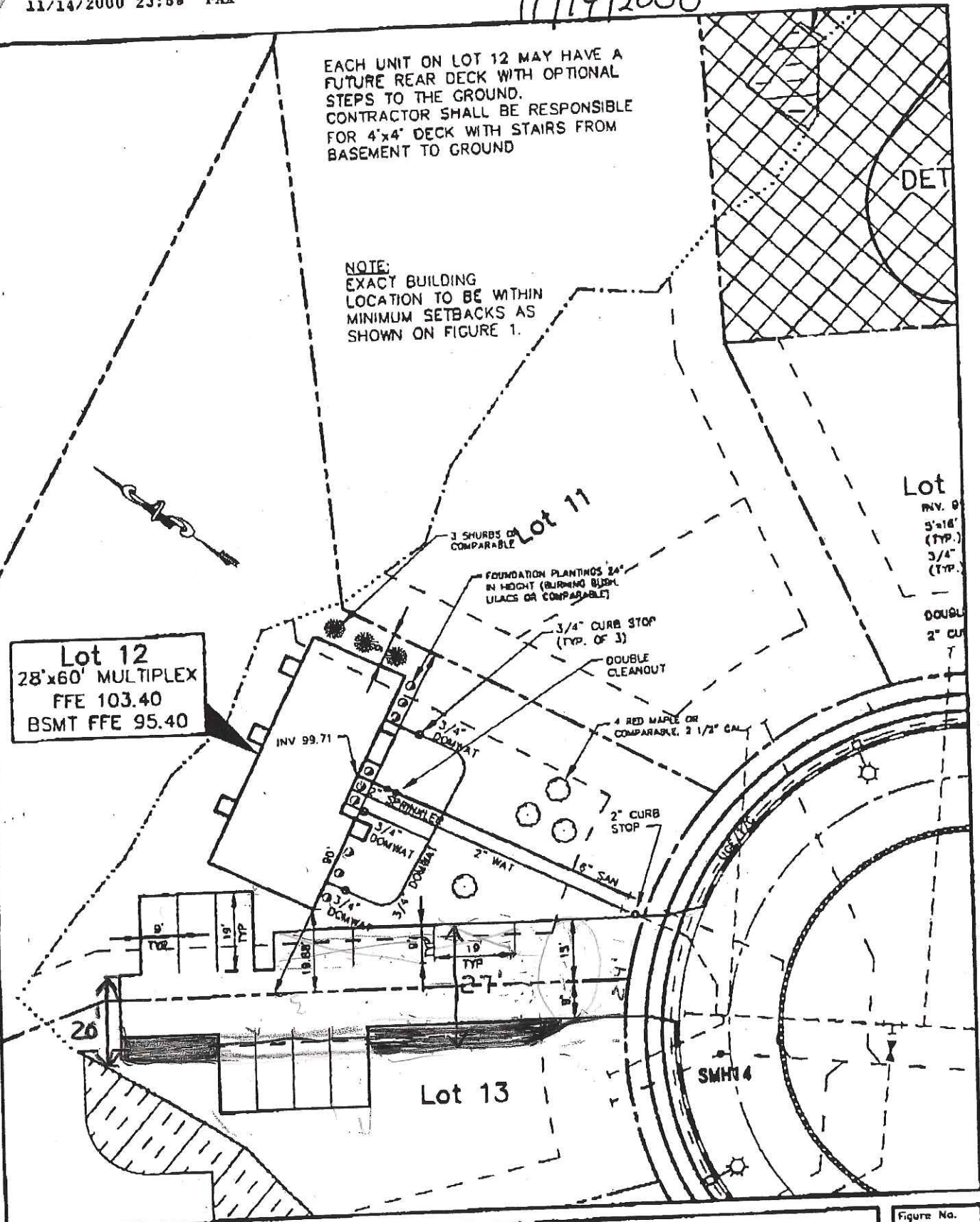
Figure No. **3**

11/14/2000

EACH UNIT ON LOT 12 MAY HAVE A FUTURE REAR DECK WITH OPTIONAL STEPS TO THE GROUND. CONTRACTOR SHALL BE RESPONSIBLE FOR 4'x4' DECK WITH STAIRS FROM BASEMENT TO GROUND

NOTE: EXACT BUILDING LOCATION TO BE WITHIN MINIMUM SETBACKS AS SHOWN ON FIGURE 1.

Lot 12
28'x60' MULTIPLEX
FFE 103.40
BSMT FFE 95.40



Lot
INV. 9'
5'-16'
(TYP.)
3/4"
(TYP.)

DOUBLE
2" CURB

Design	PCR	Date	MAR 2000
Draft	CR	Job No.	165
Checked	AMP	Scale	1" = 30'
File Name	89101-ALL-LOT12.DWG		

GP Corroll-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
PO Box 1237, 26 Main Street
Gray, ME 04038
207-657-8810

Drawing Name:
Layout & Utilities-Lot 12 & 13
Project:
MAGGIE LANE, PORTLAND

Figure No.
2

From: "James Wolf" <buca@maine.rr.com>
To: "Rick Knowland" <RWK@ci.portland.me.us>
Date: Thu, Nov 16, 2000 11:36 AM
Subject: Maggie Lane lot 12

Rick

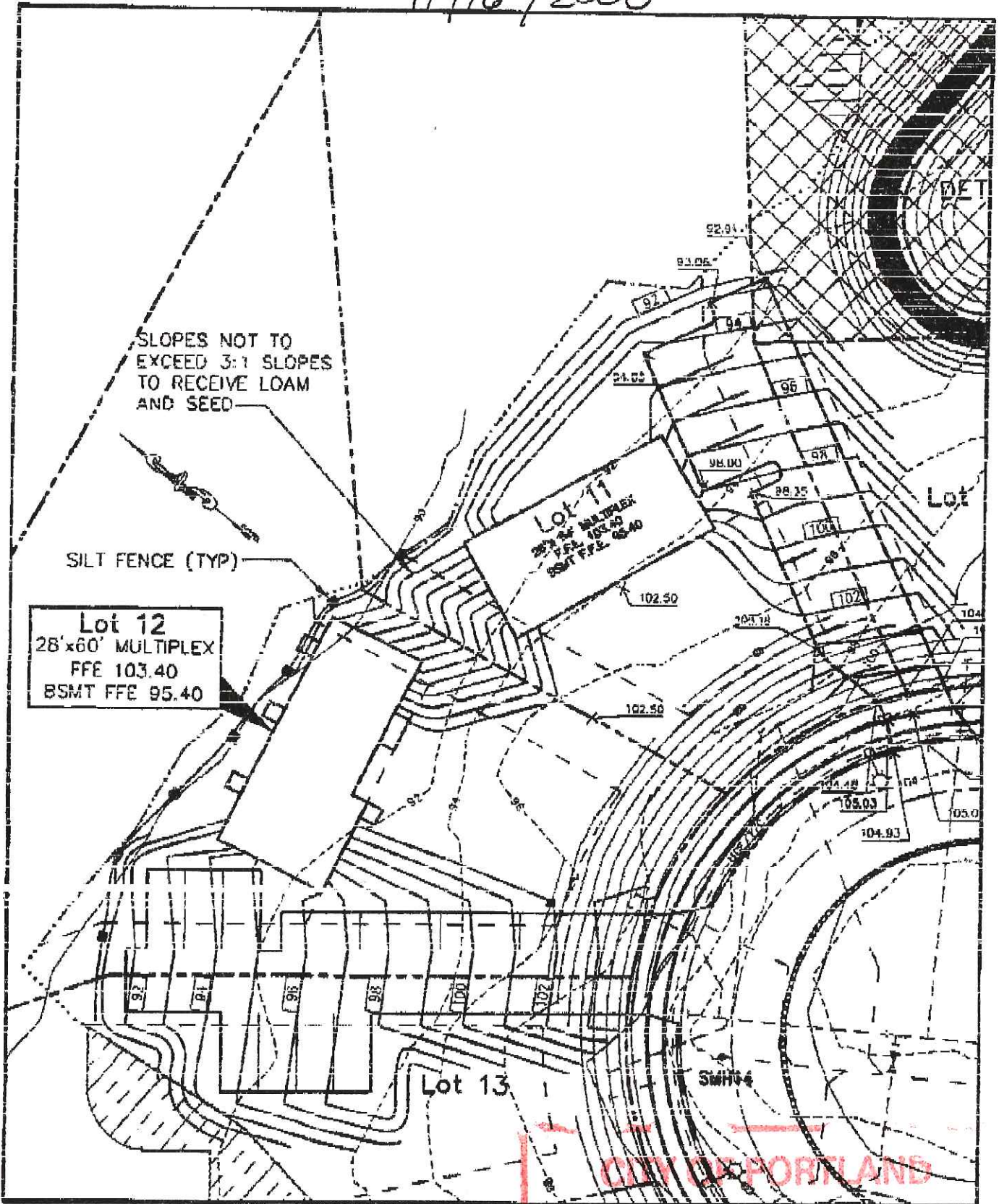
I agree to expand the driveway easement between lots 12 and 13 and will memorialized this prior to the issuance of a certificate of occupancy for either lot. I will initial the plan you faxed and return immediately.

Thank you for your help.

Jim

James M. Wolf
Diversified Properties, Inc.
1-207-773-4988

11/16/2000



Drawn: DER	Date: MAR 2000
Desk: 08	Job No.: 185
Checked: AJP	Scale: 1" = 30'
File Name: 99103-ML-LOTS2.DWG	

GP General Partner Consulting Engineers, Inc.
 Traffic and Civil Engineering Services
 PO Box 1207, 28 Main Street
 Gray, ME 04039
 207-657-6910

Drawing Name: APPROVED SITE PLAN	Figure No.
Project: MAGGIE LANE, PORTLAND, ME	

DATE OF APPROV 11-16-00

11/14/2000

EACH UNIT ON LOT 12 MAY HAVE A FUTURE REAR DECK WITH OPTIONAL STEPS TO THE GROUND. CONTRACTOR SHALL BE RESPONSIBLE FOR 4'x4' DECK WITH STAIRS FROM BASEMENT TO GROUND

NOTE: EXACT BUILDING LOCATION TO BE WITHIN MINIMUM SETBACKS AS SHOWN ON FIGURE 1.

Lot 12
28'x60' MULTIPLEX
FFE 103.40
BSMT FFE 95.40

Lot

DIV. 8
5'x16'
(TYP.)
3/4"
(TYP.)

