

TO: Inspections
FROM: Jay Reynolds, Development Review Coordinator
DATE: July 10, 2001
RE: C. of O. for # 59-61 Maggie Lane (342-A-011011) (ID# 2000-0168)

After visiting the site, I have the following comments:


All work complete.

At this time, **I recommend issuing the Permanent Certificate of Occupancy.**

Please contact me if you have any questions or comments.
Thank You.

Cc: Sarah Hopkins, Development Review Services Manager
Mike Nugent, Inspections Services Manager

File: O:\drc\5961maggie2.doc

TO: Inspections
FROM: Jay Reynolds, Development Review Coordinator 
DATE: April 12, 2001
RE: C. of O. for # 59-61 Maggie Lane (342-A-011011)

After visiting #59-61 Maggie Lane, I found the following:

1. Landscaping Incomplete.
2. Final Grading/Loam and Seed Incomplete.
3. The driveway is not paved.

Due to the time of year, it is not possible to complete these items. I would estimate that these items could be completed by June 30, 2001. Once these items are addressed and re-inspected, then a permanent Certificate of Occupancy can be issued.

At this time, **I recommend issuing a temporary Certificate of Occupancy.**

Please contact me if you have any questions or comments.
Thank You.

Cc: Sarah Hopkins, Development Review Services Manager

File: O:\drc\5961maggie1.doc

Book 16099
~~Page~~

Book 286
PAGE

STATUTORY WARRANTY DEED

MAGGIE LANE DEVELOPMENT, LLC, a Maine Limited Liability Company with a mailing address of P.O. Box 10127, Portland, Maine 04104

For Consideration Paid, GRANT with WARRANTY COVENANTS TO:

C.G.B. PROPERTIES LLC, a Maine Limited Liability Company with a mailing address of 84 Country Lane, Portland, Maine 04103

A certain lot or parcel of land with any improvements thereon situated northeasterly of Forest Avenue in the City of Portland, County of Cumberland and State of Maine, and being Lot 8 as shown on a plan entitled "Maggie Lane Subdivision" made for Maggie Lane Development LLC dated February 2, 1999, prepared by Titcomb Associates and recorded at the Cumberland County Registry of Deeds in Plan Book 200, Page 128, as amended in Plan Book 200, Page 412 and further amended in Plan Book 200, Page 460.

551.20

Being a portion of the premises conveyed to Grantor herein by deed from W.A. One dated April 11, 2000 and recorded at the Cumberland County Registry of Deeds in Book 15413, Page 96.

The herein conveyance is subject to and together with the benefit of the following:

1. The rights in common with others to Maggie Lane as shown on said Plan.
2. Easement Deed from Maggie Lane Development, LLC to the City of Portland dated April 11, 2000 and recorded in Book 15413, Page 102.
3. Easement Deed from Maggie Lane Development, LLC to Portland Water District dated April 11, 2000 and recorded in Book 15413, Page 104.
4. Easements as set forth in the deed from W.A. One, Inc. to Maggie Lane Development, LLC dated April 11, 2000 and recorded in Book 15413, Page 106.

- P. 2
5. Declaration of Restrictions and Covenants, Maggie Lane dated June 7, 2000 and recorded in Book 15522, Page 54.
 6. Easement and encumbrances as set forth on said plan for Maggie Lane Development, LLC dated February 2, 1999 and recorded in Plan Book 200, Page 460.
 7. Notes as set forth on said plan of Maggie Lane Subdivision recorded in Plan Book 200, Page 460.
 8. Common Driveway Easement with Lot 9 as shown on said plan. The lot herein conveyed and said Lot 9 shall share equally in the use, maintenance and repair of said driveway, and no occupants of either lot shall do anything to interfere with the use of said driveway by the occupants of the other lot.
 9. Subject to a Drainage Easement to the City of Portland as shown on said Plan.

This conveyance is subject to the following restrictions, which Grantee covenants and agrees by acceptance of the herein deed shall be binding upon Grantee, its successors and assigns:

1. The lot herein conveyed shall not be further subdivided without Maggie Lane Development, LLC's written, recorded approval. This restriction shall include the prohibition against boundary transfers or deeding of easements for any purpose.
2. The herein conveyance specifically excludes any rights in a certain twenty-five (25) foot right-of-way extending from the northeasterly sideline of Forest Avenue to the southwesterly sideline of Lot 17 as shown on said plan.
3. Lot 8 shall be limited to not more than two (2) residential units.

This conveyance is made SUBJECT to the current real estate taxes to the City of Portland subject to proration at the closing, which Grantee herein by its acceptance of this deed hereby assumes and agrees to pay.

IN WITNESS WHEREOF, the said MAGGIE LANE DEVELOPMENT, LLC has caused this instrument to be signed and sealed by James Wolf, its Member thereunto duly authorized this 13 day of November, 2000.

MAGGIE LANE DEVELOPMENT, LLC

Joyce M. Yates
By: James Wolf
Its Member

STATE OF MAINE
CUMBERLAND, SS.

NOVEMBER 13, 2000

Then personally appeared the above-named JAMES M. WOLF, MEMBER of MAGGIE LANE DEVELOPMENT, LLC as aforesaid and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said Limited Liability Company.

Before me,

Joyce M. Yates
Attorney at Law/Notary Public

JOYCE M. YATES
NOTARY PUBLIC MAINE
MY COMMISSION EXPIRES SEPTEMBER 16, 2003

From: Marge Schmuckal
To: RICK KNOWLAND
Date: Wed, Dec 13, 2000 3:37 PM
Subject: 59-61 Maggie Lane - Lot #8

Rick - After all the time we did on lot #8, the structure or the grade was changed. I found that out by reviewing an amendment that came in today that showed new decks going on the rear with stairs. I thought that was pretty strange since our stamped approved plan showed the sliding door just about at grade level. So something has changed. I am NOT issuing the deck permits. Mike Nugent has put a stop work order on this job until the changes have been reviewed and approved in some manner. I have given Chris Earle a call on this to bring him up to date.

Should we consider bringing Custom Built homes in and reading them the riot act- that no changes should happen until AFTER they have been approved? Maybe we should start hitting them in the pocket book with all the fines that are available to us too. We should meet on this

CC: Mark Adelson ; Mike Nugent ; PENNY LITTELL; Sar...



Titcomb Associates

Land Surveying
Land Planning

133 Gray Road
Falmouth, Maine 04105-2029
(207) 797-9199
Fax (207) 878-3142

Bath (207) 442-7799
New Gloucester (207) 925-4659

DATE 12/22/00

FAX COVER SHEET

TO: Chris Earle

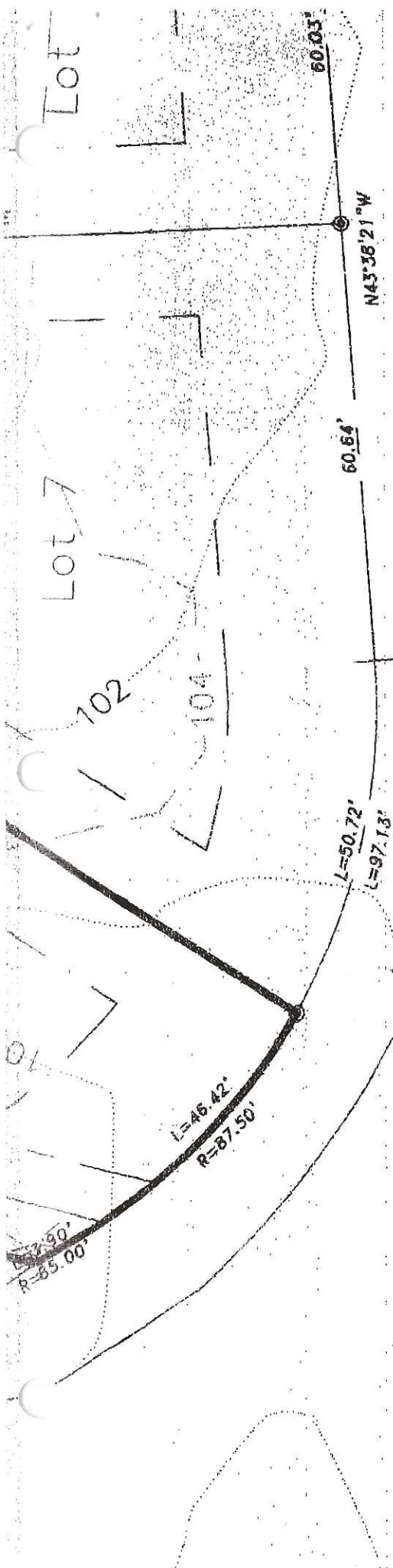
COMPANY
NAME: DeLucca Hoffman

FAX NO. 879-0896

NUMBER OF PAGES (INCLUDING COVER SHEET) 6

MESSAGE: Lot B - Maggie Lane

FROM: Bill Ackerson



MAGGIE L

Existing Conditions Survey

Lot 8, Maggie Lane Subdivision

Forest Avenue

Portland, Maine

MADE FOR

Dwight Brackett

Forest Ave.

Portland, Maine

JOB # 98090

DATE 12/20/00

SCALE: 1"=30'

