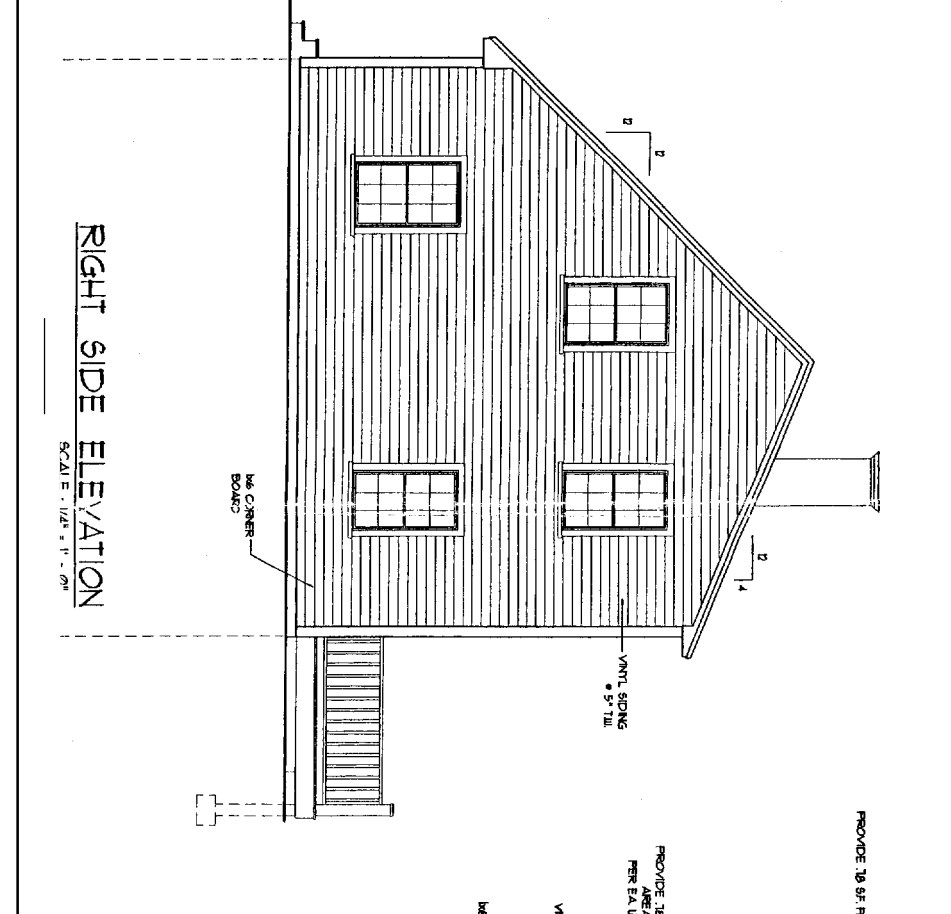
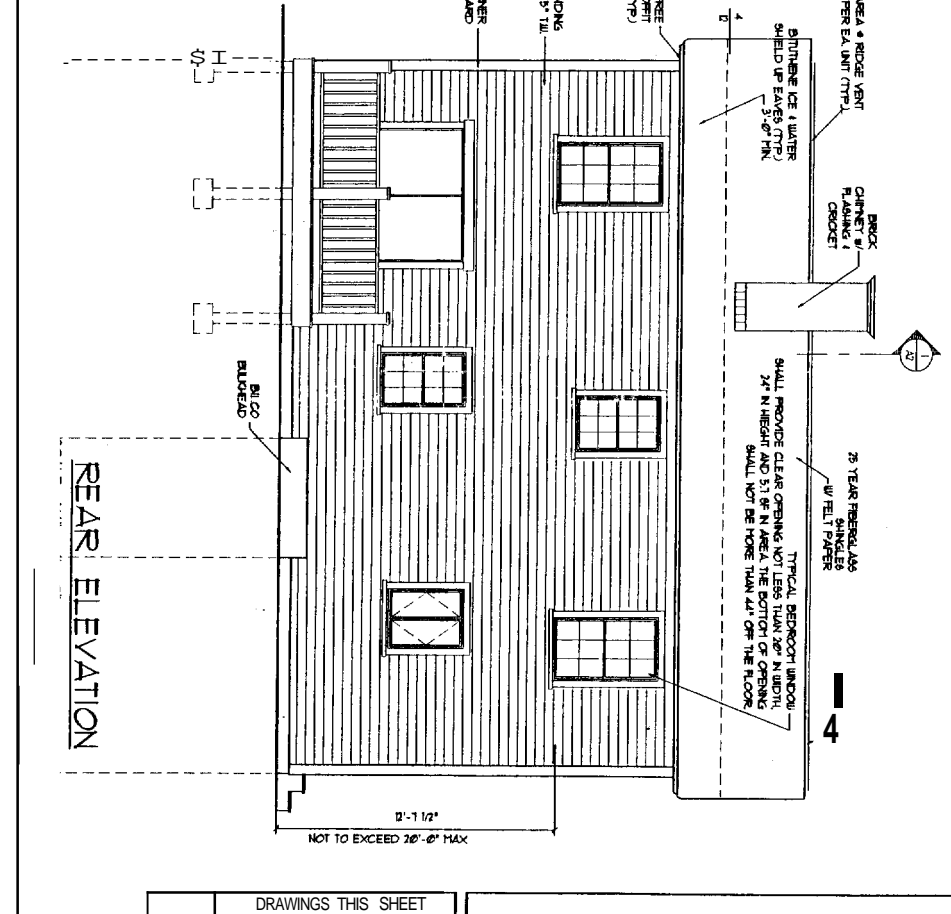