DOUBLE
2" CURB

Lot 11

3 SHRUBS OR COMPARABLE

FOUNDATION PLANTINGS 24" IN HEIGHT (BURMING BUSH, ULIAS OR COMPARABLE)

3/4" CURB STOP (TYP. OF 3)

DOUBLE CLEANOUT

4 RED MARKS OR COMPARABLE, 2 1/3" CAL.

2" CURB STOP

6" SAW

Lot 13

CITY OF PORTLAND
SMITH &
APPROVED SITE PLAN
SUBJECT TO DEPARTMENTAL
CONDITIONS

Drawn	DB	Date	MAR 2000
Checked	ATP	Scale	1" = 30'
File Name	99163-ALL-LOTS2.DWG		

GP Gorrell-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
PO Box 1237, 26 Main Street
Ordy, ME 04936
207-657-6810

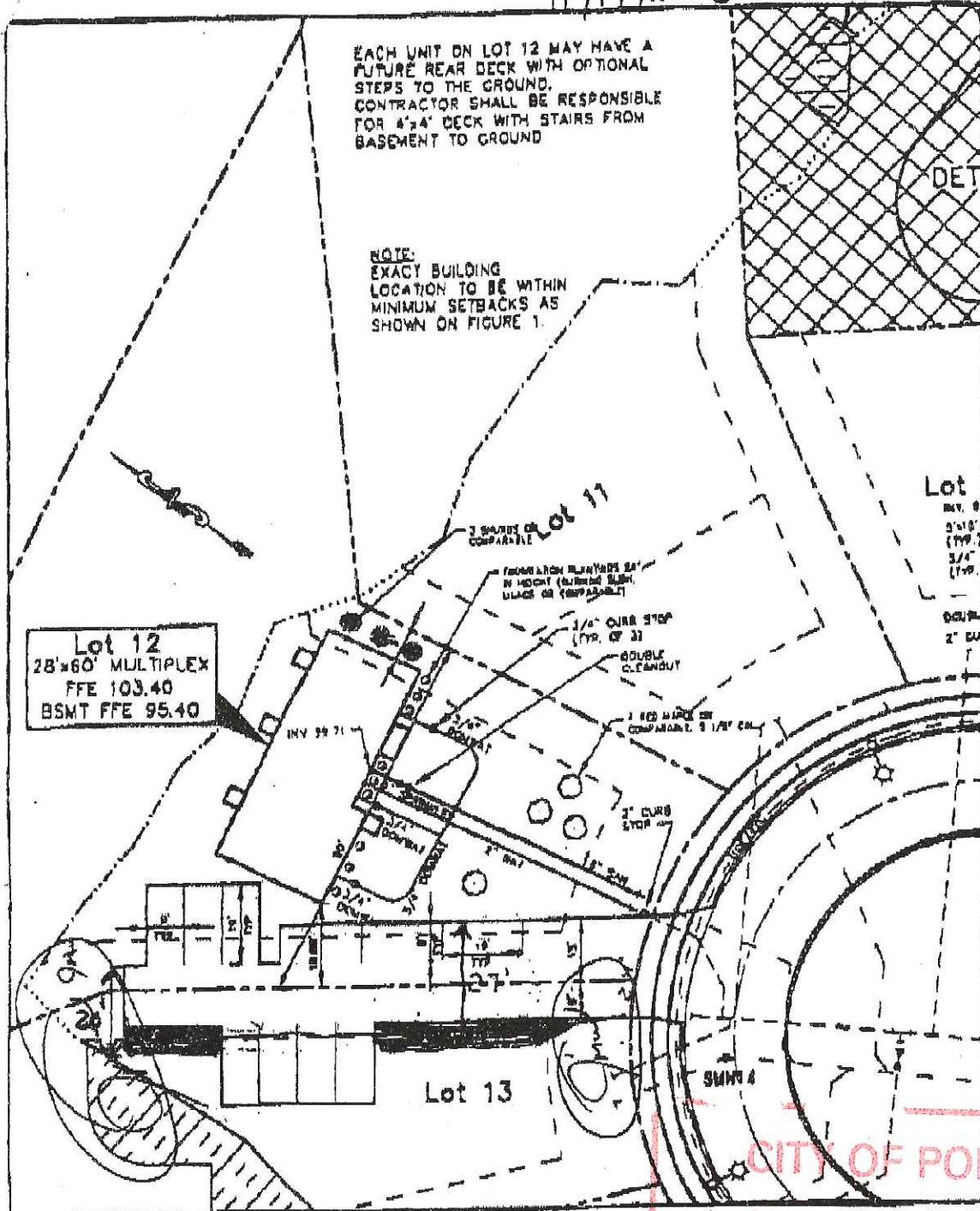
Drawing Name: **Layout & Utilities - Lot 12 & 13**
Project: **MAGGIE LANE, PORTLAND**

Figure No.
2

756

11/14/2000 2:10 PM FAX

11/14/2000



Project	NOV	Date	NOV 2000
Sheet	NOV	Date	NOV 1999
City	NOV	Date	NOV 1999
File Name	NOV-16-00-7368238		

GP Gerrish-Patterson Consulting Engineers Inc.
 16 West 123rd, 24 Main Street
 Gray, ME 04038
 207-657-8818

Project Name: **Layout & Utilities-Lot 12 & 13**
 City: **MAGGIE LANE, PORTLAND**

Figure No. **2**

CITY OF PORTLAND
 APPROVED SITE PLAN
 SUBJECT TO DEPARTMENTAL
 CONDITIONS

NOV-16-00

NOV-16-00

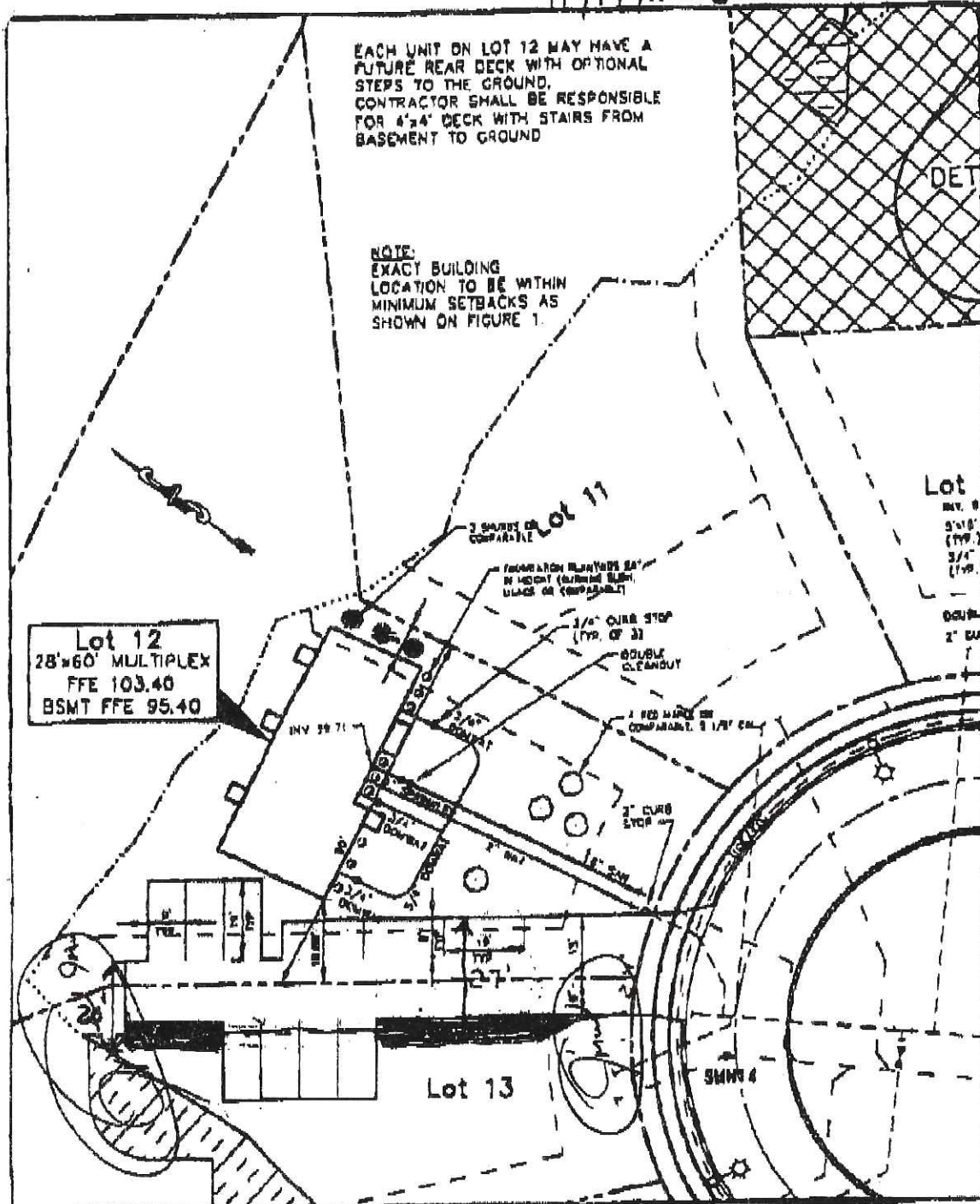
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 NOV-14-00 01:41 PM FROM: 2076921383

11-16-00

756

11/14/2000 23:09 FAX

11/14/2000



Drawn	GP	Date	Nov 2000
Scale	AS SHOWN	Sheet No.	105
Checked by	GP	Scale	1" = 20'
File Name	88181-64-4071.000		

GP Gerrill Palmer Consulting Engineers, Inc.
 Mechanical and Civil Engineering Company
 850 S.W. 123rd St. Main Street
 Gray, ME 04038
 207-637-8918

Original Name: **Layout & Utilities-Lot 12 & 13**
 Project: **MAGGIE LANE, PORTLAND**

Figure No. **2**

SPACE AND BULK REQUIREMENTS – LOT 12

MINIMUM LOT SIZE:	6,000 S.F.
MINIMUM FRONTAGE:	50 FT.
MINIMUM SETBACKS:	20 FT.
FRONT YARD	
REAR YARD	20 FT.
SIDE YARD*	
1 STORY	8 FT.
1 1/2 STORY	8 FT.
2 STORY	12 FT.
2 1/2 STORY	14 FT.
MINIMUM LOT WIDTH:	
OTHER USES	60 FT.

* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NOT SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.


CITY OF PORTLAND

APPROVED SITE PLAN

SUBJECT TO DEPARTMENTAL
CONDITIONS

DATE OF APPROVAL

Design: DER	Date: APR 2000
Draft: LAN	Job No.: 165
Checked: AMP	Scale: NONE
File Name: 99103-ALL-LOTS2.DWG	

	<i>Traffic and Civil Engineering Services</i>
	PO Box 1237, 26 Main Street Groy, ME 04039 207-657-6910

Drawing Name: Space & Bulk Requirements Lot 12
Project: MAGGIE LANE, PORTLAND

Figure No. 1

EACH UNIT ON LOT 12 MAY HAVE A FUTURE REAR DECK WITH OPTIONAL STEPS TO THE GROUND. CONTRACTOR SHALL BE RESPONSIBLE FOR 4'x4' DECK WITH STAIRS FROM BASEMENT TO GROUND

NOTE:
EXACT BUILDING LOCATION TO BE WITHIN MINIMUM SETBACKS AS SHOWN ON FIGURE 1.

SLOPES NOT TO EXCEED 3:1 SLOPES TO RECEIVE LOAM AND SEED

SILT FENCE (TYP)

Lot 12
28'x60' MULTIPLEX
FFE 103.40
BSMT FFE 95.40

3 SHRUBS OF COMPARABLE

Lot 11

FOUNDATION PLANTINGS 24" IN HEIGHT (BURNING BUSH, LILACS OR COMPARABLE)

3/4" CURB STOP (TYP. OF 3)

DOUBLE CLEANOUT

4 RED MAPLE OR COMPARABLE, 2 1/2" CAL.

2" CURB STOP

6" SAN

Lot 13

CITY OF PORTLAND
APPROVED SITE PLAN
SUBJECT TO DEPARTMENTAL CONDITIONS

SMH14

Lot
INV. 99'
5'x16'
(TYP.)
3/4"
(TYP.)