BOOK # 678

DISC # ACAD155



Titcomb Associates

133 Gray Road
Falmouth, Maine 04105

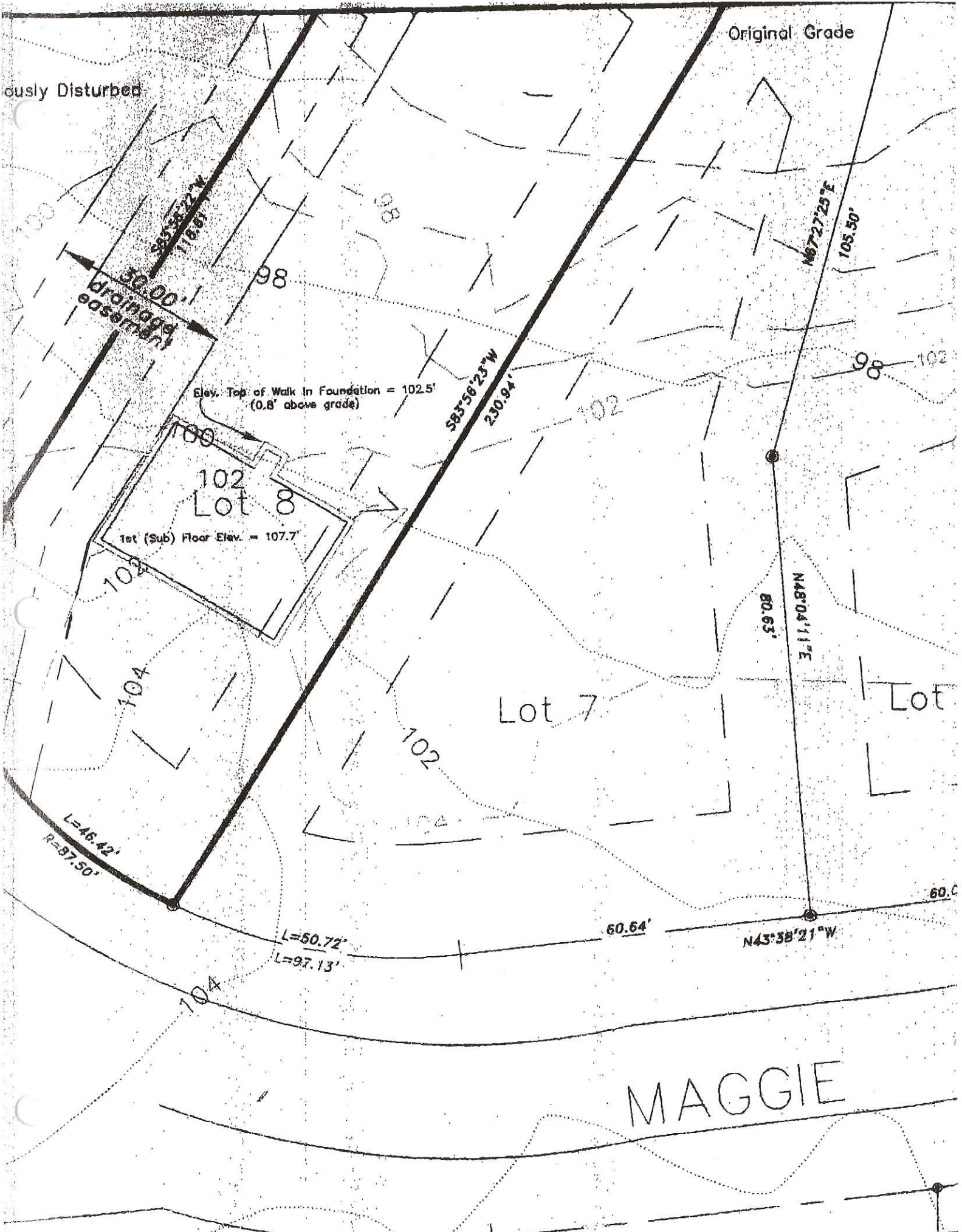
Lot 17

PLS #2271

STING CONDITIONS ONLY

Previously Disturbed

Original Grade

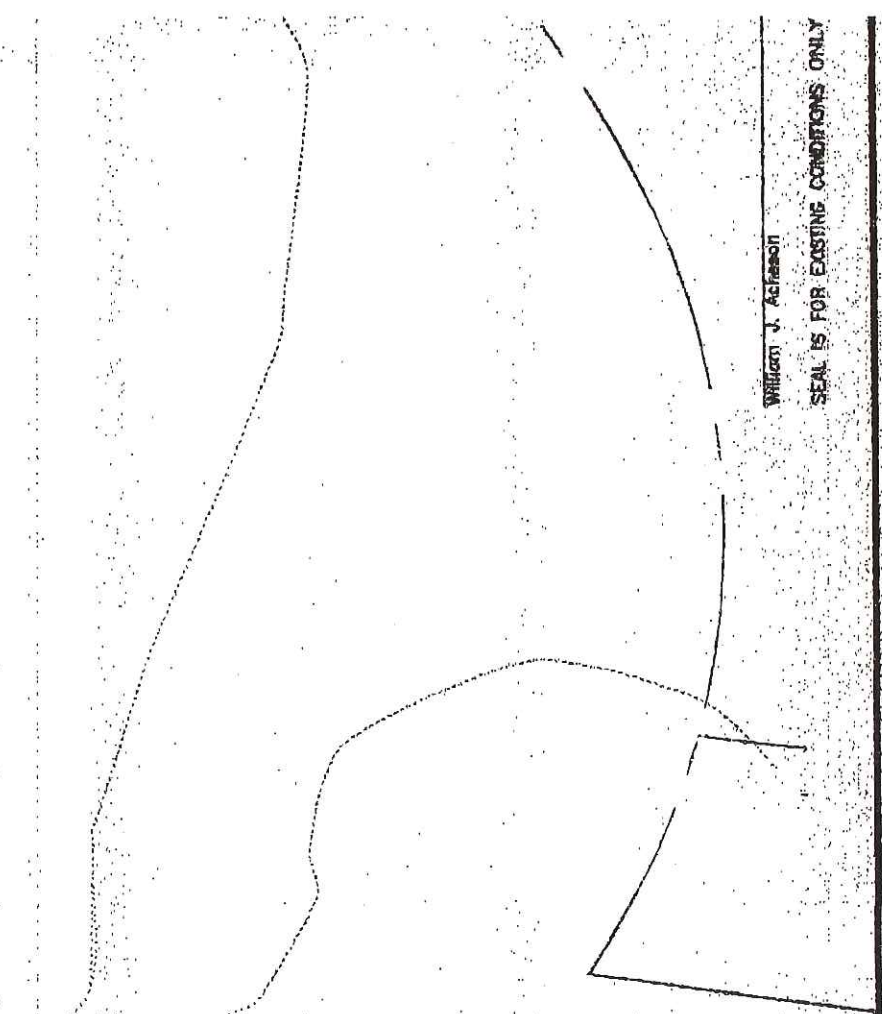


Notes

1. Bearings are referenced to plan reference 1.
2. Elevations are based on the US Coast and Geodetic Survey 1929 Datum. Benchmark: USGS Disk K5-110, Elevation 109.485'.

References

1. Standard Boundary Survey, Maggie Lane Subdivision, by Titcomb Associates, dated February 2, 1999 and revised through August 27, 2000.
2. Space and Bulk Requirements - Lot B, by Gorrill-Palmer Consulting Engineers, Inc. dated February, 2000.

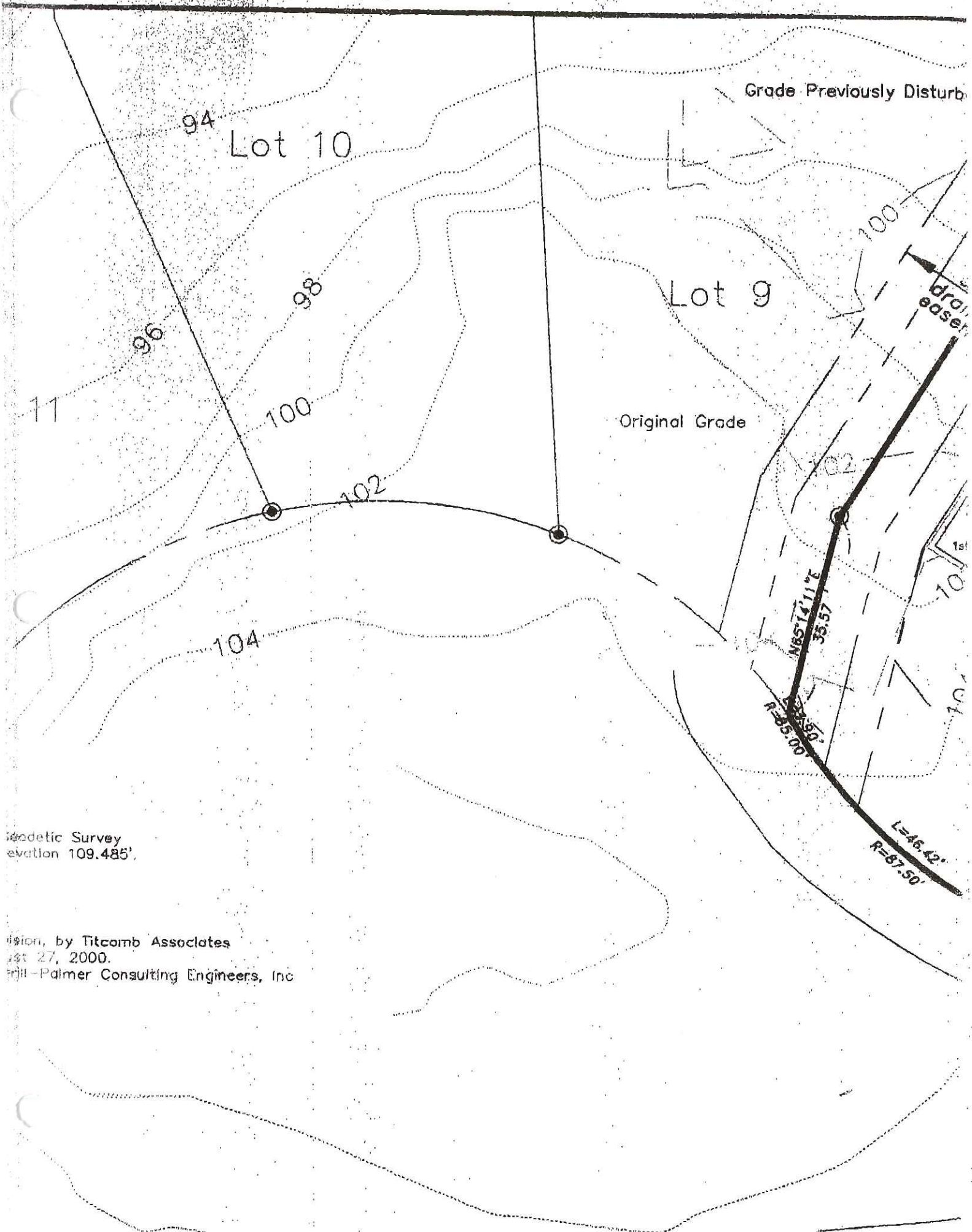


LEGEND

- Iron pipe found
- 5/8" Capped Rebar Set
- Utility pole
- Edge of pavement
- Existing contour as of 12/22/00
- ⋯ Original Contour
- 12' Setback Line (May be altered per Plan Ref. 1)
- ▨ Existing building

William J. Achison

SEAL IS FOR EXISTING CONDITIONS ONLY



Geodetic Survey
 elevation 109.485'

Division, by Titcomb Associates
 dated 27, 2000.
 Engineer - Palmer Consulting Engineers, Inc

Grade Previously Disturbed

Lot 9

Original Grade

30.00' drainage easement

Elev. Top of Walk in Foundation = 102.5' (0.8' above grade)

102 Lot 8

1st (Sub) Floor Elev. = 107.7'

N65°14'11"E
35.57'