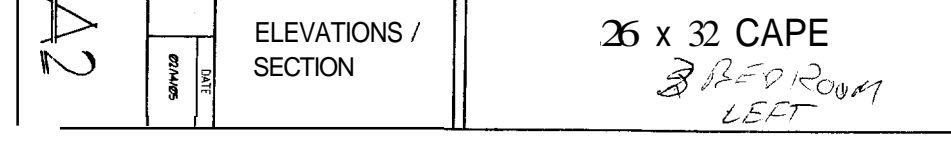
SECTION THRU HOUSE
SCALE: 1/4" = 1' - 0"



LEFT SIDE ELEVATION
SCALE: 1/4" = 1' - 0"



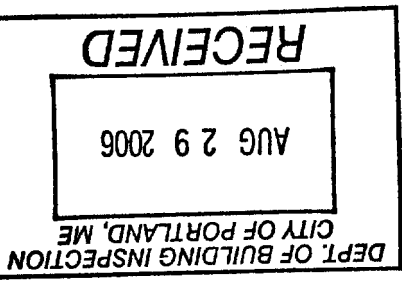
RIGHT SIDE ELEVATION
SCALE: 1/4" = 1' - 0"



FRONT ELEVATION
SCALE: 1/4" = 1' - 0"



REAR ELEVATION
SCALE: 1/4" = 1' - 0"



TYPICAL ROOF CONSTRUCTION

ROOF OPENING	HEADER SIZE
0' - 5' - 0"	(3) - 2x6
5' - 5' - 0" - 4' - 4"	(3) - 2x8
4' - 4" - 5' - 0"	(3) - 2x8
5' - 0" - 1' - 0"	(3) - 2x8

NOTE: PROVIDE JAMBS BOTH ENDS AS FOLLOWS:
 (1) 2x6 JAMBS PLUS (2) 2x6 OVER JOIST TO 1'-0" ROOF OPENING
 (2) 2x6 JAMBS PLUS (2) 2x6 OVER JOIST TO 1'-0" ROOF OPENING

DRAWINGS THIS SHEET

ELEVATIONS / SECTION	DATE
	07/14/05

26 x 32 CAPE
3 BED ROOM LEFT

LOT 5
RUBY LAKE

A2

GENERAL NOTES:

- All work shall be in accordance with BOCA Basic Building Code, NFPA-70 National Electric Code and all local, state and federal codes.
- All applicable Federal, State and local regulations shall be followed, including the Federal Department of Labor Occupational Safety and Health Act.
- All required City and State permits shall be obtained before any construction begins.
- It is the contractor's sole responsibility to determine erosion prevention and measures to ensure the safety of the building and its components during erection. This includes the addition of temporary bracing, shoring, bracing, guying or tie-downs, steel bracing that remain the property of the contractor at the completion of the project.
- Structural, Mechanical, Electrical and Plumbing design and installation by others shall be performed in accordance with local, State and Federal standards.
- All fire ratings indicated shall be continuous to underside of the steel ceiling or underside of roof deck, shall all openings & mechanical penetrations will approved by listing agency.
- Building shall be constructed in accordance with NFPA-101, Contractor shall submit plans for State Fire Marshal approval prior to construction in accordance to state law.
- Building shall have approved means of egress in accordance with NFPA-101 Life Safety Code, Smoke detectors shall be installed at all sleeping rooms of each unit.
- Provide the egress routes shall be provided in all hazardous areas in accordance to NFPA-101, Local authority having jurisdiction needs to provide written requirements.
- Structures must maintain a 4' clear height and shall be kept free and clear of use and seen at all times to ensure the second means of egress.
- Local jurisdiction to be in accordance with ASHRAE, NFPA-90A, OR NFPA-90B and all Federal, local and State codes, (see schedule) shall be in accordance with NFPA-1, NFPA-2, NFPA-3, NFPA-5 and NFPA-70 as applicable.

FOUNDATION NOTES:

- Provide sill sealer on top of all foundation walls.
- Foundation walls shall be backfilled with compacted soil.
- All steel reinforcing in footings to be a minimum 3" diameter.
- All steel reinforcing in footings shall be lap spliced.
- All wood in contact with concrete shall be pressure preservative treated BOCA to 60% retention per APPA Model 1 Light Deck Finish.
- All concrete surfaces shall have a steel.
- Set bottom of footings min. 4" below grade.
- Provide heat in walls.
- Provide floor joists shall be 4" thick concrete slab on grade w/ rebar reinforcement provide control joints @ 6" spacing (7259).
- All concrete shall be 3000 psi / 7.5 strength at 28 days.
- All concrete shall be air entrained 4.5%.
- All other admixtures shall be pre-approved.
- Temperature / curing records shall be maintained.
- Provide filter fabric over stone.

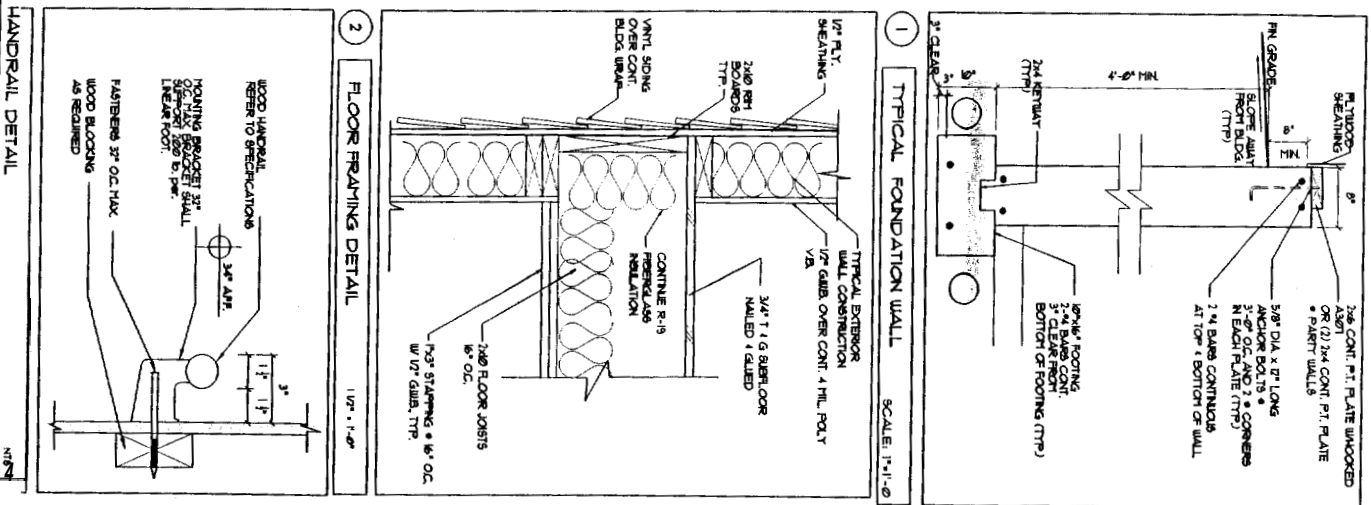
FRAMING NOTES:

- All exterior walls to be 2x4 wood stud walls.
- 2x4 O.C. w/ 1/2" GIBB, AND VAPOR BARRIER & INSIDE FACE OF WALL, 4" BATT INSULATION (R-11) AND 1/2" APA RATED SHEATHING & EXTERIOR FACE OF WALL.
- All interior walls to be 2x4 wood stud walls (unless noted otherwise) w/ ONE LAYER 1/2" GIBB EACH SIDE.
- Vertical blocking behind all surface applied finishes, trim and sec. etc.
- 4" THE LOCATION OF ALL DOOR FRAMES SHALL BE 4" (UNLESS NOTED OTHERWISE) FROM ADJACENT WALLS.

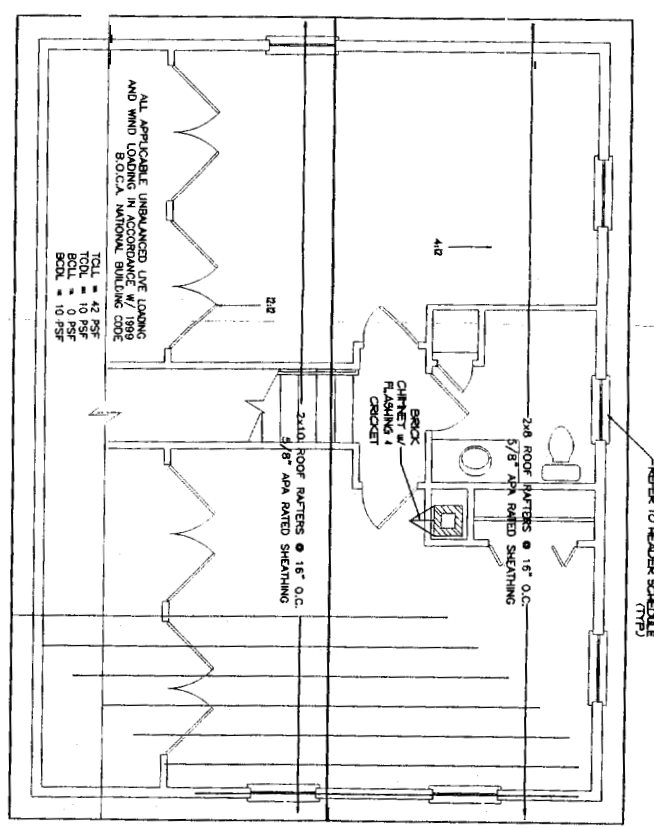
HEADER SCHEDULE

ROOF OPENING	HEADER SIZE
0'-3" x 0'-6"	(3) 2x6
3'-0" x 4'-4"	(3) 2x8
4'-3" x 5'-0"	(3) 2x8
5'-0" x 7'-0"	(3) 2x8

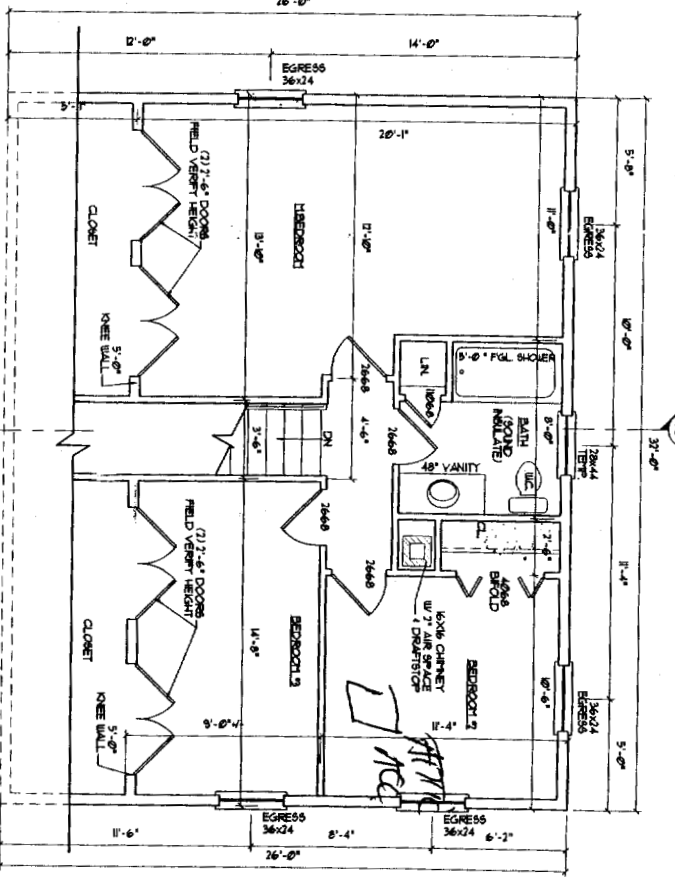
NOTE: PROVIDE LATHES BOTH SIDES AS FOLLOWS:
 2x6 JOIST PLUS 2x6 KING UP TO 4'-4" ROOF OPENING
 2x6 JOIST PLUS 2x6 KING UP TO 7'-0" ROOF OPENING