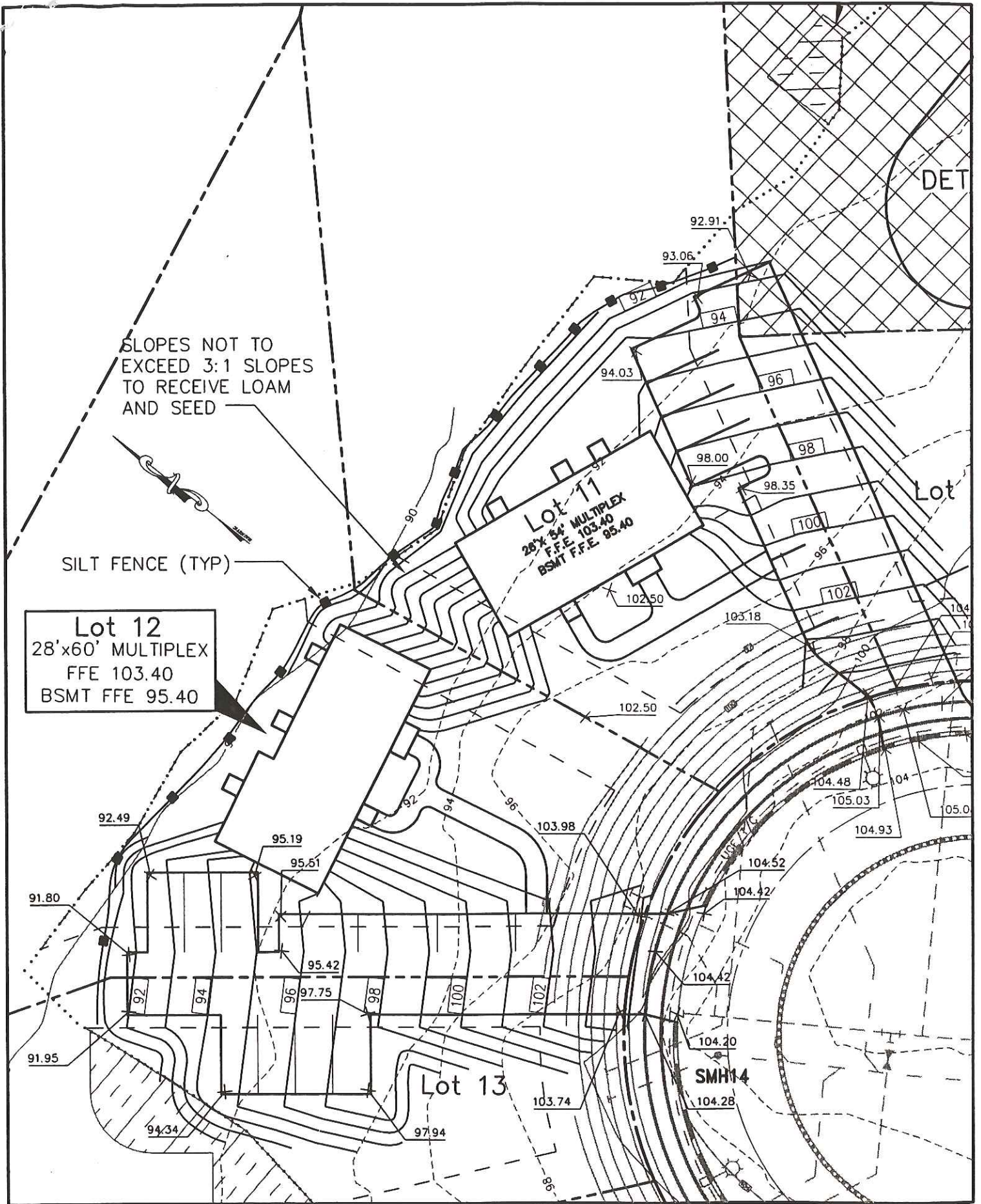
DOUBL
2" CU
T

Design: DER	Date: MAR 2000
Draft: DB	Job No.: 165
Checked: AMP	Scale: 1" = 30'
File Name: 99103-ALL-LOTS2.DWG	

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
PO Box 1237, 26 Main Street
Gray, ME 04039
207-657-6910

Drawing Name: **Layout & Utilities-Lot 12 & 13**
Project: **MAGGIE LANE, PORTLAND**

Figure No. **2**



Design: DER	Date: MAR 2000
Draft: DB	Job No.: 165
Checked: AMP	Scale: 1" = 30'
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Gorrill-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services
 PO Box 1237, 26 Main Street
 Gray, ME 04039
 207-657-6910

Drawing Name:
Grading & Drainage - Lot 12
 Project:
MAGGIE LANE, PORTLAND

Figure No.
3



27 Main Street
Windham, Maine 04062
(207) 892-3149
1-877-892-3149
Fax: (207) 892-1383
E-mail: cbhm@gwi.net

Portland Planning Department

11/14/00

RE: Response to your comments on lot # 12 Maggie Lane

1. The decks and stairs have been added to the site plan.
2. Gorrill-Palmer & Steve Bushy from Deluca - Hoffman, both agree that RipRap is an acceptable slope stabilization measure. There is no way to get a 3 to 1 slope with a 12' drop over 24'. Both the Buyers for lots 11 & 12 do not want retaining walls between buildings for liability and maintenance reasons. If we bring the slopes out past the front of the Buildings the sides would have to become a daylight basement, this would effect our building envelope, grading and final appearance that the purchasers are looking for. We have been patient with this process but we feel it is putting extra burden and is unreasonable to force the purchasers into something they do not want.
3. The silt fence is in place, but we will add it to the site plan.
4. The set back issues have been addressed with Marge at my meeting with her last week. There is a 12' setback because less then $\frac{3}{4}$ of the building is daylight walls, if more then $\frac{3}{4}$ was daylight then it would have been 2.5 stories.
5. We will ad an extra window per your request. This will be done in the field and can be part of your C. O. Approval.
6. Extra bushes will be added, we have already escrowed \$2,000 with the city for final site work completion.

As you can see all the issues have been addressed, we can not wait any longer to start, please call after your meeting.

Thank You

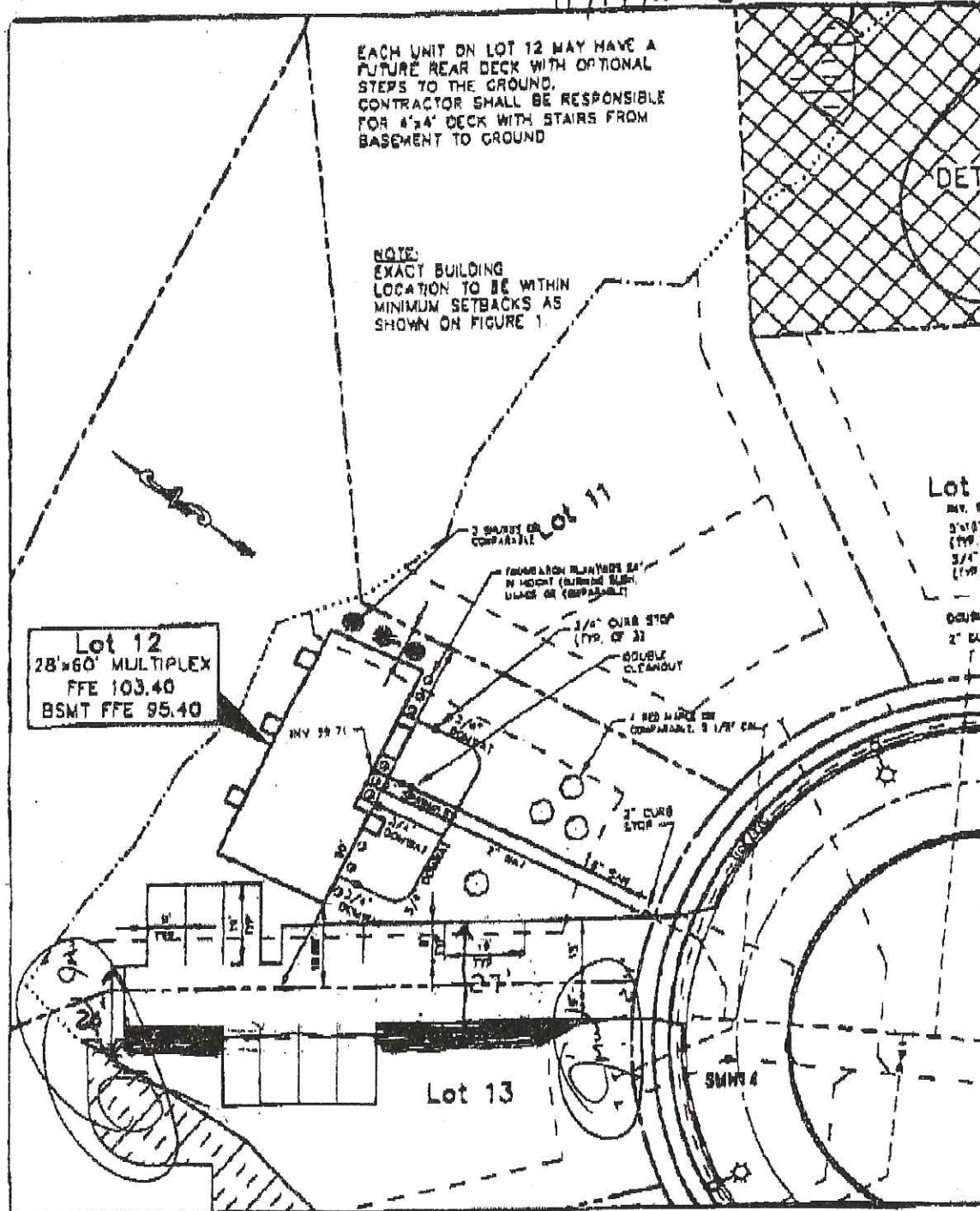
756

11/14/2000 23:04 PAB

11/14/2000

EACH UNIT ON LOT 12 MAY HAVE A FUTURE REAR DECK WITH OPTIONAL STEPS TO THE GROUND. CONTRACTOR SHALL BE RESPONSIBLE FOR 4'x4' DECK WITH STAIRS FROM BASEMENT TO GROUND

NOTE: EXACT BUILDING LOCATION TO BE WITHIN MINIMUM SETBACKS AS SHOWN ON FIGURE 1.



Lot 12
28'x60' MULTIPLEX
FFE 103.40
BSMT FFE 95.40

Lot
REV. 8
3/4" (TYP.)
3/4" (TYP.)
DOUBLE
2" DIA

Drawn	GP	Date	Nov 16 2008
Scale	AS SHOWN	Sheet	1 of 2
Checked	GP	Date	11/14/08
File Name	S:\12-08-08-0071-008		

GP Corvallis-Puget Sound Engineering, Inc.
 Survey and Civil Engineering Division
 1500 SW 123rd, 24 Main Street
 Corvallis, OR 97331
 503-325-8218

Drawing Name: **Layout & Utilities-Lot 12 & 13**
 Project: **MAGGIE LANE, PORTLAND**

Figure No. **2**

NOV-19-2008 01:41P FROM: 2078921382 TO: 8748218 P174

SPACE AND BULK REQUIREMENTS – LOT 12

MINIMUM LOT SIZE:	6,000 S.F.
MINIMUM FRONTAGE:	50 FT.
MINIMUM SETBACKS:	20 FT.
FRONT YARD	
REAR YARD	20 FT.
SIDE YARD*	
1 STORY	8 FT.
1 1/2 STORY	8 FT.
2 STORY	12 FT.
2 1/2 STORY	14 FT.
MINIMUM LOT WIDTH:	
OTHER USES	60 FT.

* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NOT SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.

*NOTE: ORIGINAL CONDITIONS
OF APPROVAL AND STAMPED
PLAN OF 11-16-00 STILL
APPLY. THE APPROVED CHANGE
IS ONLY FOR THE BUILDING
CONFIGURATION*

RK

CITY OF PORTLAND

APPROVED SITE PLAN

SUBJECT TO DEPARTMENTAL
CONDITIONS

DATE OF APPROV 12-14-00

Design: DER	Date: APR 2000
Draft: LAN	Job No.: 165
Checked: AMP	Scale: NONE
File Name: 99103-ALL-LOTS2.DWG	

GP	<i>Traffic and Civil Engineering Services</i>
	PO Box 1237, 26 Main Street Gray, ME 04039 207-657-6910

Drawing Name: Space & Bulk Requirements Lot 12
Project: MAGGIE LANE, PORTLAND

Figure No. 1

EACH UNIT ON LOT 12 MAY HAVE A FUTURE REAR DECK WITH OPTIONAL STEPS TO THE GROUND. CONTRACTOR SHALL BE RESPONSIBLE FOR 4'x4' DECK WITH STAIRS FROM BASEMENT TO GROUND

NOTE:
EXACT BUILDING LOCATION TO BE WITHIN MINIMUM SETBACKS AS SHOWN ON FIGURE 1.