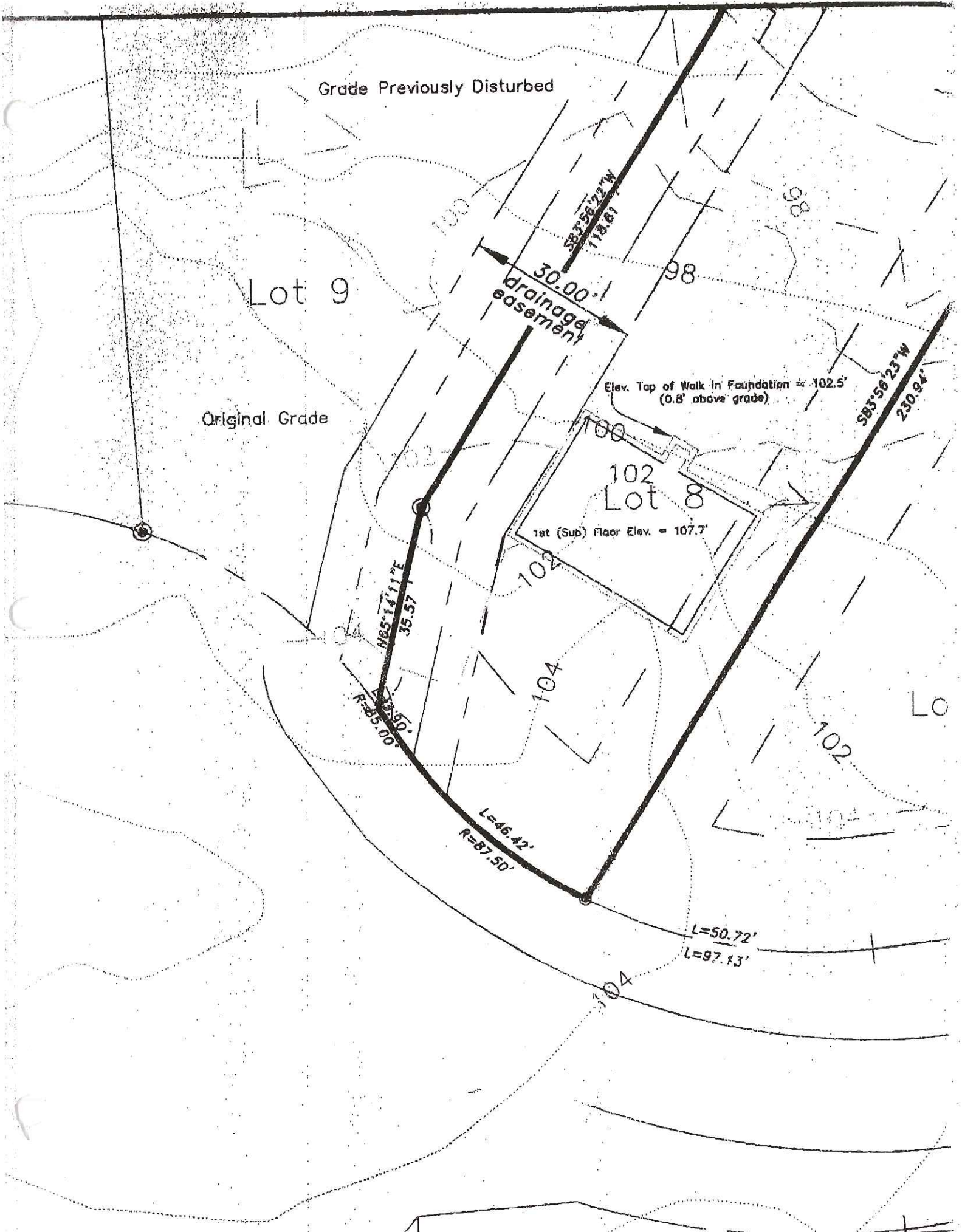
S87°58'22"W
118.81'

S83°58'23"W
230.94'

33.80°
R=25.00'

L=46.42'
R=67.50'

L=50.72'
L=97.13'



**CITY OF PORTLAND, MAINE
SITE PLAN REVIEW (ADDENDUM)
CONDITIONS OF APPROVAL**

APPLICANT: Gerrill Palmer
 ADDRESS: PO Box 10127 Portland, ME 04104
 SITE ADDRESS/LOCATION: 59/61 Maggie Lane (Lot 3)
 DATE: 9/13/00

Review by the Development Review Coordinator is for General Conformance with ordinances and standards only and does not relieve the applicant, his contractors or agents from the responsibility to provide a completely finished site, including but not limited to: increasing or concentrating of all surface runoff onto adjacent or downstream properties, issues regarding vehicle sight distance, location of public utilities and foundation elevations.

CONDITIONS CHECKED OFF BELOW WILL BE ENFORCED FOR YOUR SITE PLAN

1. All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland Standards prior to issuance of a Certificate of Occupancy.
2. Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
3. Your new street address is now 59/61 Maggie Lane, the number must be displayed on the street frontage of your house prior to issuance of Certificate of Occupancy.
4. The Development Review Coordinator (874-8300 ext. 8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
5. Show all utility connections: water, sanitary sewer, storm drain, electric, telephone, cable.
6. A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext. 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
7. A street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

8. X As-built record information for sewer and stormwater service connections must be submitted to Parks and Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.

9. X The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.

10. X The site contractor shall establish finish grades at the building foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.

11. X A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FEE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for the drainage from the property.

12. X The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

13. X Applicant shall coordinate with Diversified Properties and their Contractor A.H. Grover for all utility connections and curb opening to insure compliance with approved subdivision plans.

cc: Katherine Staples, P.E., City Engineer

14 X Applicant shall be responsible for ~~the~~ installation and maintenance of erosion control measures including silt fence, hay bales, etc.

15 X Applicant shall minimize and be responsible to clean up any tracking of mud and other debris from city streets



CITY OF PORTLAND
Planning and Urban Development Department

MEMORANDUM

TO: Joseph E. Gray, Jr., Director of Planning and Urban Development
Alexander Jaegerman, Chief Planner

FROM: James Seymour, Acting Development Review Coordinator

DATE: April 5, 1995

SUBJECT: Disclaimer Statement of Existing Poorly Drained Areas

It is the responsibility of the lot owner/homebuilder to assess drainage and provide for appropriate stormwater management design and engineering in an area which has evidence of poor hydrologic soil conditions, and/or a history of poor drainage, ponding, or soils saturation due to topography, fluctuation of seasonal ground water tables creating surface flooding, or as a result from rainfall events or snow/ice melts. The City of Portland is not responsible for resolving the drainage of land areas which could be described in any one of the above conditions.

The City of Portland Development Review Coordinator reviews lot grading for all single family homes to assure that field elevations will conform to the grades which exist at the abutting property line or to the grades which have been previously approved at the abutting property lines. The construction standards require that final foundation elevations be provided on site plans which are a minimum of 2 1/2 feet higher than street grades established at the frontage of the lot and provide positive drainage away from the entire foundation perimeter, including garage, and all basement accesses (ie. bulkheads, doorways and windows). As long as these standards are strictly enforced, most water problems on single family lots will be avoided. However, in locations with clear evidence of hydric soils, the following note shall be placed on all approved site plans:

"The City of Portland Development Review Coordinator has reviewed and approved this plan. The lot is located in an areas that is subject to seasonal conditions of saturation by surface or groundwater. Approval of this plan does not constitute a guarantee that no water problems will be experienced by the homeowners in this vicinity. Homeowners are advised to exercise care and diligence to ensure that their home and yard is adequately constructed and graded for localized drainage conditions."

CITY OF PORTLAND, MAINE
PUBLIC NOTICE

To All Building Permit Applicants and/or Contractors:

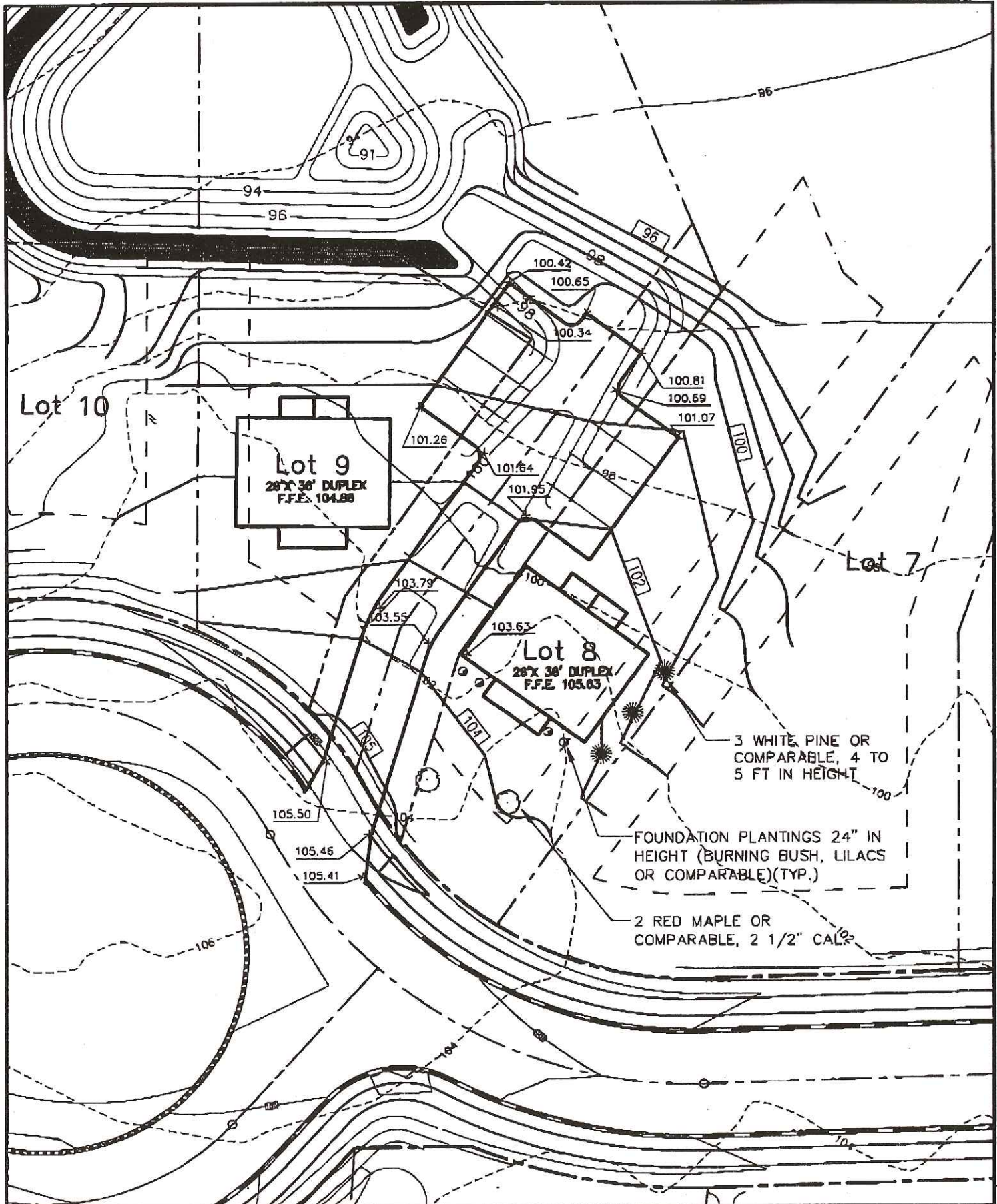
Effective immediately all temporary erosion control measures as shown on submitted site plans or as made part of a conditional approval of a site plan shall be installed, maintained, and inspected for proper functioning. Erosion control measures include but are not limited to silt fencing hay bales, stone check dams, earthen berms, stone lined swales, riprap embankments, riprap inlet/outlets of any pipe channel or culvert, sodded or grass strips, hay mulch cover on exposed soils, jute matting or erosion control blanket/matting, geotextile grids or webbing, and any provision approved by the City Engineer or Development Review Coordinator to decrease erosion or sedimentation.