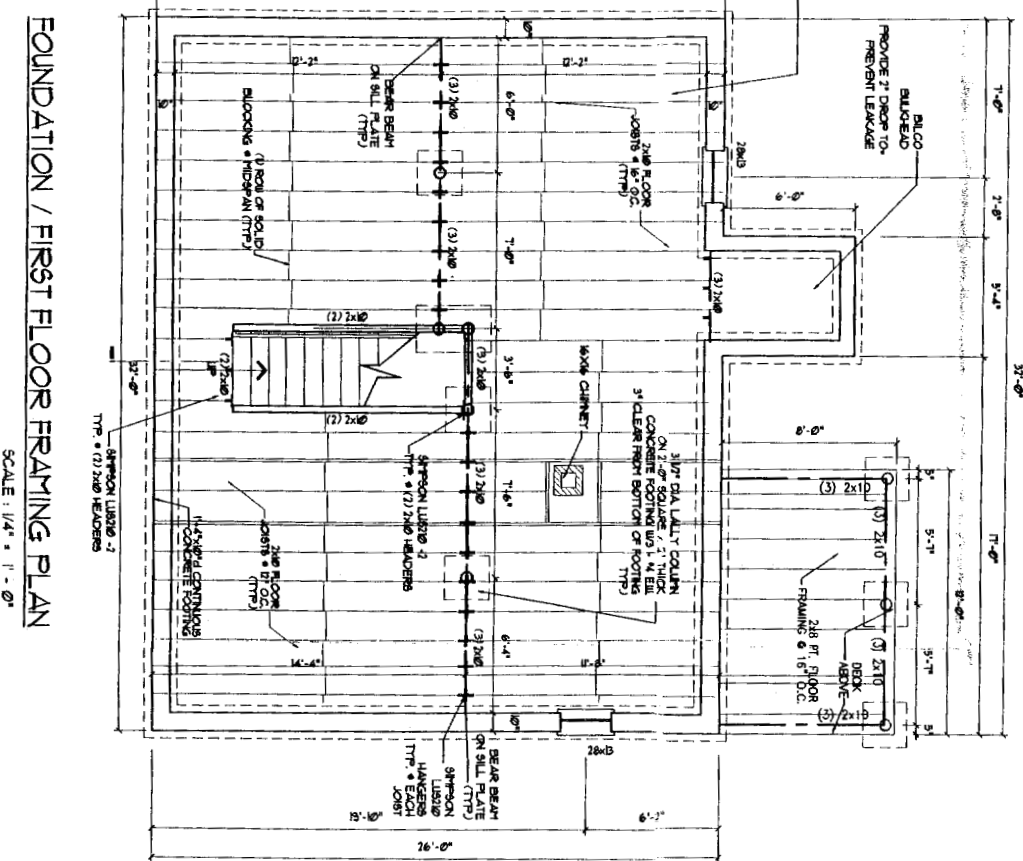
DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
AUG 29 2006
 RECEIVED