SLOPES NOT TO EXCEED 3:1 SLOPES TO RECEIVE LOAM AND SEED

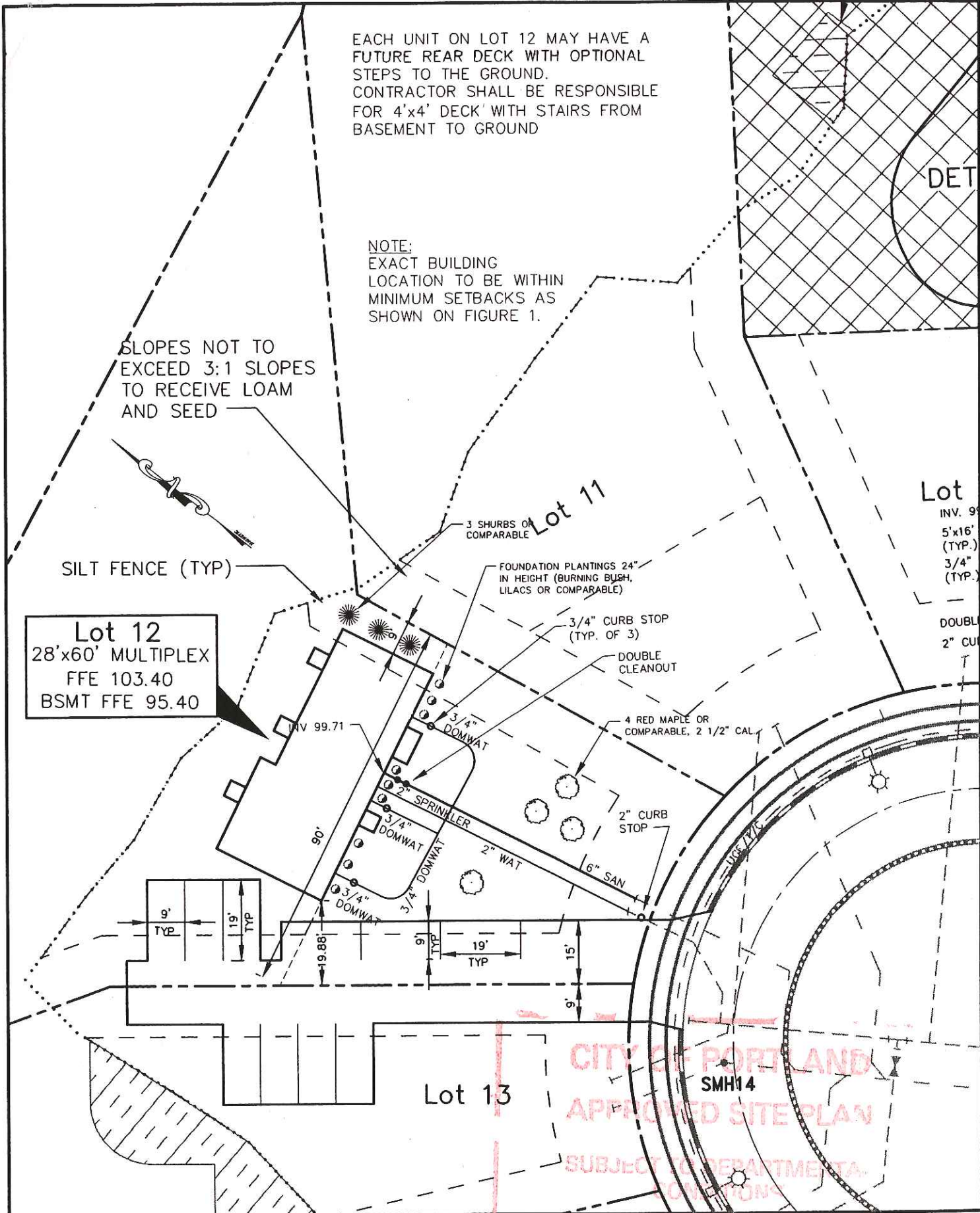
DET

Lot

INV. 99'
5'x16'
(TYP.)
3/4"
(TYP.)

DOUBL
2" CU

Lot 12
28'x60' MULTIPLEX
FFE 103.40
BSMT FFE 95.40



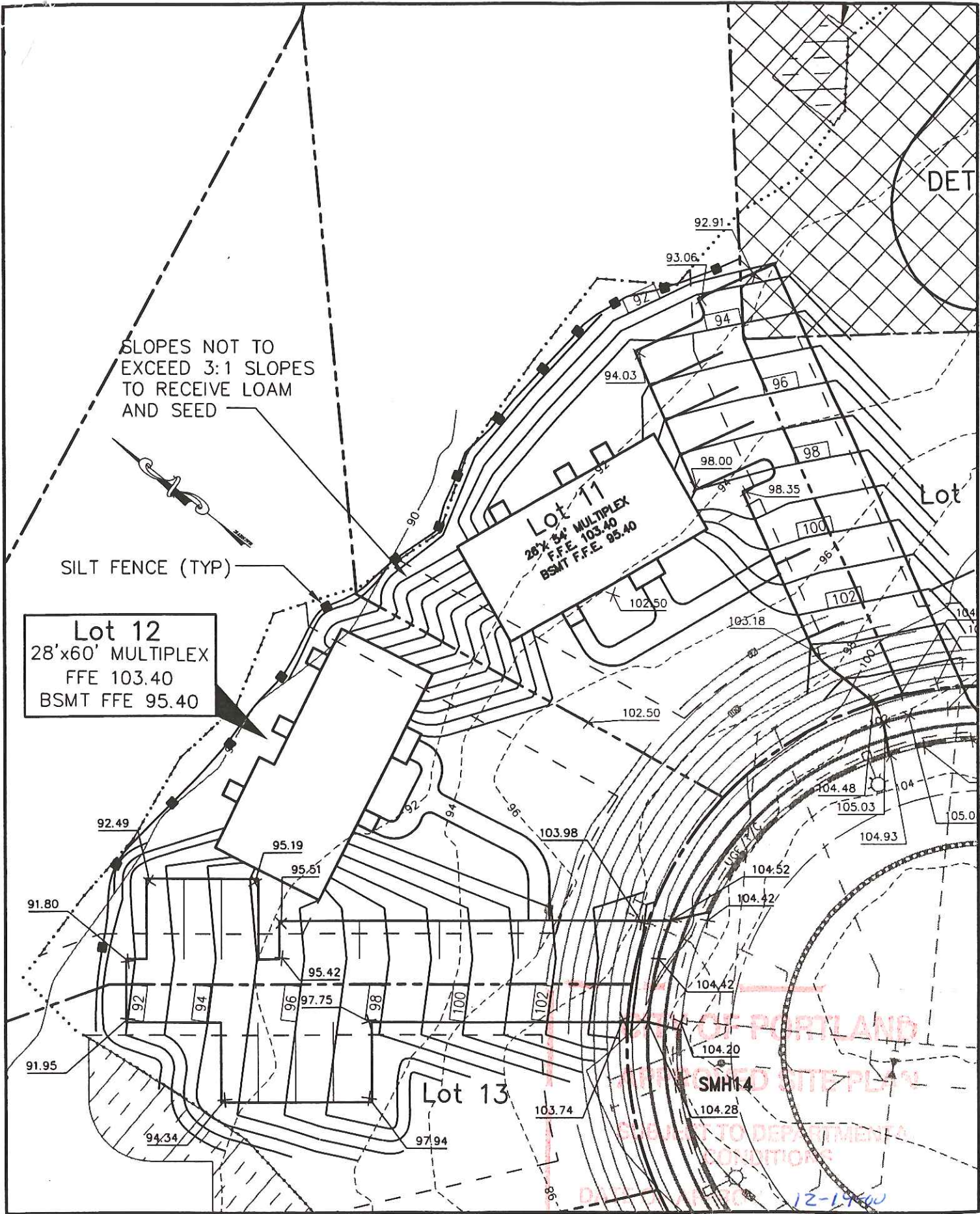
CITY OF PORTLAND
APPROVED SITE PLAN
SMH14
SUBJECT TO DEPARTMENTAL
COMMENTS

Design: DER	Date: MAR 2000
Draft: DB	Job No.: 165
Checked: AMP	Scale: 1" = 30'
File Name: 99103-ALL-LOTS2.DWG	

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
PO Box 1237, 26 Main Street
Gray, ME 04039
207-657-6910

Drawing Name: **12-19-00**
Layout & Utilities-Lot 12 & 13
Project: **MAGGIE LANE, PORTLAND**

Figure No.
2



Design: DER	Date: MAR 2000
Draft: DB	Job No.: 165
Checked: AMP	Scale: 1" = 30'
File Name: 99103-ALL-LOTS2.DWG	

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services

PO Box 1237, 26 Main Street
Gray, ME 04039
207-657-6910

Drawing Name: **Grading & Drainage- Lot 12**

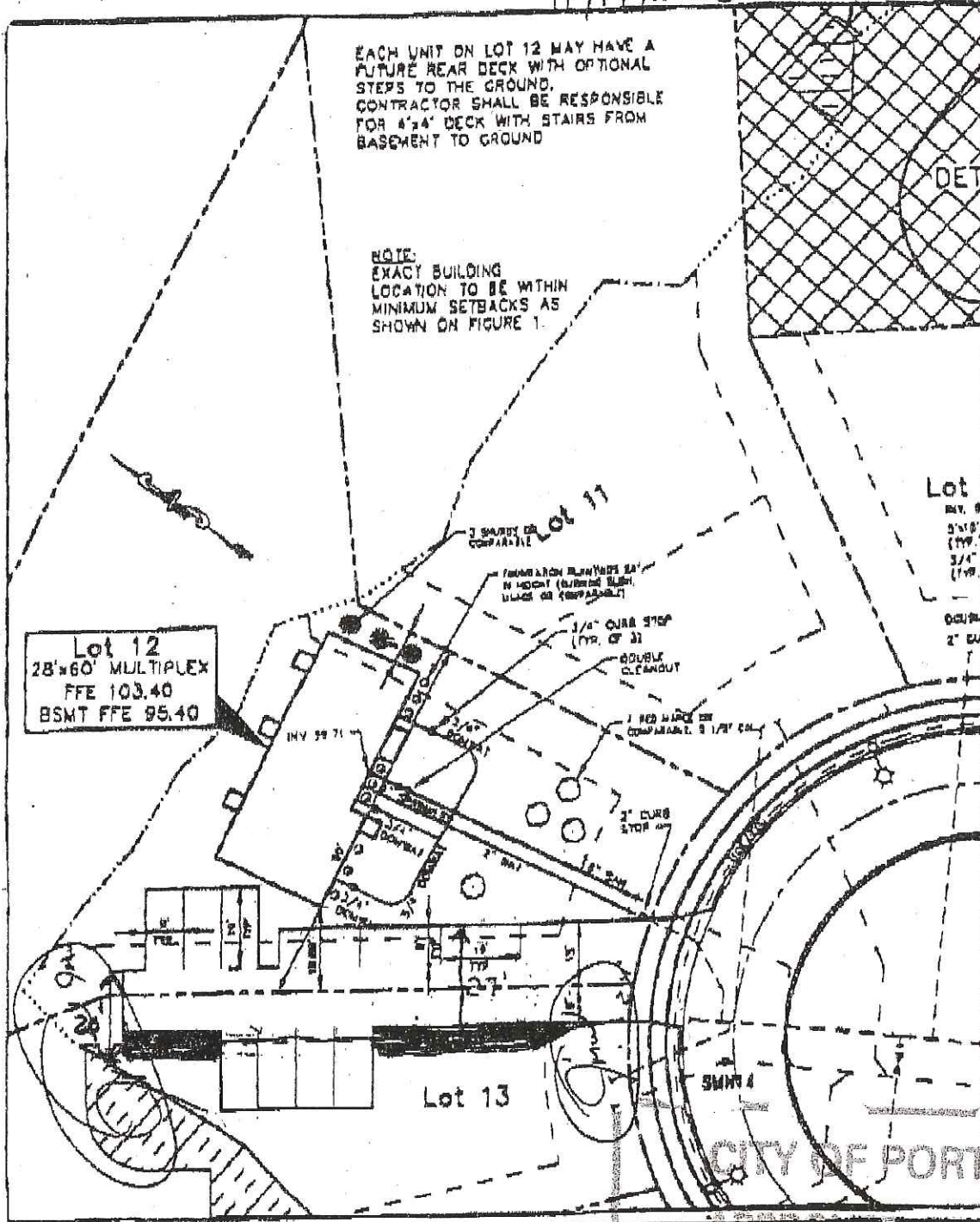
Project: **MAGGIE LANE, PORTLAND**

Figure No.
3

756

11/14/2000 23:09 FAX

11/14/2000



DATE	BY	DESC	NO
11/14/00	CP	REVISED	1
11/14/00	CP	REVISED	2
11/14/00	CP	REVISED	3

CP Corville Palmer Consulting Engineers, Inc.
 Civil and Civil Engineering Division
 1500 NE 123rd, 2nd Main Street
 OAS: NE 08034
 207-457-8918