All temporary and permanent erosion control measures shall be in conformance with the Maine Erosion and Sediment Control Handbook for construction: Best Management Practices as published by Cumberland County SWCD and the Maine Department of Environmental Protection. Consistent failure to install, maintain, or construct in an acceptable manner will result in a stop work order on the building permit. All erosion control measures shall be established in proposed areas of disturbed soils resulting from construction activities prior to actual construction unless a specific deadline has been made a condition of approval or agreed to by a Public Works Engineer or the Development Review Coordinator.

Effective immediately any request for Certificate of Occupancy will be denied if the above measures have not been addressed or completed. Only under extreme conditions, due to weather, shall the omission of the erosion control standards be included on the conditions for a Certificate of Occupancy, otherwise the request for a Certificate will be refused.

The City of Portland Planning Department and Public Works Department consider Erosion and Sediment Control Planning to be an absolutely necessary initial construction activity that requires as much attention and enforcement as building construction. For the protection of sensitive waterbodies, undisturbed lands, neighboring properties, established vegetated areas, and municipal drainage systems please pay careful attention to erosion and sediment control measures and conform to the notes, details, and conditions of approval as noted on your approved site plan. These controls must be installed and maintained continuously throughout the construction period. The City may inspect the site at any time to ensure compliance, and violations could result in work stoppage orders as indicated above.

We appreciate your prompt compliance with these requirements.



Design: DER	Date: AUG. 2000
Draft: 05	Job No.: 99103
Checked: AMP	Scale: 1" = 30'
File Name: 99103-ALL-LOTS2.DWG	

GP Gorrill-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services
 PO Box 1237, 26 Main Street
 Gray, ME 04039
 207-657-6910

Drawing Name: **Grading & Drainage
 Lots 8**
 Project: **MAGGIE LANE, PORTLAND**


Figure No.
3

SPACE AND BULK REQUIREMENTS — LOT 8

MINIMUM LOT SIZE:	6,000 S.F.
MINIMUM FRONTAGE:	50 FT.
MINIMUM SETBACKS:	20 FT.
FRONT YARD	
REAR YARD	20 FT.
SIDE YARD*	
1 STORY	8 FT.
1 1/2 STORY	8 FT.
2 STORY	12 FT.
2 1/2 STORY	14 FT.
MINIMUM LOT WIDTH:	
OTHER USES	60 FT.

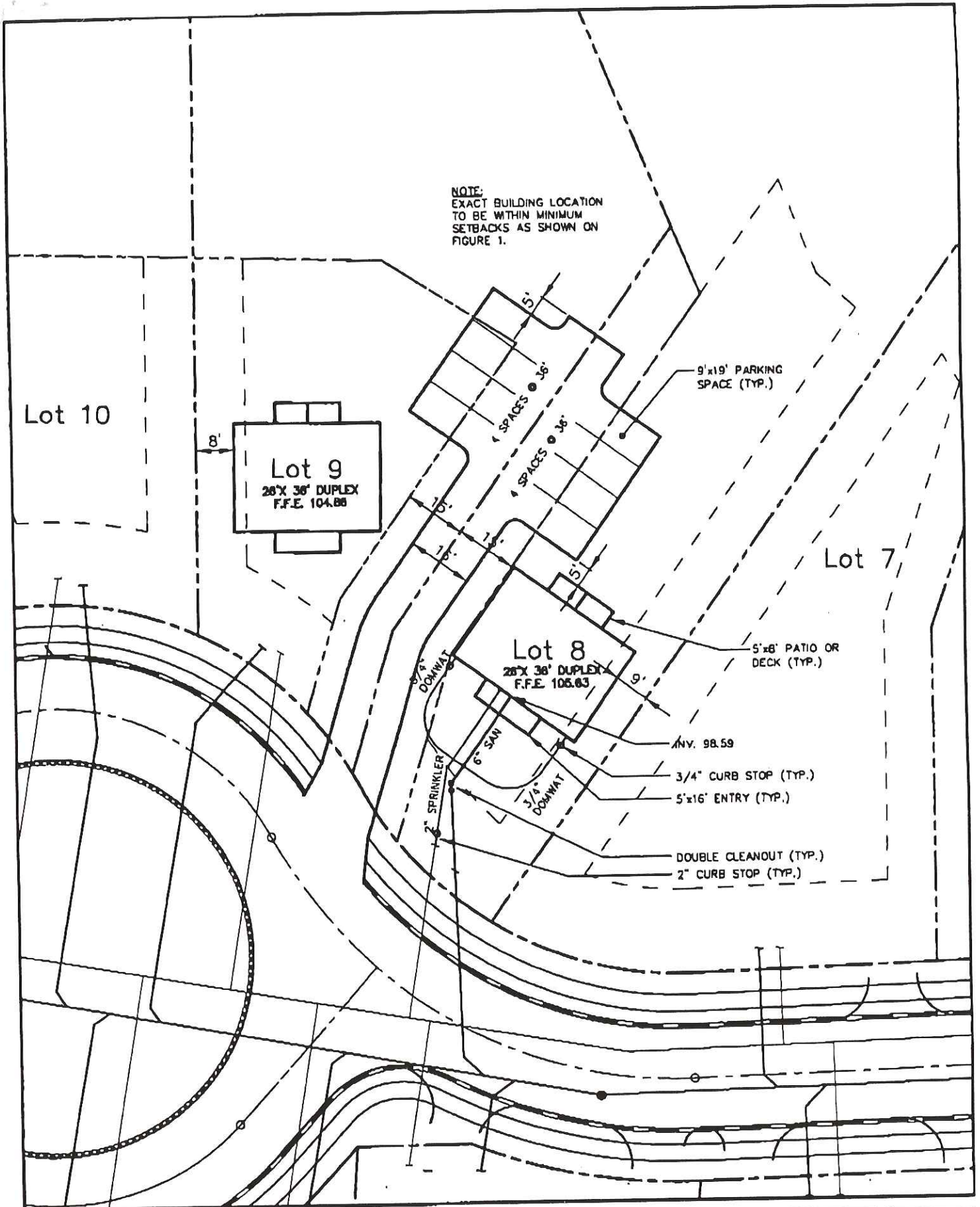
* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NOT SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.

Design: DER	Date: FEB 2000
Draft: LAN	Job No.: 99103
Checked: AMP	Scale: NONE
File Name: 99103-ALL-LOTS2.DWG	

	<i>Traffic and Civil Engineering Services</i>
	PO Box 1237, 26 Main Street Gray, ME 04039 207-657-6910

Drawing Name: Space & Bulk Requirements Lot 8
Project: MAGGIE LANE, PORTLAND

Figure No. 1



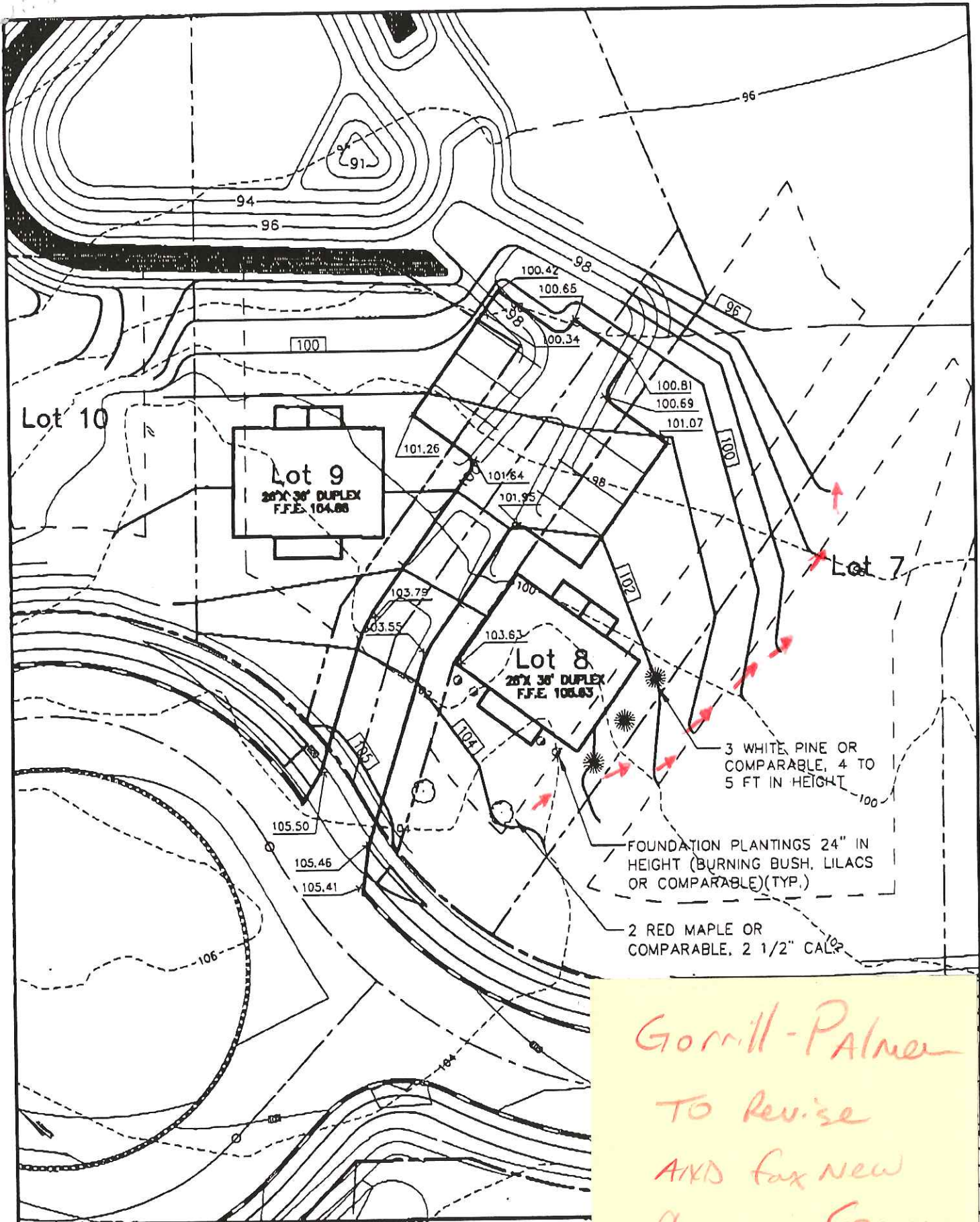
Design: DER	Date: AUG. 2000
Draft: DB	Job No.: 89103
Checked: AMP	Scale: 1" = 30'
File Name: 89103-ALL-LOTS2.DWG	