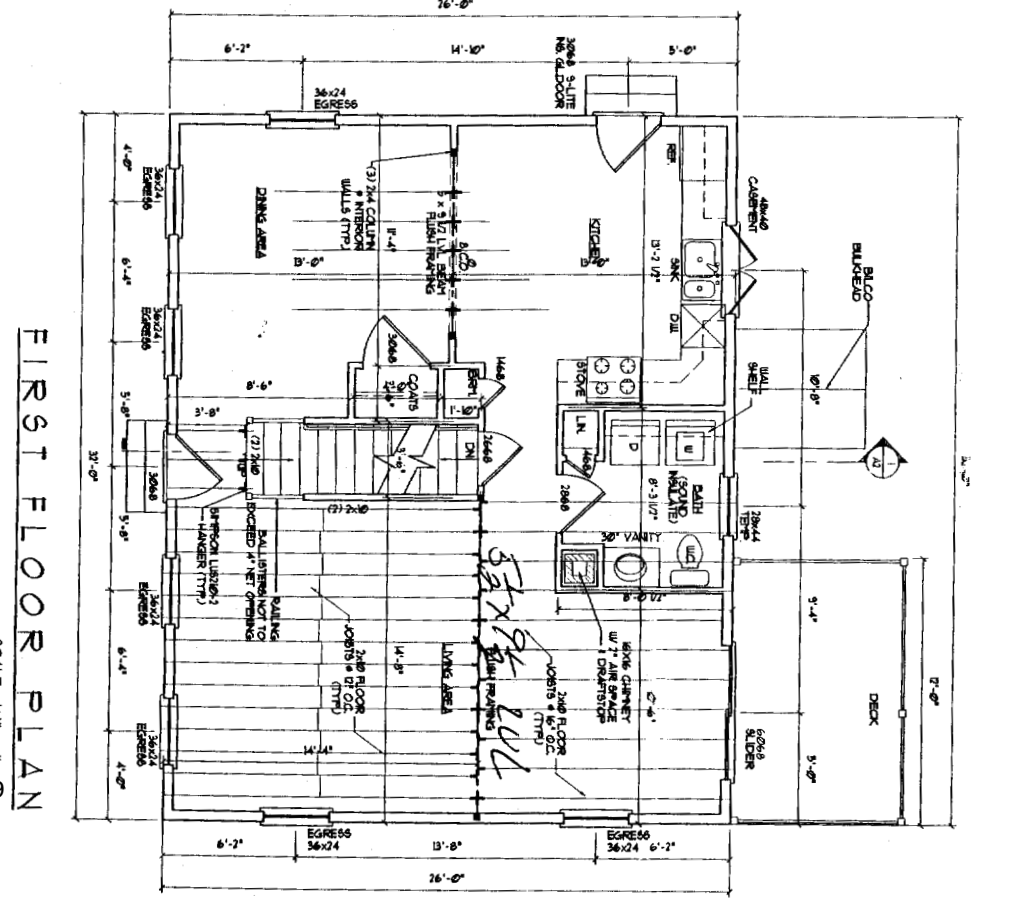
ROOF FRAMING PLAN
 SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"



FOUNDATION / FIRST FLOOR FRAMING PLAN
 SCALE: 1/4" = 1'-0"