Project: **MAGGIE LANE, PORTLAND**

Figure No: **2**

Site Plan

CONDITIONS

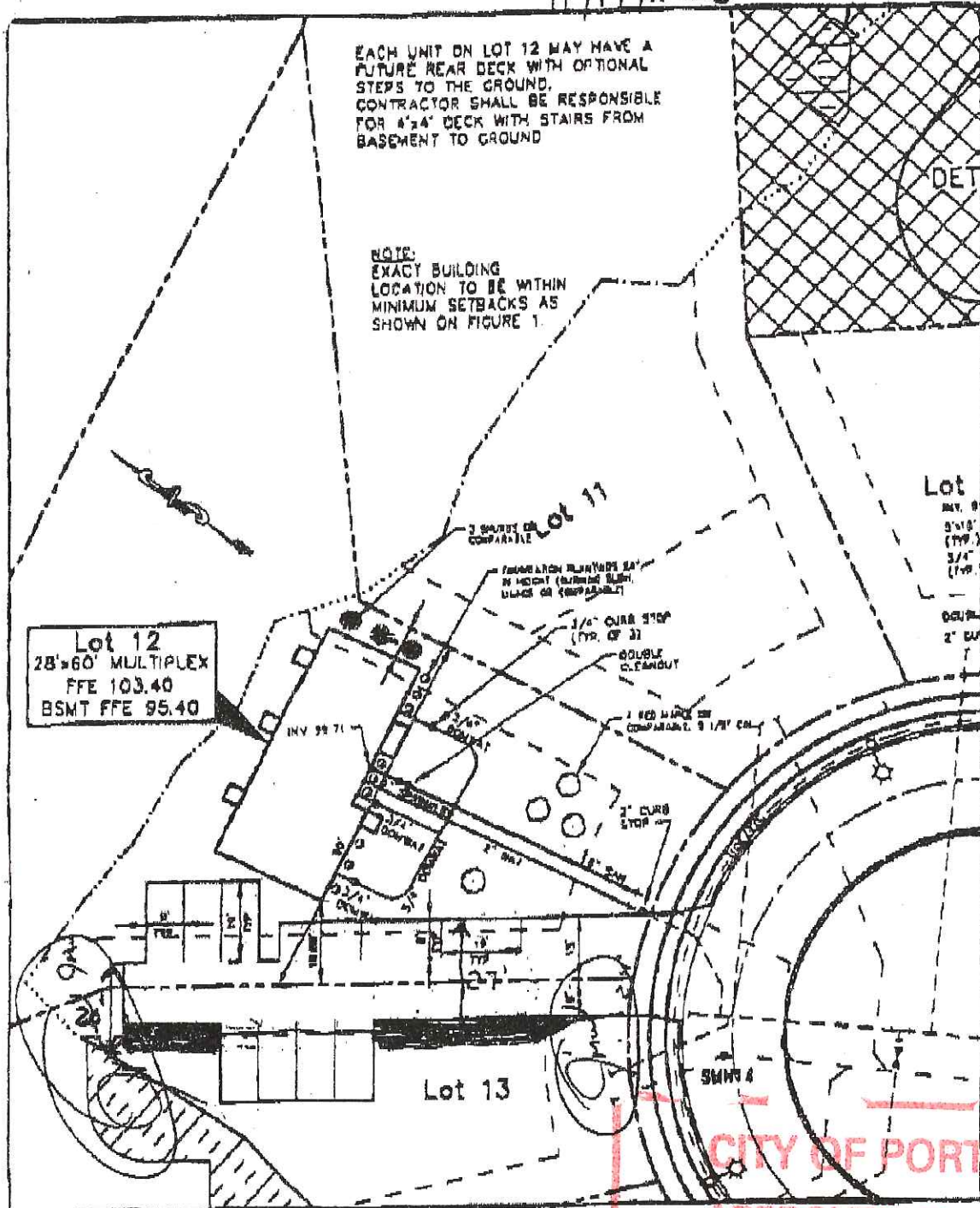
10:57:21E
10:57:49E

NOV-14-2000 01:14P FROM: 2079921383
 NOV-14-2000 01:14P FROM: 2079921383
 11-16-00

756

11/14/2000 23:00 PM

11/14/2000



Design	POP	DATE	2000 10/06
Drawn	WJ	DATE	10/13/00
Checked	WJ	DATE	11/14/00
File Name	00182-000-14071.000		

GP Corroll-Pepper Consulting Engineers, Inc.
Traffic and Civil Engineering Division
10 8th 1237, 10 Main Street
PORTLAND, OR 97204
503-463-8818

Project Name: **LAYOUT & UTILITIES - Lot 12 & 13**
Project: **MAGGIE LANE, PORTLAND**

Figure No. **2**

CITY OF PORTLAND
APPROVAL SITE PLAN
PLANNING DEPARTMENT
CONDITIONS

10:57:27 AM 11/14/00

NOV-14-2000 03:14 PM FROM: 2079921383
NOV-14-2000 01:41 PM FROM: 2079921383
11-16-00

Custom Built Homes of Maine, Inc.
 27 Main Street Windham, Maine 04062
 Phone: (207) 892-3149
 Fax: (207) 892-1383
 E-MAIL: cbhm@gwi.net



Received
 11/14/00

To: Marge Smuckle

Fax#: 874-8716

From: Danny McCarthy

Date: _____

Re: _____

Page(s) including cover

.....



27 Main Street
Windham, Maine 04062
(207) 892-3149
1-877-892-3149
Fax: (207) 892-1383
E-mail: cbhm@gwi.net

Portland Planning Department

11/14/00

RE: Response to your comments on lot # 12 Maggie Lane

1. The decks and stairs have been added to the site plan.
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11/14/2000

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NOTE: EXACT BUILDING LOCATION TO BE WITHIN MINIMUM SETBACKS AS SHOWN ON FIGURE 1.

Lot 12
28'x60' MULTIPLEX
FFE 103.40
BSMT FFE 95.40

Lot
INV. 9
5'x16'
(TYP.)
3/4"
(TYP.)

3 SHRUBS OR COMPARABLE

FOUNDATION PLANTINGS 24" IN HEIGHT (BURNING BUSH, LILACS OR COMPARABLE)

3/4" CURB STOP (TYP. OF 3)

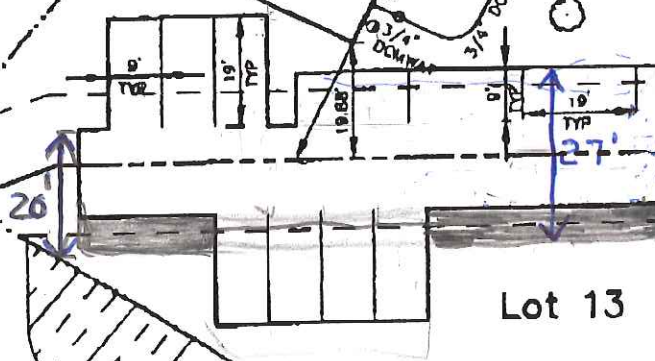
DOUBLE CLEANOUT

4 RED MAPLE OR COMPARABLE, 2 1/2" CAL.

2" CURB STOP

1/8" SAW

SMHT 4



Lot 13

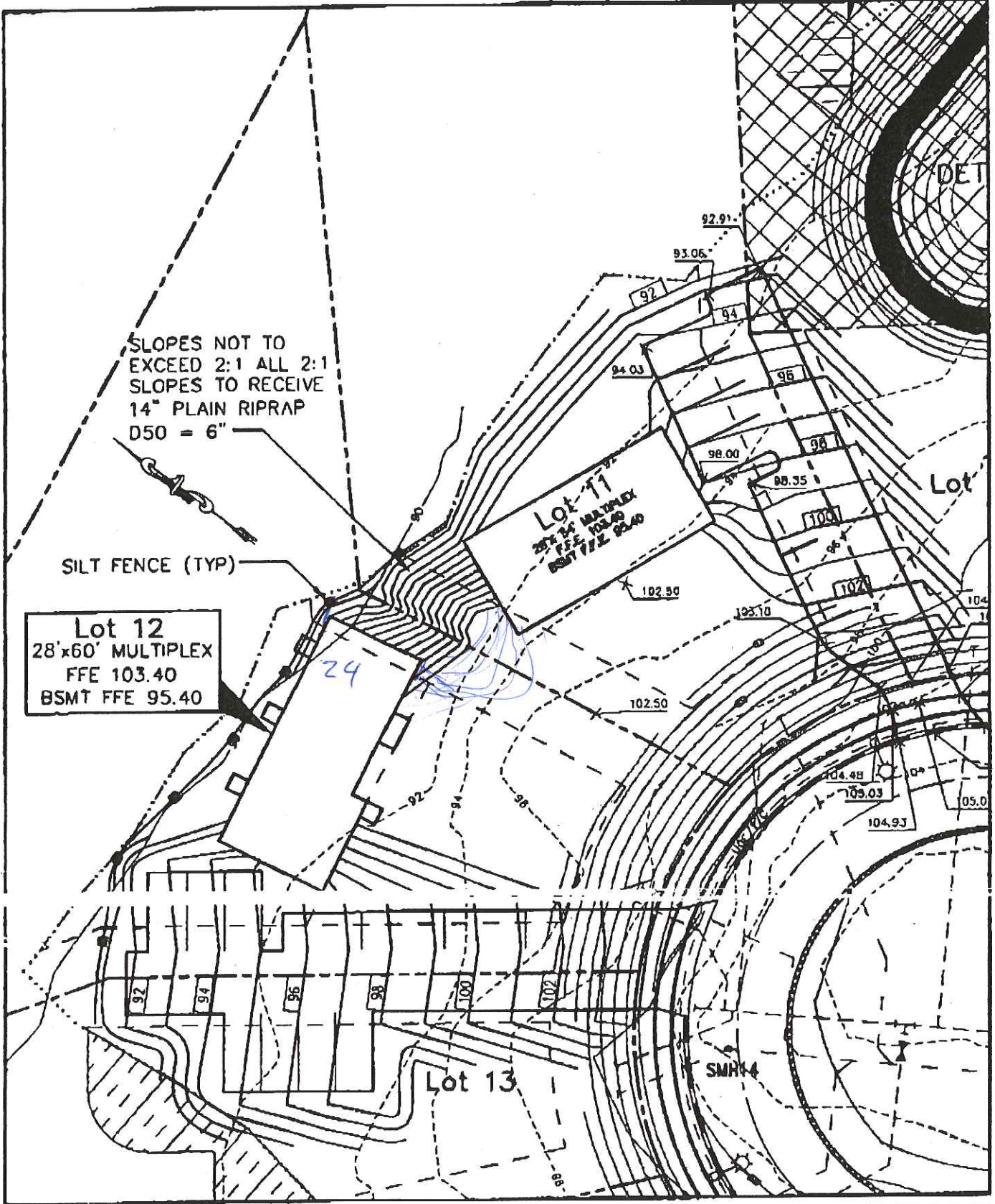
Design	DCR	Date	MAR 2000
Draft	OB	Job No.	165
Checked	AMP	Scale	1" = 30'
File Name	S0103-ALL-LOTS2.DWG		

GP **Gerrill-Palmer Consulting Engineers, Inc.**
Traffic and Civil Engineering Services
PO Box 1237, 26 Main Street
Gray, ME 04038
207-657-8910

Drawing Name:
Layout & Utilities—Lot 12 & 13
Project:
MAGGIE LANE, PORTLAND

Figure No.
2

11/14/2000



Lot 12
 28'x60' MULTIPLEX
 FFE 103.40
 BSMT FFE 95.40

Lot 11
 28'x60' MULTIPLEX
 FFE 102.50
 BSMT FFE 95.40

Lot 13

Design: DFR	Date: MAR 2000
Draft: DB	Job No.: 165
Checked: AMP	Scale: 1" = 30'
File Name: 99103-ALL-LOTS2.DWG	

GP Corvill-Palmer Consulting Engineers Inc.
 Traffic and Civil Engineering Services
 PO Box 1237, 26 Main Street
 Gray, ME 04039
 207-637-6910

Drawing Name:	Figure No.
Project: MAGGIE LANE, PORTLAND	

11/14/2000

EACH UNIT ON LOT 12 MAY HAVE A FUTURE REAR DECK WITH OPTIONAL STEPS TO THE GROUND. CONTRACTOR SHALL BE RESPONSIBLE FOR 4'x4' DECK WITH STAIRS FROM BASEMENT TO GROUND

NOTE:
EXACT BUILDING LOCATION TO BE WITHIN MINIMUM SETBACKS AS SHOWN ON FIGURE 1.