GP Traffic and Civil Engineering Services
 PO Box 1237, 26 Main Street
 Gray, ME 04039
 207-657-6910

Drawing Name: **Layout & Utilities
Lots 8**

Project: **MAGGIE LANE, PORTLAND**

Figure No.
2



*Gorrill-Palmer
TO Revise
AND fax new
Copy on FR. DAY*

Design: DER	Date: AUG. 2000
Draft: DB	Job No.: 99103
Checked: AMP	Scale: 1" = 30'
File Name: 99103-ALL-LOTS2.DWG	

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services

PO Box 1237, 26 Main Street
Gray, ME 04039
207-657-6910

Drawing
Project:
M

City of Portland Planning Department

389 Congress Street, 4th Floor
Portland, ME 04101
207-874-8721 or 207-874-8719
Fax: 207-756-8258

FAX TRANSMISSION COVER SHEET

Date: 10-11-00

To: CHAIJ GARLG

Company: _____

Fax #: 879-0896

From: RICK KNOWLAND

RE: CHAIJ - JIM DROPPED OFF WHAT HE SAID

IN THE RIGHT PLAN, ATTACHED IN THAT PLAN.

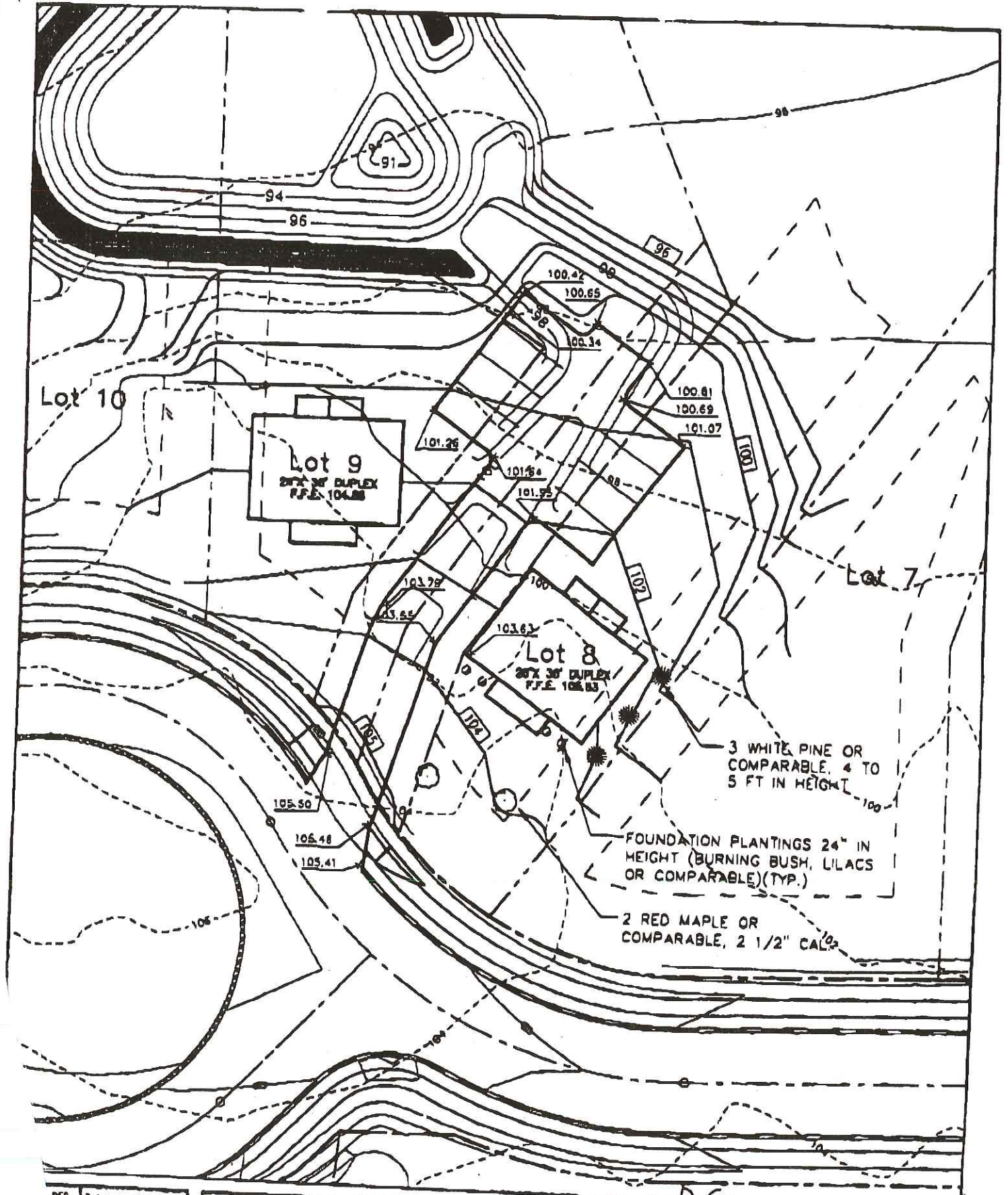
IF YOU WOULD PREFER TO SEE THE ORIGINAL, GIVE ME

A CALL WHEN YOU ARE AROUND AND ILL SHOW

IT TO YOU THANKS

RK

YOU SHOULD RECEIVE 2 PAGE(S),
INCLUDING THIS COVER SHEET.
IF YOU DO NOT RECEIVE ALL THE PAGES,
PLEASE CALL 207-874-8721 OR 207-874-8719.



DCR	Date:	AUG. 2005
SB	Job No.:	8910J
UP	Scale:	1" = 30'
1910J-ALL-Ld753.0wc		

GP Gerrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
PO Box 1237, 38 Main Street
Gray, ME 04039
207-657-8910

Drawing Name: Grading & Drainage
Lots 8
Project: MAGGIE LANE, PORTLAND

Figure No.
3

CITY OF PORTLAND

Site Plan/Subdivision Performance Guaranty

CASH ESCROW AGREEMENT

Developer's tax Identification Number: 01-0519816

Developer's Name and Mailing Address: Maggie Lane Development
P.O. Box 10127
Portland, ME 04104

Amount to be Escrowed: -2,000⁰⁰

City Account Number: 71000002391100

Treasurer's Report of Receipts Number: 13397

Project Job Number:
(from Site Plan Application Form) 20000168

Project Location: Lot 8, Maggie Lane

Project Description:
(Attached Approval Letter) MAGGIE LANE, LOTS

This Escrow Agreement was completed by Maggie Lane Devel. on 9/19, 2000

This Agreement entered into this 19th day of September, 2000, by and between

Maggie Lane Development
(hereinafter "Developer"), and the City of Portland, a body politic and corporate, having a place of business in the County of Cumberland and the State of Maine (hereinafter "Escrow Agent").

In consideration of their mutual promises, covenants and agreements, and other good and valuable consideration, receipt of which is hereby acknowledged, the said parties agree, as follows:

PUBLIC IMPROVEMENTS

1. Pursuant to the project approval letter referred to above, the Developer is obligated to make certain required site improvements, all as more fully described therein.

LOT #8 MAGGIE LANE - Amended Grades

Approval

Grade Previously Disturbed

Lot 9

Original Grade

Elev. Top of Walk in Foundation = 102.5'
(0.5' above grade)

102
Lot 8
1st (Sub) Floor Elev. = 107.7'

$N65^{\circ}14'11''E$
35.57'

$L=33.50'$
 $R=85.00'$

$L=46.42'$
 $R=87.50'$

30.00'
drainage
easement

$S83^{\circ}56'22''W$
118.81'

$S83^{\circ}56'23''W$
230.94'