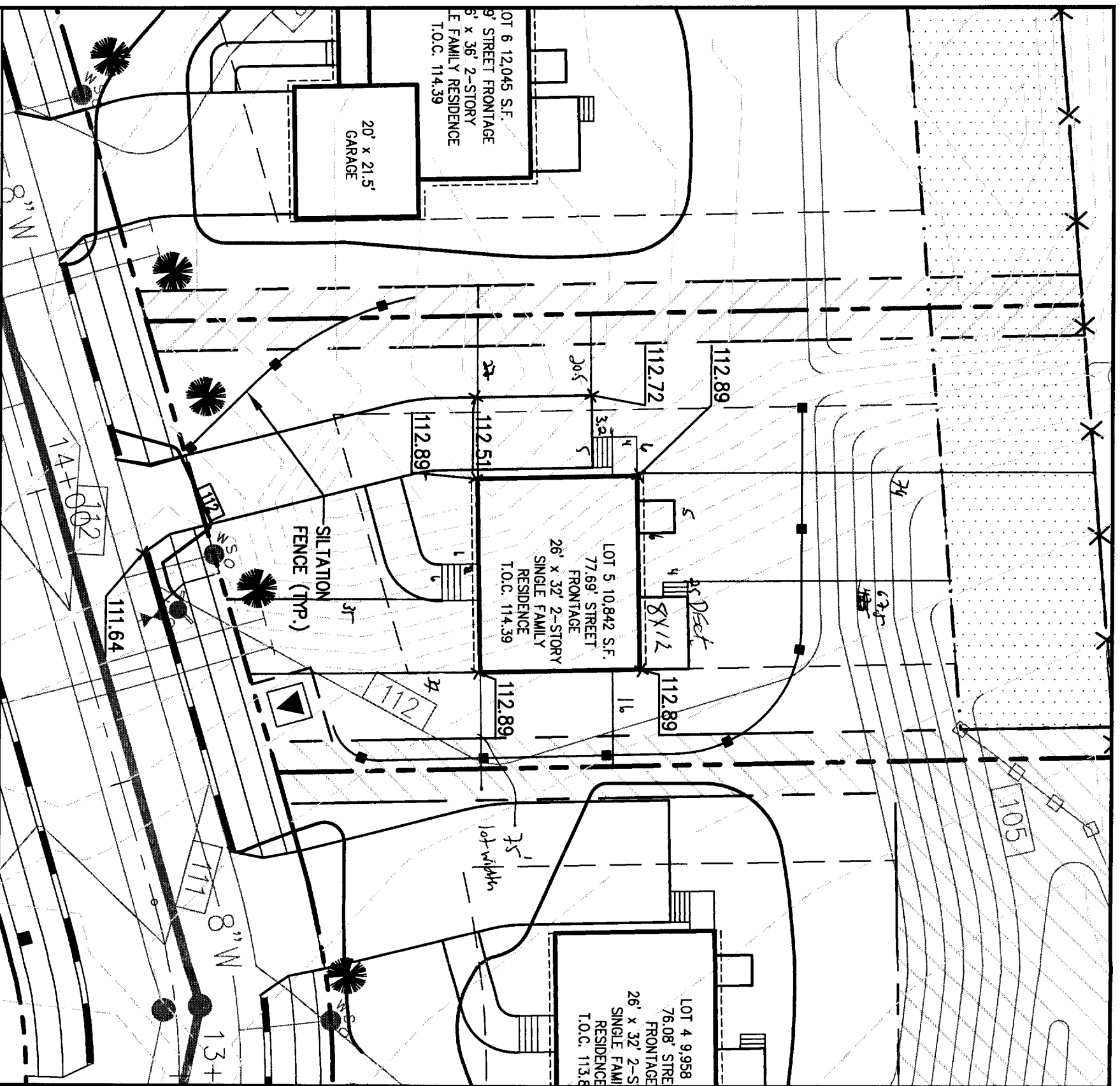


FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

DRAWINGS THIS SHEET
 FOUNDATION & ROOF PLAN
 FIRST FLOOR PLAN /
 SECOND FLOOR PLAN
 NOTES / DETAILS

26 x 32 CAPE
 2 BED ROOM

AI

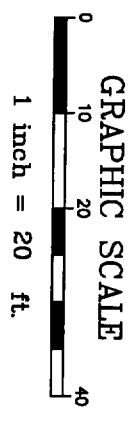


USE for zoning



ZONING REGULATIONS

- ZONE:** R-3
- MINIMUM LOT SIZE:** 6,500 S.F.
- MINIMUM LOT WIDTH:** 75 FEET
- MINIMUM STREET FRONTAGE:** 50 FEET
- MINIMUM FRONT YARD SETBACK:** 25 FEET OR AT MIN. 75' LOT WIDTH
- MINIMUM REAR YARD SETBACK:** 25 FEET
- MINIMUM SIDE YARD SETBACK:** 16 FEET (FOR 2 1/2 STORY DWELLING)
8 FEET (FOR 1 1/2 STORY DWELLING)



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WWW.DELUCAHOFFMAN.COM

DRAWN: LECJ	DATE: APRIL 2006
DESIGNED: DDA	SCALE: 1" = 20'
CHECKED: DDA	JOB NO.: 2459.02
FILE NAME: 245902.LOTS	

RUBY LANE
PORTLAND, MAINE

LOT 5 GRADING & EROSION CONTROL PLAN

FIGURE
5-B