DET

Lot

DIV. B
5'x10'
(TYP.)
3/4"
(TYP.)
DOUBLE
2" CURB

Lot 12
28'x60' MULTIPLEX
FFE 103.40
BSMT FFE 95.40

Lot 11

3 SHARDS OR COMPARABLE

FOUNDATION PLANTING 24" IN HEIGHT (BURIED BUSH, LILACS OR COMPARABLE)

3/4" CURB STOP (TYP. OF 3)

DOUBLE CLEANOUT

4 RED MAPLE OR COMPARABLE, 2 1/2" CAL.

2" CURB STOP

INV 89.71

3/4" DOWNWAT

UP SPRINKLER

3/4" DOWNWAT

20"

3/4" DOWNWAT

2" WAT

16" SAN



Lot 13

SMH14

Design	DER	Date	MAR 2000
Drawn	DB	Job No.	105
Checked	AMP	Scale	1" = 30'
File Name: 99103-ALL-LOT12.DWG			

GP Gorrell-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
PO Box 1237, 26 Main Street
Gray, ME 04036
207-657-6610

Drawing Name:
Layout & Utilities-Lot 12 & 13
Project:
MAGGIE LANE, PORTLAND

Figure No.
2

SPACE AND BULK REQUIREMENTS - LOT 12

MINIMUM LOT SIZE: 6,000 S.F.

MINIMUM FRONTAGE: 50 FT.

MINIMUM SETBACKS: 20 FT.

FRONT YARD

REAR YARD 20 FT.

SIDE YARD*

1 STORY 8 FT.

1 1/2 STORY 8 FT.

2 STORY 12 FT.

2 1/2 STORY 14 FT.

MINIMUM LOT WIDTH: 60 FT.

OTHER USES

* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NOT SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.

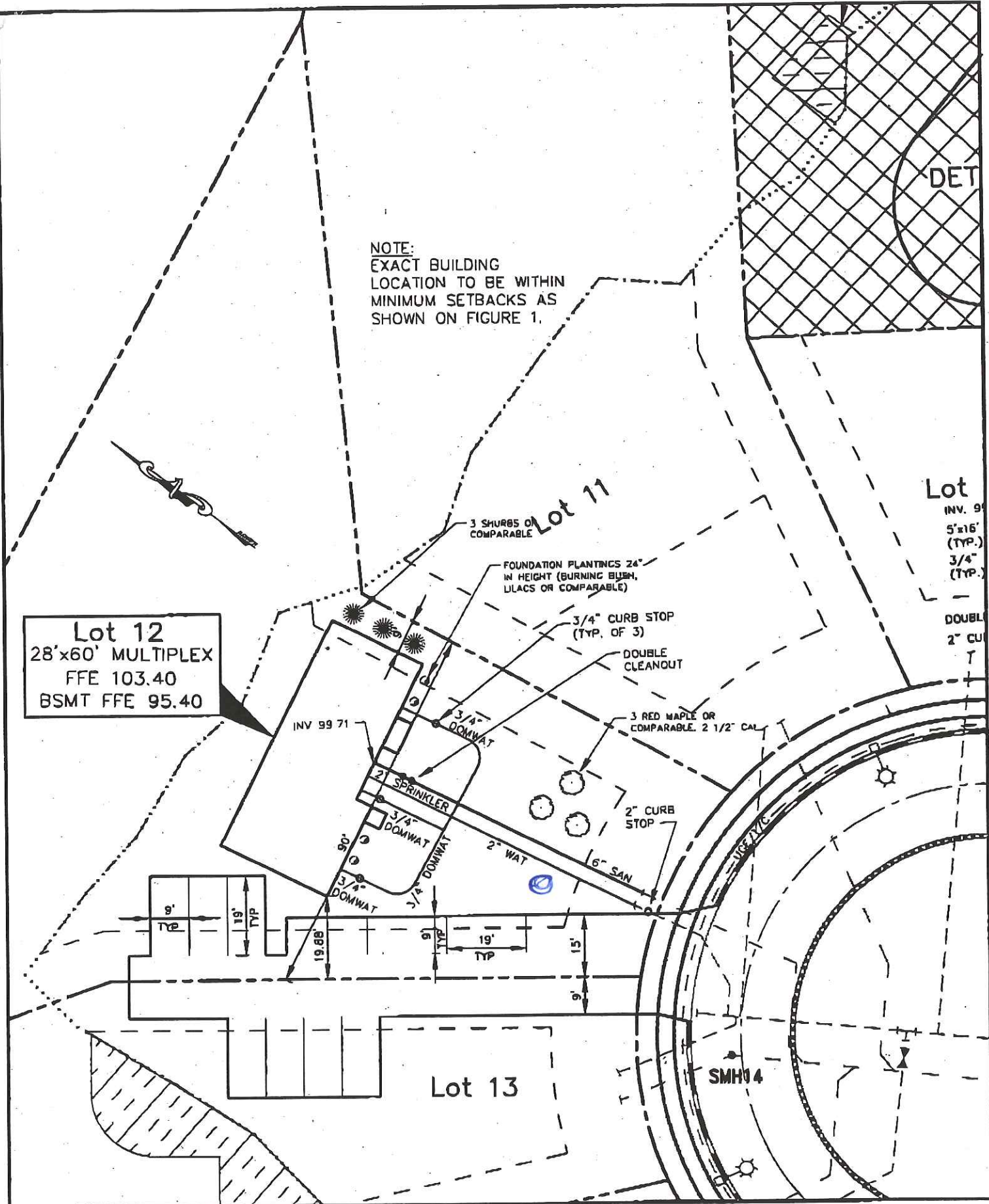
Post-it® Fax Note	7671	Date	# of pages ▶ 3
To	CHRIS EARLE	From	DOUG R.
Co./Dept.		Co.	
Phone #		Phone #	
Fax #	877-0896	Fax #	

Design: DER	Date: APR 2000
Draft: LAN	Job No.: 165
Checked: AMP	Scale: NONE
File Name: 99103-ALL-LOTS2.DWG	

	Traffic and Civil Engineering Services
PO Box 1237, 26 Main Street Gray, ME 04039 207-657-6910	

Drawing Name: Space & Bulk Requirements Lot 12
Project: MAGGIE LANE, PORTLAND

Figure No. 1



NOTE:
EXACT BUILDING
LOCATION TO BE WITHIN
MINIMUM SETBACKS AS
SHOWN ON FIGURE 1.

Lot 12
28'x60' MULTIPLEX
FFE 103.40
BSMT FFE 95.40

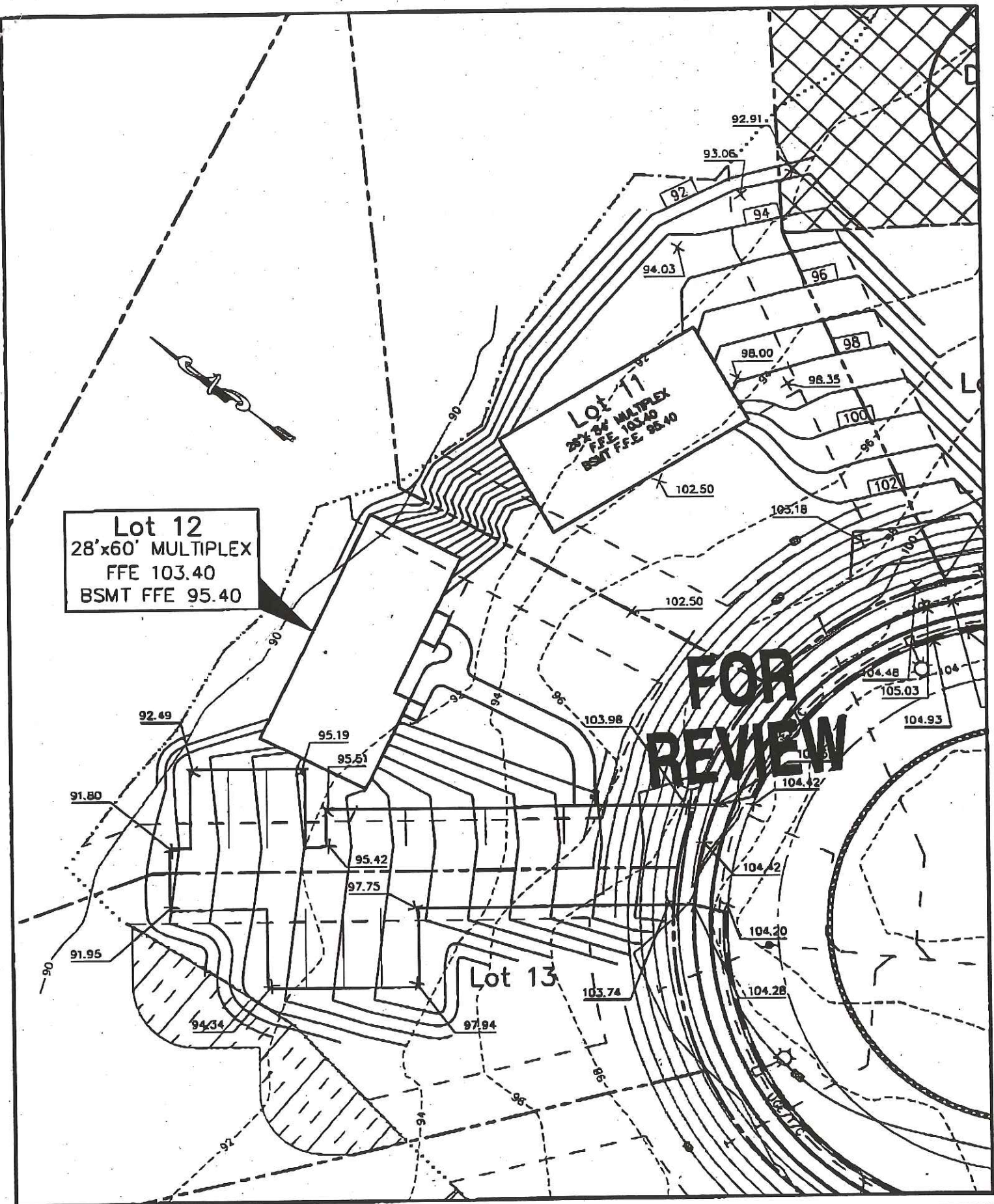
Lot
INV. 9'
5'x16'
(TYP.)
3/4"
(TYP.)
DOUBLE
2" CU

Design: OER	Date: MAR 2000
Draft: OB	Job No.: 165
Checked: AMP	Scale: 1" = 30'
File Name: 99103-ALL-LOTS2.DWC	

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
PO Box 1237, 26 Main Street
Gray, ME 04039
207-657-6910

Drawing Name:
Layout & Utilities-Lot 12 & 13
Project:
MAGGIE LANE, PORTLAND

Figure No.
2



Design: DER	Date: MAR 2000
Draft: DB	Job No.: 165
Checked: AMP	Scale: 1" = 30'
File Name: 99103-ALL-LOT52.DWG	

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services

PO Box 1237, 26 Main Street
Gray, ME 04039
207-657-6910

Drawing Name:
Grading & Drainage - Lot 12

Project:
MAGGIE LANE, PORTLAND

Figure No.
3

City of Portland Planning Department

389 Congress Street, 4th Floor
Portland, ME 04101
(207)874-8721 or (207)874-8719
Fax: (207)756-8258

FAX TRANSMISSION COVER SHEET

Date: 11-8-00

To: DAN MCCARTHY

Company: CUSTOM BUILT HOMES

Fax #: 892-1383

From: RICK KNOWLAND

RE: DAN - THE LOT #12 PLAN SUBMITTED TO YOU
ON 11-7-00 DOES NOT ADDRESS ANY OF THE POINTS
OUTLINED IN MY LETTER THAT WAS FAXED TO
YOU ON 11-1-00. (ATTACHED) SUBMIT A PLAN
THAT ADDRESSES THESE ISSUES. ALSO SUBMIT A
PLAN THAT IS TO SCALE. RIC

YOU SHOULD RECEIVE 2 PAGE(S),
INCLUDING THIS COVER SHEET.
IF YOU DO NOT RECEIVE ALL THE PAGES,
PLEASE CALL (207)874-8721 OR (207)874-8719.