$L=50.72'$
 $L=97.13'$

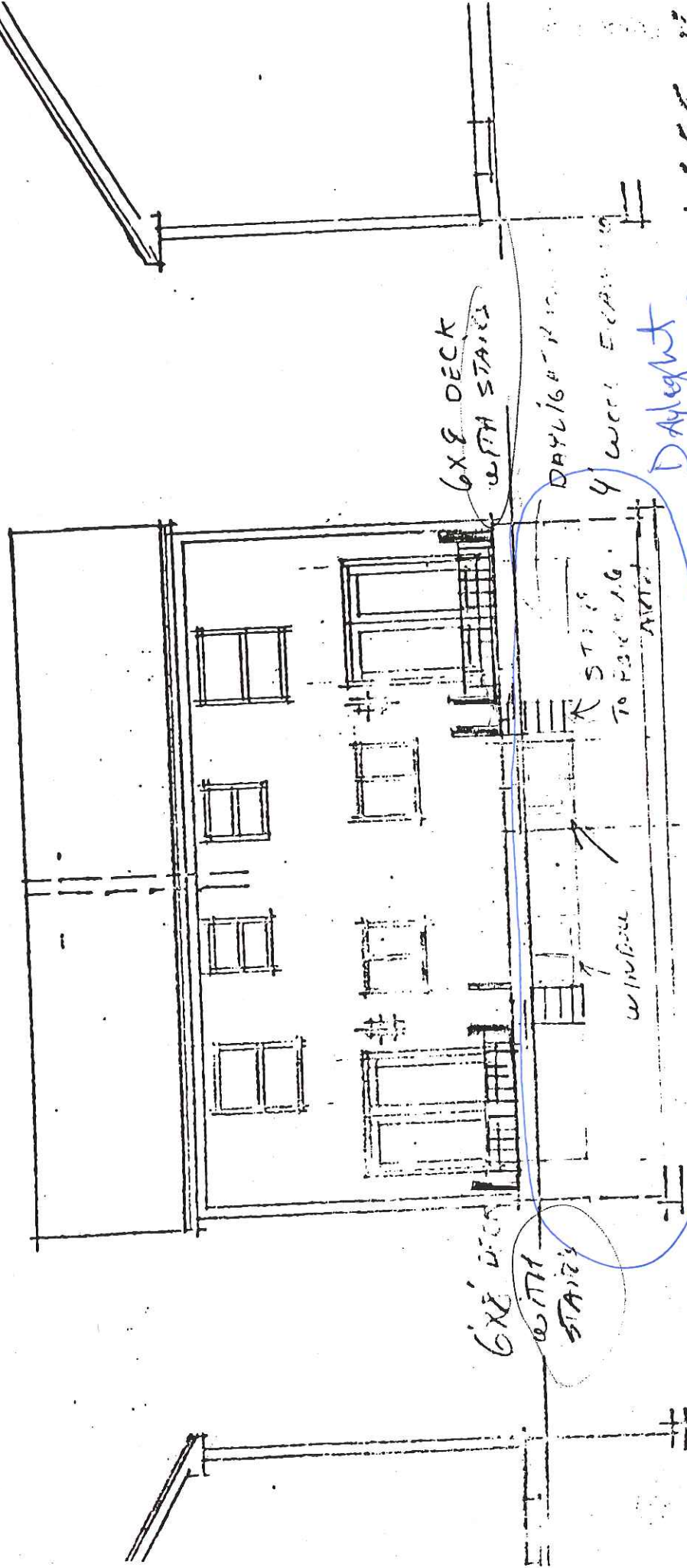
CITY OF PORTLAND
APPROVED SITE PLAN

SUBJECT TO DEPARTMENTAL
CONDITIONS

DATE OF APPROV 1-8-01

59-61 Magjire Ave Lot #9

received 12/13/00



Daylight
Basement is.
Not on the original plans

BEAR ELEVATION

SH.

10-24-00

JGNWIKON

INSPECTION FEE FOR LOT 8 OF MAGGIE LANE

682

MAGGIE LANE DEVELOPMENT

P.O. BOX 10127
PORTLAND, ME 04104

PEOPLES 1
52-7445-2112

PAY Three Hundred and No/100 Dollars

TO THE
ORDER OF

DATE
9/20/00

AMOUNT
\$300.00

City of Portland



Memo: inspection

⑈000682⑈ ⑆211274450⑆ 7999010736⑈

Security features included. Details on back.

GIVEN TO PAUL COLPITTS
WITH 2 ASSIGNMENTS
10-24-01

681

MAGGIE LANE DEVELOPMENT

P.O. BOX 10127
PORTLAND, ME 04104

PEOPLES 1
52-7445-2112

PAY
TO THE
ORDER OF

Two Thousand and No/100 Dollars

DATE
9/20/00

AMOUNT
\$2,000.00

City of Portland



Memo: escrow
⑈00068⑈ ⑆211274450⑆ 7999010736⑈

CITY OF PORTLAND

Site Plan/Subdivision Performance Guaranty

CASH ESCROW AGREEMENT

Developer's tax Identification Number: 01-0519816

Developer's Name and Mailing Address: Maggie Lane Development
P.O. Box 10127
Portland, ME 04104

Amount to be Escrowed: -2,000⁰⁰

City Account Number: 7100000231100

Treasurer's Report of Receipts Number: _____

Project Job Number:
(from Site Plan Application Form) 20000168

Project Location: Lot 8, Maggie Lane

Project Description:
(Attached Approval Letter) MAGGIE LANE, LOT 8

This Escrow Agreement was completed by Maggie Lane Devel. on 9/19, 2000

This Agreement entered into this 19th day of September 2000, by and between

Maggie Lane Development
(hereinafter "Developer"), and the City of Portland, a body politic and corporate, having a place of business in the County of Cumberland and the State of Maine (hereinafter "Escrow Agent").

In consideration of their mutual promises, covenants and agreements, and other good and valuable consideration, receipt of which is hereby acknowledged, the said parties agree, as follows:

PUBLIC IMPROVEMENTS

1. Pursuant to the project approval letter referred to above, the Developer is obligated to make certain required site improvements, all as more fully described therein.

2. The estimated cost of completing the improvements is: \$ 2,000 -.
3. The deadline for completing the improvements is: 9/9/01.

APPOINTMENT OF ESCROW AGENT

4. The Developer hereby appoints the City of Portland to act as its Escrow Agent.

DUTIES OF ESCROW AGENT

5. During the term of this Agreement, the Escrow Agent will hold and disburse the escrowed funds in accordance with the terms and provisions hereof.

LIMITATION OF LIABILITY

6. The Developer agrees that the Escrow Agent assumes no liability in connection with its performance under this Agreement, except for gross negligence or willful misconduct.

INTEREST

7. The Escrow Agent will not pay interest on the escrowed funds.

INSPECTION OF COMPLETED WORK

8. The Developer has the duty to advise either the City of Portland's Planning Department or its Department of Public Works, whichever is appropriate, when the required site improvements either have been completed or are otherwise ready for inspection.

DISBURSEMENT OF ESCROW FUNDS

9. The City of Portland may draw against the escrow account at the direction of the Director of Planning in the event that:

9/19/01

- (a) Developer should fail to complete satisfactorily by [Date: Within two years but in no event between November 15 and April 15 of any given year] the required site improvements described in Paragraph 1;
- (b) The Developer should fail to request the City to conduct inspections of the required site improvements described in paragraph 1; or
- (c) The Developer should fail to provide a surety bond, letter of credit or escrow account equal in value to ten percent (10%) of the estimated cost of the required site improvements, pursuant to sections 14-501 and 14-525.

REDUCTION OF ESCROW ACCOUNT

- 10. At the direction of the Director of Planning and Urban Development, the Director of Finance may either reduce or release the amount of the escrow account, pursuant to section §14-501.

COSTS OF ESCROW ACCOUNT

- 11. All costs associated with establishing, maintaining and disbursing funds from the escrow account will be borne by the Escrow Agent.

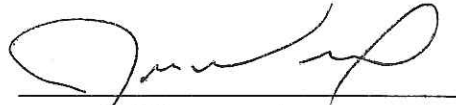
PERIOD OF WITHDRAWAL

- 12. The City of Portland may draw against the escrow account during a period, not to exceed ninety days (90) following the expiration of the deadline for completing improvements (hereinafter "deadline"), provided that the Developer has given the City written notice of the deadline, at least ninety (90) days prior thereto, by certified mail, addressed to the Director of Planning and Urban Development. In the absence of such a notice, the City of Portland may draw against the account for a period, not to exceed ninety (90) days beyond the expiration date, which will commence to run from and after the date the City has received written notice of the pending expiration of the deadline.

TERMINATION OF ESCROW AGREEMENT

13. This escrow account will terminate either on [a date which is either ninety (90) days after the date for completion of the required site improvements, but which does not fall between September 15th and April 15th] or as extended, pursuant to paragraph 12. The Agreement may also be terminated and the funds released, prior to either of the foregoing dates when either the Director of Planning and Urban Development or the Department of Public Works, which ever is appropriate, has certified in writing to the Developer that the required site improvements have been completed in accordance with the project approval letter.

Developer



By James Wolf

Its Vice President

City of Portland

By Duane Kline

Its Director of Finance

Distribution

1. This Form will be completed by Planning Staff.
 2. The account number can be obtained by calling Paul Colpitts, Chief Accountant, at x8665.
 3. The Agreement will be executed in duplicate originals.
 4. The duplicate originals, each signed by the Developer, will be delivered to the Finance office, together with a check or the funds representing the escrowed amount.
 5. The Director of Finance or his designated agent will sign the escrow agreement in duplicate, acknowledge receipt of funds and deposit them into a City account.
 6. The Director of Finance will retain one duplicate original.
 7. The Director of Finance will return the other duplicate original to Planning. Planning will retain a copy and mail the other duplicate original to the Developer.
-

SPACE AND BULK REQUIREMENTS - LOT 8

MINIMUM LOT SIZE: 6,000 S.F.

MINIMUM FRONTAGE: 50 FT.

MINIMUM SETBACKS: 20 FT.

FRONT YARD

REAR YARD 20 FT.

SIDE YARD*

1 STORY 8 FT.

1 1/2 STORY 8 FT.

2 STORY 12 FT.

2 1/2 STORY 14 FT.

MINIMUM LOT WIDTH: 60 FT.

OTHER USES

* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NOT SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.

CITY OF PORTLAND

APPROVED SITE PLAN

SUBJECT TO DEPARTMENTAL
CONDITIONS

DATE OF APPROV 10-18-00

Design:	DER	Date:	FEB 2000
Draft:	LAN	Job No.:	99103
Checked:	AMP	Scale:	NONE
File Name: 99103-ALL-LOT5Z.DWG			