COMMENTS ON LOT #12 FROM 11-1-00 STAFF MEETING

1. SITE PLAN SHOULD SHOW THE DECK FOOTPRINTS AND BACK STAIRWAYS. THERE IS A SIGNIFICANT 5 FOOT DROP FROM THE FLOOR TO THE GROUND. STAIRS ARE A CODE REQUIREMENT.
2. SUBMIT SPECIFIC SLOPE STABILIZATION MEASURES ON THE PLAN. ONE OPTION IS TO MAKE IT LESS STEEP. WE WILL NOT ACCEPT MORE THAN A 3 TO 1 SLOPE. *OR hand draw w/ explanation*
3. INDICATE INSTALLATION OF A SILT FENCE UPGRADE FROM THE WETLAND PRIOR TO CONSTRUCTION.
4. MARCO INDICATED THAT THE BUILDING IS 2 1/2 STORIES HIGH, THEREFORE YOU NEED SIDERYARD SETBACKS OF 14 FEET AND 14 FEET. A REMINDER THAT THE 90 FOOT LOT WIDTH NEEDS TO BE MAINTAINED. SHOW THE SETBACKS IN FEET.
5. AN EXTRA WINDOW ON THE 2ND FLOOR (RIGHT ELEVATION) NEEDS TO BE ADDED. THIS ELEVATION HAS ONLY 2 WINDOWS, WE SEE NO COMPELLING REASON WHY A WINDOW SHOULD NOT BE THERE.
6. THIS IS A BIG BUILDING; NEED 9 FOUNDATION BUSHES ALONG THE FRONT FOUNDATION, ALSO AN ADDITIONAL DECIDUOUS TREE NEEDS TO BE PLANTED IN THE FRONTYARD BETWEEN THE DRIVEWAY AND ON-SITE WALKWAY.

City of Portland Planning Department

389 Congress Street, 4th Floor
Portland, ME 04101
(207)874-8721 or (207)874-8719
Fax: (207)756-8258

FAX TRANSMISSION COVER SHEET

Date: 11-1-00

To: DAN MCCARTHY

Company: CUSTOM BUILT HOMES

Fax #: 892-1383

From: RICK KNOWLSON

RE: DAN - COMMENTS ON LOT 12 OF MADDIG LANE

YOU SHOULD RECEIVE 2 PAGE(S),
INCLUDING THIS COVER SHEET.
IF YOU DO NOT RECEIVE ALL THE PAGES,
PLEASE CALL (207)874-8721 OR (207)874-8719.

**FOR
REVIEW**

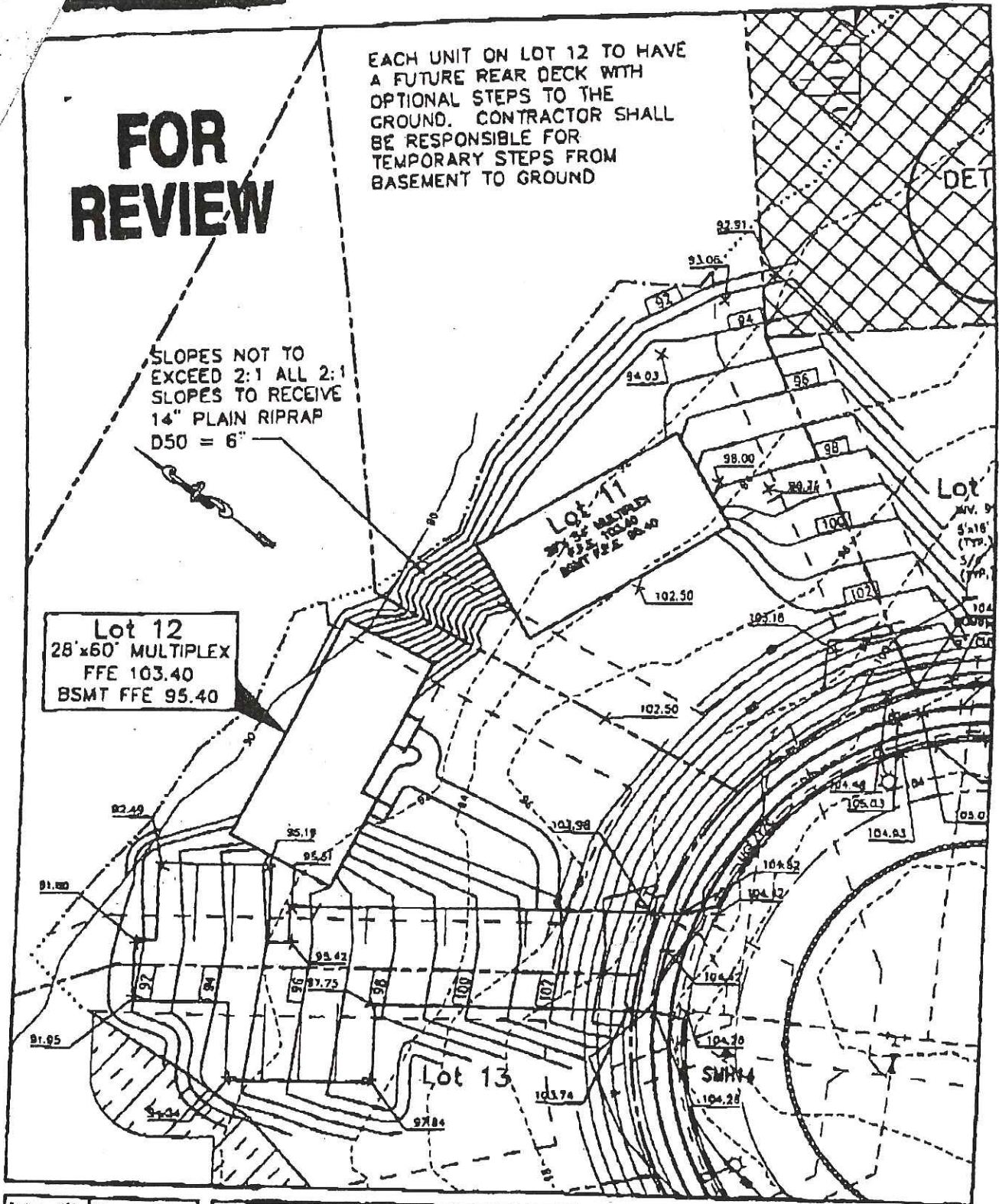
EACH UNIT ON LOT 12 TO HAVE
A FUTURE REAR DECK WITH
OPTIONAL STEPS TO THE
GROUND. CONTRACTOR SHALL
BE RESPONSIBLE FOR
TEMPORARY STEPS FROM
BASEMENT TO GROUND

SLOPES NOT TO
EXCEED 2:1 ALL 2:1
SLOPES TO RECEIVE
14" PLAIN RIPRAP
D50 = 6"

Lot 12
28'x60' MULTIPLEX
FFE 103.40
BSMT FFE 95.40

Lot 11
28'x60' MULTIPLEX
FFE 102.60
BSMT FFE 95.40

Lot 13



Design:	DBL	Date:	MAR 2000
Draft:	DB	Job no.:	100
Checked:	and	Scale:	1" = 30'
File Name:	99103-ALL-LOT12.dwg		

GP Capelli-Palmer Consulting Engineers Inc.
Traffic and Civil Engineering Services
PO Box 1737, 36 Main Street
Croy, NC 28639
207-857-6910

Drawing Name:
Grading & Drainage- Lot 12
Project:
MAGGIE LANE, PORTLAND

Figure No.
3

received 4/7/00

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

20000157

I. D. Number

Custom Built Homes of Maine

Applicant

27 Main Street, Windham, ME

Applicant's Mailing Address

Danny McCarthy

Consultant/Agent

892-1383

Applicant or Agent Daytime Telephone, Fax

7/26/00

Application Date

Maggie Lane lot 12

Project Name/Description

77 - 77 Maggie Ln, Portland Maine

Address of Proposed Site

341 A022

Assessor's Reference: Chart-Block-Lot

4. The parallel parking spaces shown on the plan shall be a minimum 20 feet long.

Inspections Conditions of Approval

Fire Conditions of Approval

From: Steve Bushey <srbushey@maine.rr.com>
To: dergpcei@maine.rr.com <dergpcei@maine.rr.com>
Date: Tuesday, November 14, 2000 9:32 AM
Subject: Re: Lot 12 Maggie Lane

Doug,

Why don't you look at perhaps a couple of small retaining walls: one running straight out from the unit 12 easterly side wall towards the street and similarly from the unit 11 westerly side wall slightly angled toward the street. This would allow the slope between the units to be more shallow and then be just grass. All you need is about 48-50' to give you a 4:1 slope. I don't think you would need much more than a 2-3 ft. tall wall which could be made with timbers/railroad ties etc. and be made to look quite nice while relieving you of the need to have a large riprapped slope. A second idea would be to run some type of retaining structure between the two units although this would likely create a wall with more drop off that would have to be dealt with. Or how about several shorter steps down the slope. Just look at some of these options as I think you can probably come up with something with a little creative thinking.

Good Luck

Steve

Steve

-----Original Message-----

From: Doug Reynolds <dergpcei@maine.rr.com>
To: Steve Bushey (E-mail) <srbushey@maine.rr.com>
Cc: Jim Wolf (E-mail) <buca@maine.rr.com>
Date: Tuesday, November 14, 2000 8:42 AM
Subject: Lot 12 Maggie Lane

>
>Steve,
>
>Getting back to what we discussed yesterday regarding the slope.
>
>Jim Wolf would like to know if you can state in writing that from an
>engineering standpoint the 2:1 riprapped slopes are okay.
>
>It is my understanding that the maximum 3:1 slopes are a planning issue.
>
>Jim is of the opinion that a wall of some sort may create more liabilities
>and more hazards as a play area for children.
>
>Please let me know if this is something you agree with.
>
>Thanks, Doug
>

11/15/00

$$25 \times 28 = 700 \text{ SF}$$

approximately 700
square feet

The area in question is ~~28 x 32 x 22 x 24~~
~~is proposed as a~~ joint side yard
between buildings on lots 11 and 12.
This side yard is proposed as a
riprap ~~2 to one~~ 2 to 1 slope
dropping 12' in elevation over a
24' run. ~~White a rip~~

~~This is not approved~~

we require

~~The condition of approval is a~~
maximum slope of 3 to 1 with
a grass finish. The recommendation
of the DRC consulting engineer Steve
Barshy is to install two small
retaining walls, 2-3' tall, or a
series of steps, which would allow
a terraced lawn in the side yard
of 3 to 1 or 4 to 1 slope steepers.
Please submit a revised plan
with the maximum slope as specified.
Until this issue is resolved, we cannot
grant approval of the plan as submitted.