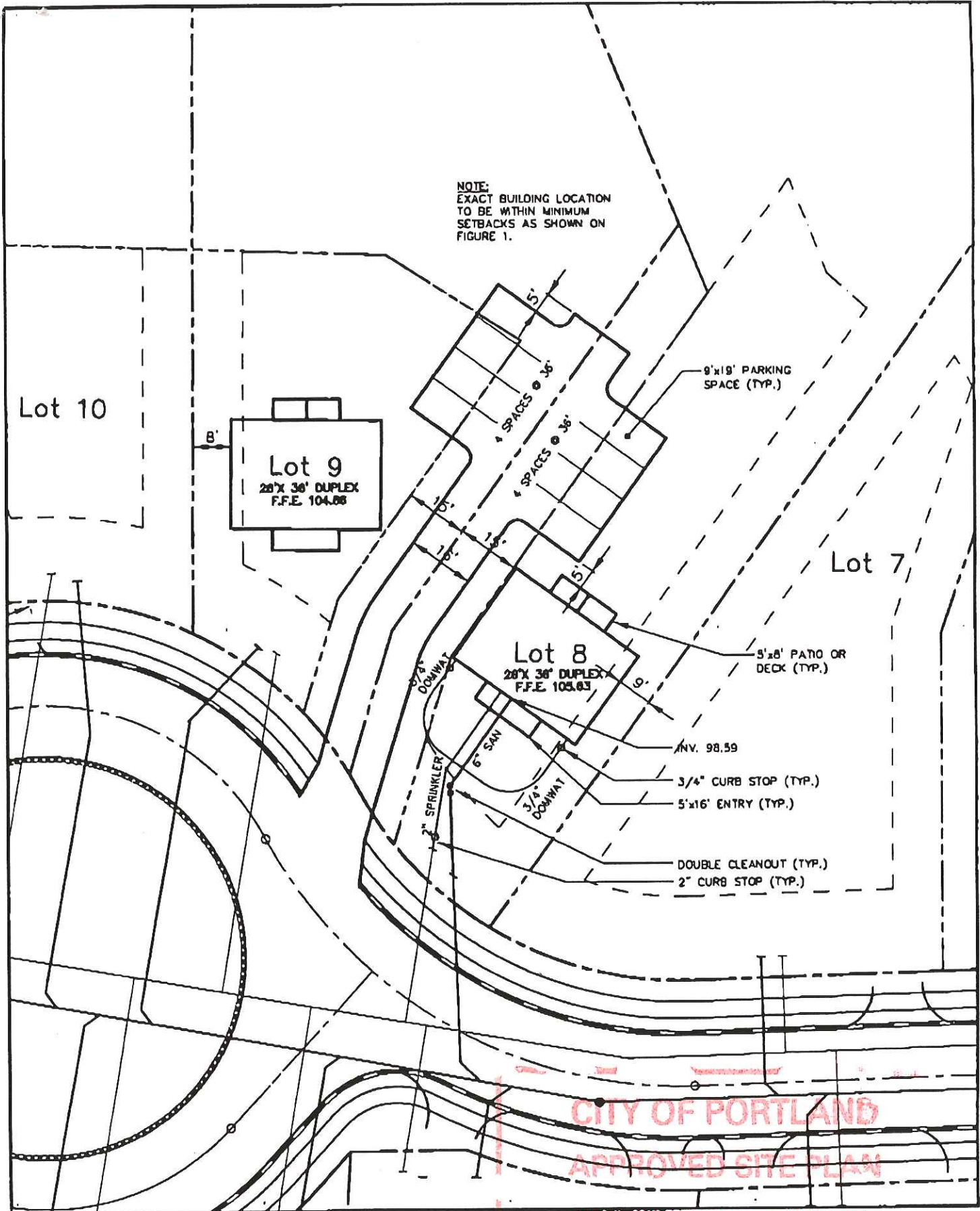
GP Traffic and Civil Engineering Services

PO Box 1237, 26 Main Street
Cray, ME 04039
207-657-6910

Drawing Name: **Space & Bulk Requirements Lot 8**

Project: **MAGGIE LANE, PORTLAND**

Figure No. **1**

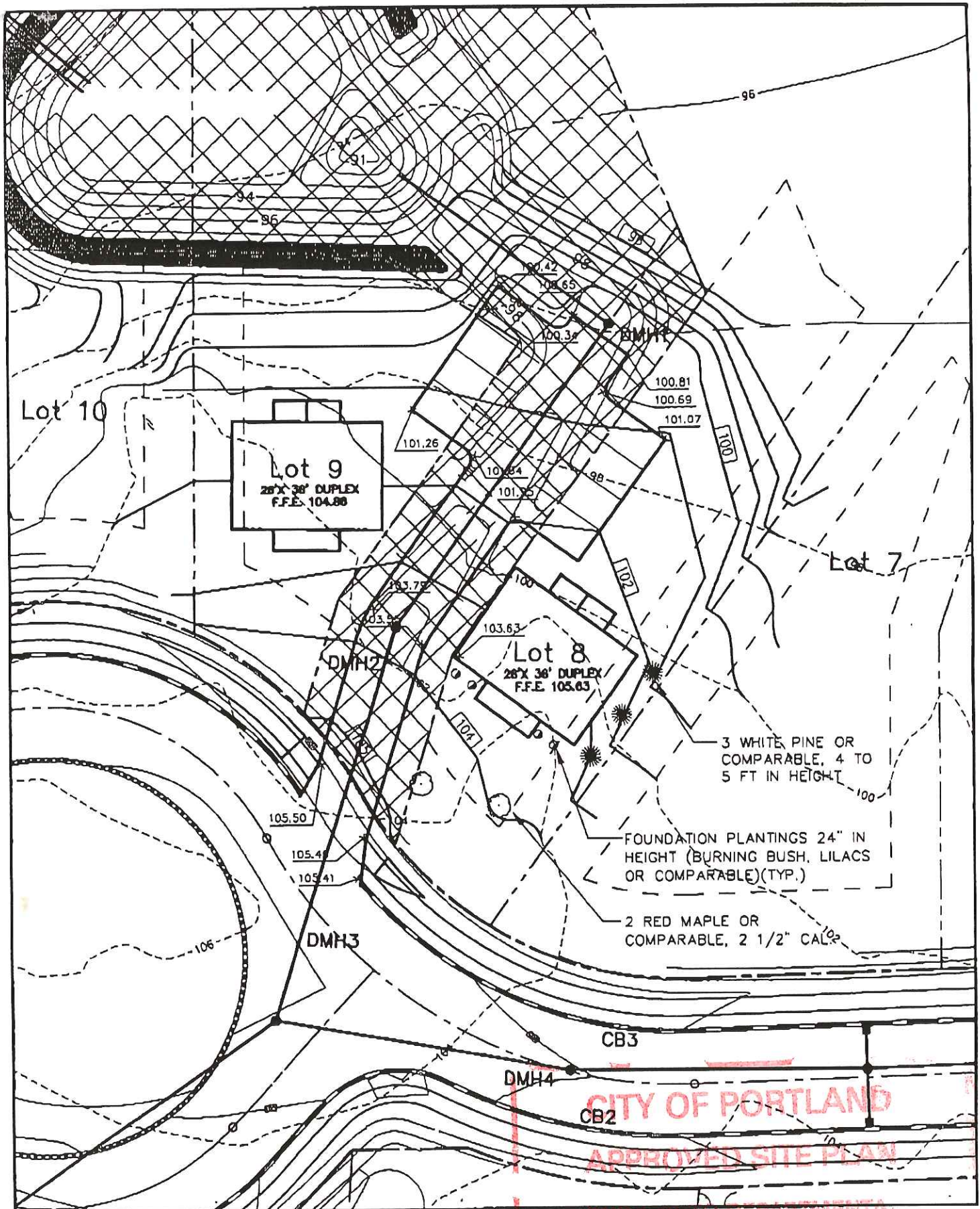


Design: DER	Date: AUG. 2000
Draft: OB	Job No.: 99103
Checked: AMP	Scale: 1" = 30'
File Name: 99103-ALL-LOTS2.DWG	

GP Traffic and Civil Engineering Services
 PO Box 1237, 26 Main Street
 Gray, ME 04039
 207-657-6910

Drawing Name: Layout & Utilities Lot 8
 Project: MAGGIE LANE, PORTLAND

Figure No. 2



3 WHITE PINE OR
COMPARABLE, 4 TO
5 FT IN HEIGHT

FOUNDATION PLANTINGS 24" IN
HEIGHT (BURNING BUSH, LILACS
OR COMPARABLE)(TYP.)

2 RED MAPLE OR
COMPARABLE, 2 1/2" CAL

Design: DER	Date: AUG, 2000
Draft: OB	Job No.: 99103
Checked: AMP	Scale: 1" = 30'
File Name: 99103-ALL-LOTS2.DWG	

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
PO Box 1237, 26 Main Street
Gray, ME 04039
207-657-6910

Drawing Name: Grading & Drainage
Lot 8
Project: DATE OF APPROVAL 10-18-00
MAGGIE LANE, PORTLAND


Figure No.
3

SPACE AND BULK REQUIREMENTS - LOT 8

MINIMUM LOT SIZE:	6,000 S.F.
MINIMUM FRONTAGE:	50 FT.
MINIMUM SETBACKS:	20 FT.
FRONT YARD	
REAR YARD	20 FT.
SIDE YARD*	
1 STORY	8 FT.
1 1/2 STORY	8 FT.
2 STORY	12 FT.
2 1/2 STORY	14 FT.
MINIMUM LOT WIDTH:	
OTHER USES	60 FT.

* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NOT SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.

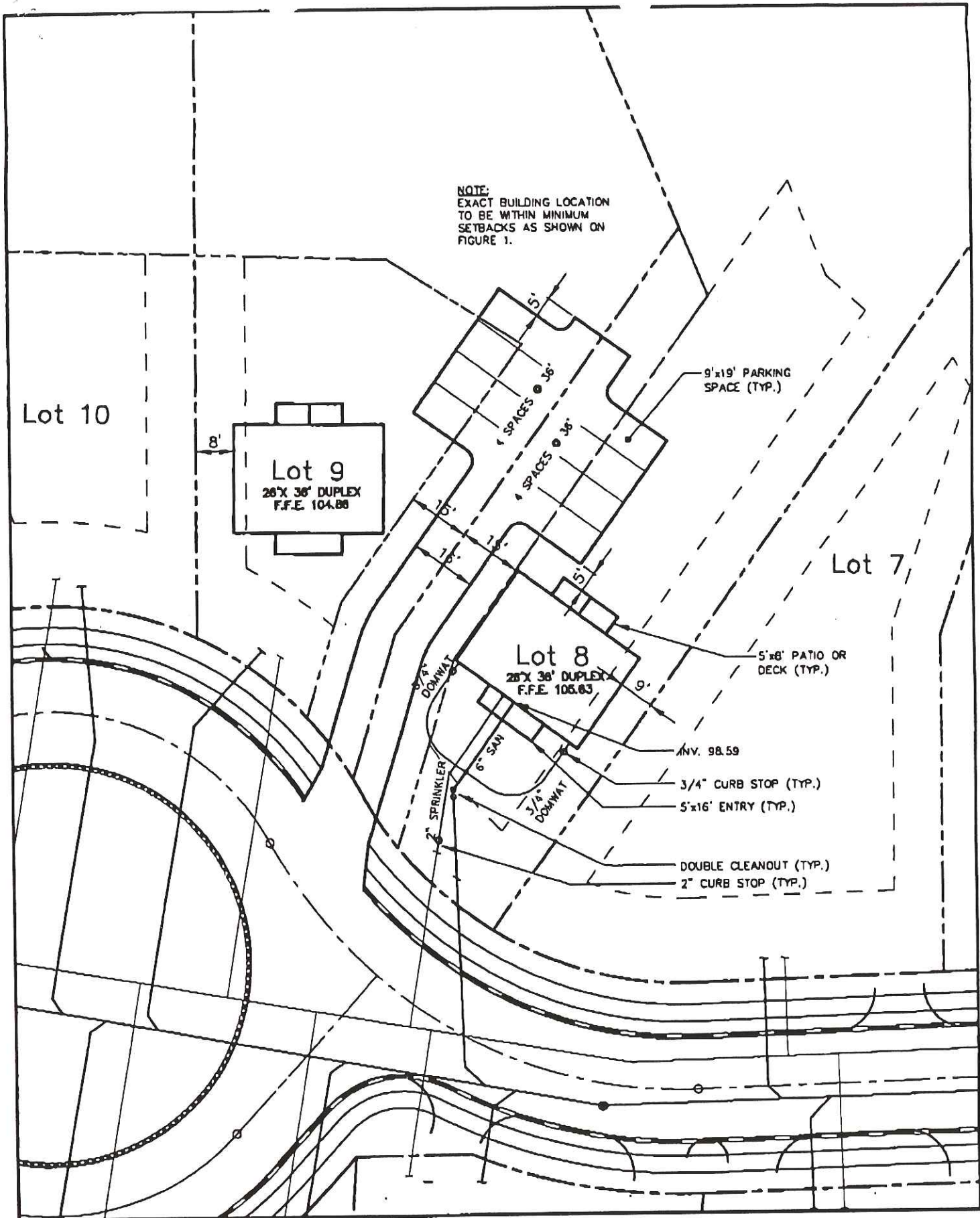
Design:	DER	Date:	FEB 2000
Draft:	LAN	Job No.:	99103
Checked:	AMP	Scale:	NONE
File Name:	99103-ALL-LOTSZ.DWG		

	<i>Traffic and Civil Engineering Services</i>
	PO Box 1237, 26 Main Street Gray, ME 04039 207-657-6910

Drawing Name:	Space & Bulk Requirements Lot 8
Project:	MAGGIE LANE, PORTLAND

Figure No.