27 Main Street
Windham, Maine 04062
(207) 892-3149
1-877-892-3149
Fax: (207) 892-1383
E-mail: cbhm@gwt.net

Portland Planning Department

11/14/00

RE: Response to your comments on lot # 12 Maggie Lane

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Thank You

*This lot
is being filled
it does not have
to drop 12' in 24'*

*Length of
Parking Spaces?*

From: Steve Bushey <srbushey@maine.rr.com>
To: dergpcei@maine.rr.com <dergpcei@maine.rr.com>
Date: Tuesday, November 14, 2000 9:32 AM
Subject: Re: Lot 12 Maggie Lane

Doug,

Why don't you look at perhaps a couple of small retaining walls: one running straight out from the unit 12 easterly side wall towards the street and similarly from the unit 11 westerly side wall slightly angled toward the street. This would allow the slope between the units to be more shallow and then be just grass. All you need is about 48-50' to give you a 4:1 slope. I don't think you would need much more than a 2-3 ft. tall wall which could be made with timbers/railroad ties etc. and be made to look quite nice while relieving you of the need to have a large riprapped slope. A second idea would be to run some type of retaining structure between the two units although this would likely create a wall with more drop off that would have to be dealt with. Or how about several shorter steps down the slope. Just look at some of these options as I think you can probably come up with something with a little creative thinking.

Good Luck

Steve

Steve

-----Original Message-----

From: Doug Reynolds <dergpcei@maine.rr.com>
To: Steve Bushey (E-mail) <srbushey@maine.rr.com>
Cc: Jim Wolf (E-mail) <buca@maine.rr.com>
Date: Tuesday, November 14, 2000 8:42 AM
Subject: Lot 12 Maggie Lane

>

>Steve,

>

>Getting back to what we discussed yesterday regarding the slope.

>

>Jim Wolf would like to know if you can state in writing that from an
>engineering standpoint the 2:1 riprapped slopes are okay.

>

>It is my understanding that the maximum 3:1 slopes are a planning issue.

>

>Jim is of the opinion that a wall of some sort may create more liabilities
>and more hazards as a play area for children.

>

>Please let me know if this is something you agree with.

>

>Thanks, Doug

>

City of Portland Planning Department

389 Congress Street, 4th Floor
Portland, ME 04101
(207)874-8721 or (207)874-8719
Fax: (207)756-8258

FAX TRANSMISSION COVER SHEET

Date: 11-13-00

To: STEVE BUSHBY

Company: _____

Fax #: 879-0896

From: RICK KNOWLAND

RE: STEVE - SEE ATTACHED MEMO, ILL NEED TO

FOLLOW UP WITH LARRY ON THE SIDEWALK

PARKING ISSUE

YOU SHOULD RECEIVE 3 PAGE(S),
INCLUDING THIS COVER SHEET.
IF YOU DO NOT RECEIVE ALL THE PAGES,
PLEASE CALL (207)874-8721 OR (207)874-8719.

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Fax: (207)756-8258

FAX TRANSMISSION COVER SHEET

Date: 11-8-00

To: DAN MCCARTHY

Company: CUSTOM BUILT HOMES

Fax #: 892-1383

From: RICK KNOWLAND

RE: DAN - THE LOT #12 PLAN SUBMITTED TO U
ON 11-7-00 DOES NOT ADDRESS ANY OF THE POINTS
OUTLINED IN MY LETTER THAT WAS FAXED TO
YOU ON 11-1-00. (ATTACHED) SUBMIT A PLAN
THAT ADDRESSES THESE ISSUES. ALSO SUBMIT A
PLAN THAT IS TO SCALE. RIC

YOU SHOULD RECEIVE 2 PAGE(S),
INCLUDING THIS COVER SHEET.
IF YOU DO NOT RECEIVE ALL THE PAGES,
PLEASE CALL (207)874-8721 OR (207)874-8719.

COMMENTS ON LOT #12 FROM 11-1-00 STAFF MEETING

1. SITE PLAN SHOULD SHOW THE DECK FOOTPRINTS AND BACK STAIRWAYS. THERE IS A SIGNIFICANT 5 FOOT DROP FROM THE FLOOR TO THE GROUND. STAIRS ARE A CODE REQUIREMENT.
2. SUBMIT SPECIFIC SLOPE STABILIZATION MEASURES ON THE PLAN. ONE OPTION IS TO MAKE IT LESS STEEP. WE WILL NOT ACCEPT MORE THAN A 3 TO 1 SLOPE. OR hand draw w/ explanation
3. INDICATE INSTALLATION OF A SILT FENCE UPGRADE FROM THE WETLAND PRIOR TO CONSTRUCTION.
4. MARCO INDICATED THAT THE BUILDING IS 2 1/2 STORIES HIGH, THEREFORE YOU NEED SIDYARD SETBACKS OF 14 FEET AND 14 FEET. A REMINDER THAT THE 90 FOOT LOT WIDTH NEEDS TO BE MAINTAINED. SHOW THE SETBACKS IN FEET.
5. AN EXTRA WINDOW ON THE 2ND FLOOR (RIGHT ELEVATION) NEEDS TO BE ADDED. THIS ELEVATION HAS ONLY 2 WINDOWS, WE SEE NO COMPELLING REASON WHY A WINDOW SHOULD NOT BE THERE.
6. THIS IS A BIG BUILDING, NEED 9 FOUNDATION BUSHES ALONG THE FRONT FOUNDATION, ALSO AN ADDITIONAL DECIDUOUS TREE NEEDS TO BE PLANTED IN THE FRONTYARD BETWEEN THE DRIVEWAY AND ON SITE WALKWAY.

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Portland, ME 04101
(207)874-8721 or (207)874-8719
Fax: (207)756-8258

FAX TRANSMISSION COVER SHEET

Date: 11-1-00

To: DAN MCCARTHY

Company: CUSTOM BUILT HOMES

Fax #: 892-1383

From: RICK KNOWLSON

RE: DAN-COMMENTS ON LOT 12 OF MADDICLOND

YOU SHOULD RECEIVE 2 PAGE(S),
INCLUDING THIS COVER SHEET.
IF YOU DO NOT RECEIVE ALL THE PAGES,
PLEASE CALL (207)874-8721 OR (207)874-8719.

Custom Built Homes of Maine, Inc.
27 Main Street Windham, Maine 04062
Phone: (207) 892-3149
Fax: (207) 892-1383
E-MAIL: cbhm@gwi.net



To: Marge Smuckle

Fax#: _____

From: Denny McCarthy

Date: Received 11/7/00

Re: Lot # 12 "Maggie" Lane

____ Page(s) including cover

.....

**FOR
REVIEW**

EACH UNIT ON LOT 12 TO HAVE
A FUTURE REAR DECK WITH
OPTIONAL STEPS TO THE
GROUND. CONTRACTOR SHALL
BE RESPONSIBLE FOR
TEMPORARY STEPS FROM
BASEMENT TO GROUND

SLOPES NOT TO
EXCEED 2:1 ALL 2:1
SLOPES TO RECEIVE
14" PLAIN RIPRAP
D50 = 6"

Lot 12
28'x60' MULTIPLEX
FFE 103.40
BSMT FFE 95.40

Lot 11
27'x55' MULTIPLEX
FFE 102.50
BSMT FFE 95.40

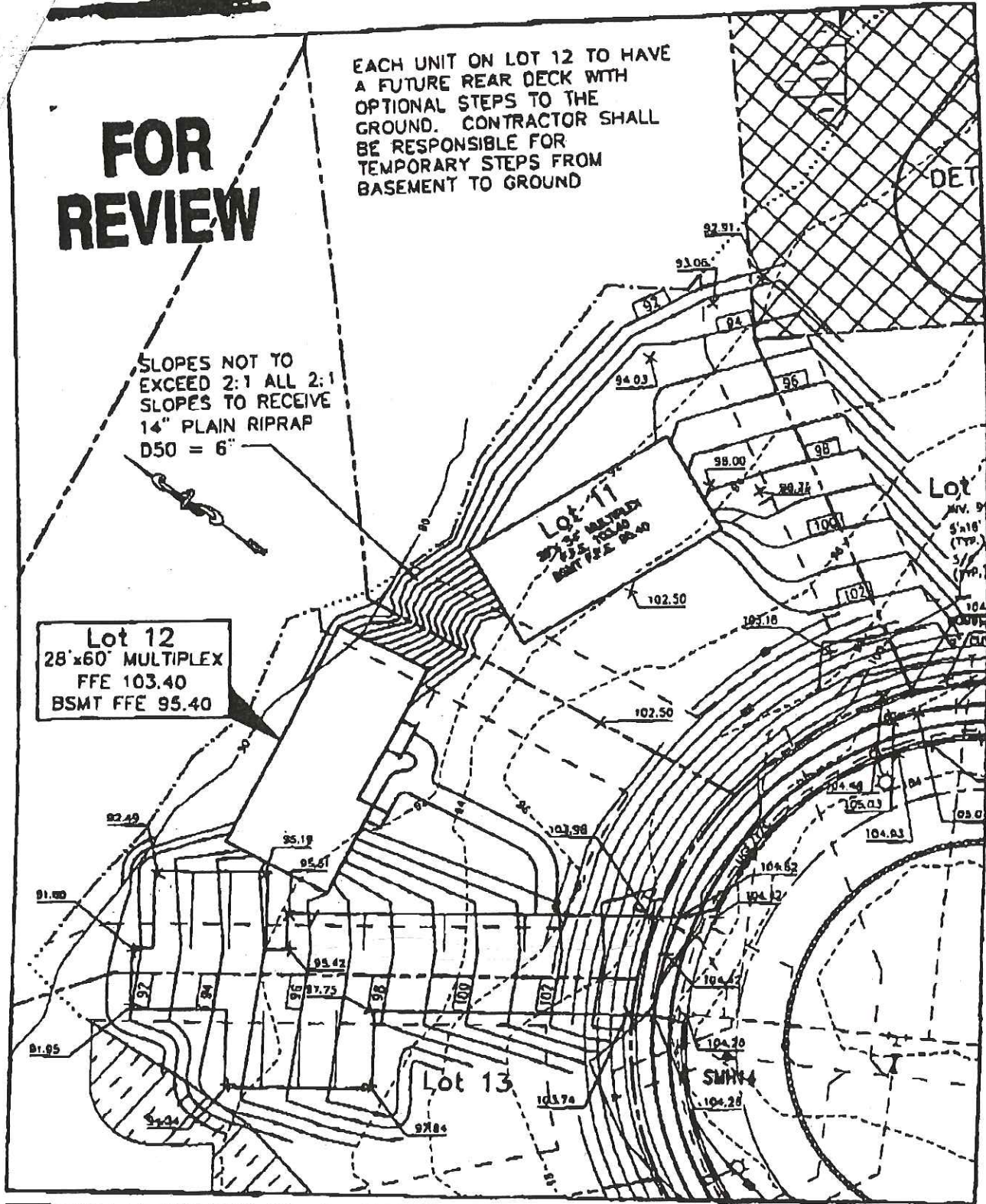
Lot 13

Design: DBB	Date: MAR 2000
Draft: DB	Job no.: 100
Checked: and	Scale: 1" = 30'
File Name: 99163-ALL-L0752.Dwg	

GP Carroll-Palmer Consulting Engineers Inc.
Traffic and Civil Engineering Services
PO Box 1237, 26 Main Street
Croy, ME 04039
207-657-6910

Drawing Name:
Grading & Drainage- Lot 12
Project:
MAGGIE LANE, PORTLAND

Figure No.
3



received 4/7/00

for Pick &



27 Main Street
Windham, Maine 04062
(207) 892-3149
1-877-892-3149
Fax: (207) 892-1383
E-mail: cbhm@gwi.net

Custom Built Homes of Maine proposes to build a 3 unit, 2 story, Multi Family building on lot # 12, Maggie Lane. Two of the units will consist of 2 bedrooms, 1.5 bath with a total sq. Ft. of 864. The third unit will be a 3 bedroom 1.5 bath with a 1. Total sq. Ft. of 1,152

10/24/00