1



NOTE:
EXACT BUILDING LOCATION
TO BE WITHIN MINIMUM
SETBACKS AS SHOWN ON
FIGURE 1.

Lot 10

Lot 9
26'X 36' DUPLEX
F.F.E. 104.88

Lot 8
26'X 36' DUPLEX
F.F.E. 106.83

Lot 7

9'x19' PARKING SPACE (TYP.)

5'x8' PATIO OR DECK (TYP.)

INV. 98.59

3/4" CURB STOP (TYP.)

5'x16' ENTRY (TYP.)

DOUBLE CLEANOUT (TYP.)

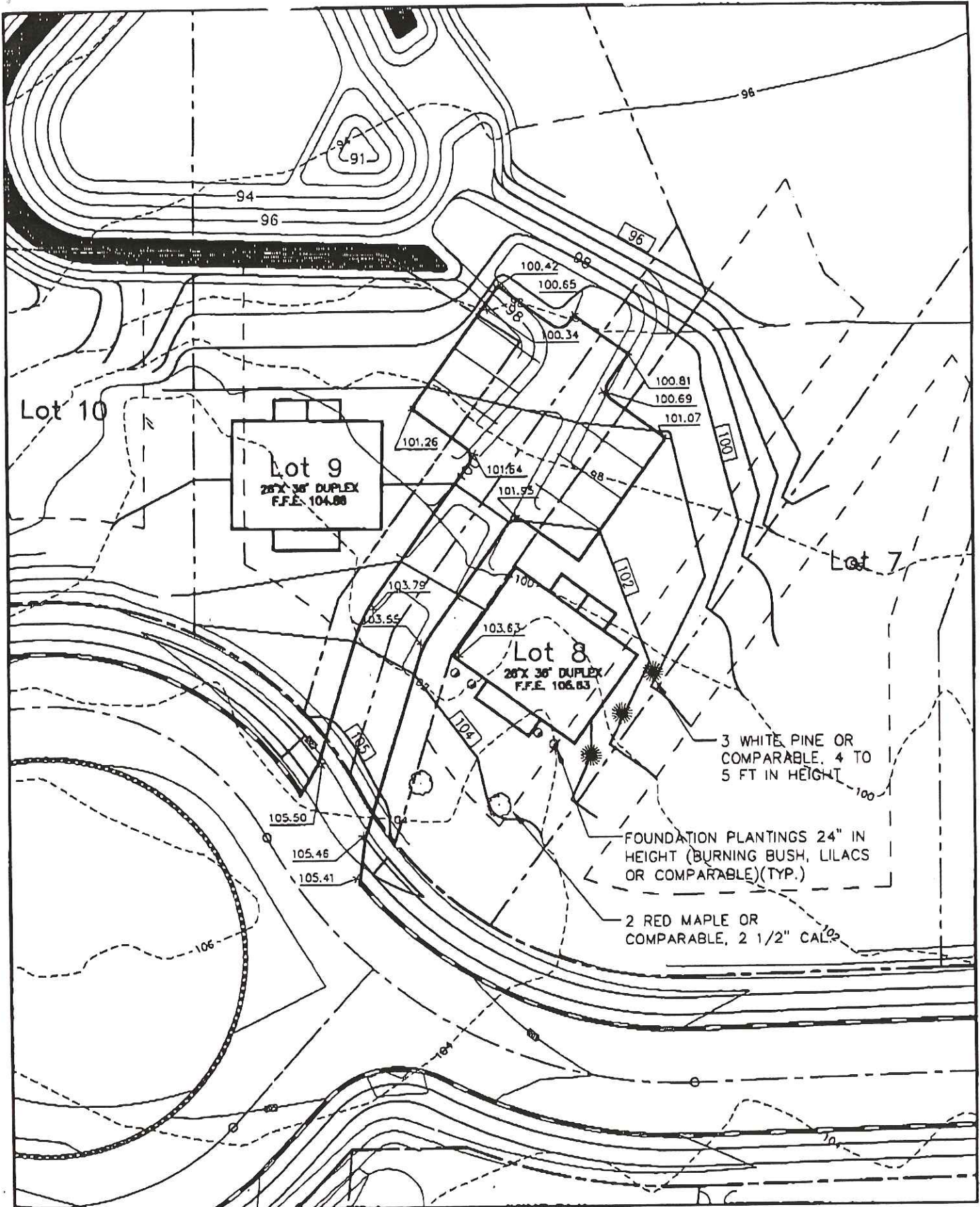
2" CURB STOP (TYP.)

Design: DER	Date: AUG. 2000
Draft: DB	Job No.: 99103
Checked: AMP	Scale: 1" = 30'
File Name: 99103-ALL-LOTS2.DWG	

GP Traffic and Civil Engineering Services
 PO Box 1237, 26 Main Street
 Gray, ME 04039
 207-657-6910

Drawing Name: **Layout & Utilities
Lots 8**
 Project: **MAGGIE LANE, PORTLAND**

Figure No.
2



Design: DER	Date: AUG. 2000
Draft: DB	Jab No.: 99103
Checked: AMP	Scale: 1" = 30'
File Name: 99103-ALL-LOTS2.OWC	

GP Gorrill-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services
 PO Box 1237, 25 Main Street
 Gray, ME 04039
 207-657-6910

Drawing Name: Grading & Drainage
 Lots 8
 Project: MAGGIE LANE, PORTLAND

Figure No.
3

City of Portland Planning Department

389 Congress Street, 4th Floor
Portland, ME 04101
207-874-8721 or 207-874-8719
Fax: 207-756-8258

FAX TRANSMISSION COVER SHEET

Date: 10-11-00
To: CHRIS GARLG
Company: _____
Fax #: 879-0896
From: RICK KNOWLAND
RE: CHRIS - JIM DROPPED OFF WHAT HE SAID

IS THE RIGHT PLAN. ATTACHED IS THAT PLAN.

IF YOU WOULD PREFER TO SEE THE ORIGINAL, GIVE ME

A CALL WHEN YOU ARE AROUND AND I'LL SHOW

IT TO YOU. THANKS

RK

YOU SHOULD RECEIVE 2 PAGE(S),
INCLUDING THIS COVER SHEET.
IF YOU DO NOT RECEIVE ALL THE PAGES,
PLEASE CALL 207-874-8721 OR 207-874-8719.

Post Office Box 10127
Portland, Maine 04104
1-207-773-4988
Fax: 1-207-773-6875

**Diversified
Properties, Inc.**

Memo

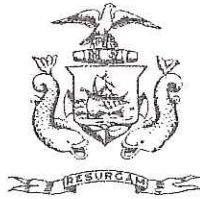
To: Rick Knowland
From: Jim Wolf
CC:
Date: Wednesday, September 20, 2000
Re: Lot 8, Maggie Lane

Enclosed please find the following:

- Escrow agreement for 2,000 dollars executed in duplicate
- Escrow check to be held by the city in the amount of 2,000 dollars
- Inspection fee check in the amount of 300 dollars

Please contact me to discuss when I can pick up the building permit.

Thank you for your help.



CITY OF PORTLAND

October 26, 2000

Jim Wolf
PO Box 10127
Portland ME 04104

RE: Maggie Lane, Lot 8

Dear Jim:

This letter is to confirm that the Portland Planning Authority has approved the site plan application for a two unit dwelling for lot 8 of Maggie Lane subject to the following conditions:

1. The building shall have a minimum 7 in 12 pitch.
2. The right and left building side elevations shall have a minimum of 2 windows per floor (4 windows per side.)
3. Requirements of the Development Review Coordinator.

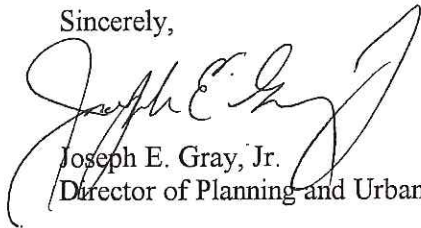
Please note the following provisions and requirements for all site plan approvals:

1. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. A one year extension may be granted by this department if requested by the applicant in writing prior to the expiration date of the site plan.
2. A performance guarantee in a form acceptable to the City of Portland and an inspection fee equal to 2.0% of the performance guarantee will have to be posted before beginning any site construction or issuance of a building permit.
3. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
4. Prior to construction, a preconstruction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the preconstruction meeting.

5. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)
6. The Development Review Coordinator (874-8300 ext. 8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact the Planning Staff.

Sincerely,



Joseph E. Gray, Jr.
Director of Planning and Urban Development

cc: Alexander Jaegerman, Chief Planner
✓ Richard Knowland, Senior Planner
P. Samuel Hoffses, Building Inspector
Marge Schmuckal, Zoning Administrator
Tony Lombardo, Project Engineer
Development Review Coordinator
William Bray, Director of Public Works
Nancy Knauber, Associate Engineer
Jeff Tarling, City Arborist
Penny Littell, Associate Corporation Counsel
Lt. Gaylen McDougall, Fire Prevention
Inspection Department
Lee Urban, Director of Economic Development
Don Hall, Appraiser, Assessor's Office
Susan Doughty, Assessor's Office
Approval Letter File