

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

PERMIT ISSUED

Permit Number: 061222

SEP 7 2006

CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

This is to certify that D.A. Brackett & Company, Inc./DA Brackett

has permission to build a new 26' x 32' 2 story Bedroom Family Home

AT 86 RUBY LN Lot #5 341 H018001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Classification of inspection must be given and when permission is procured before this building or part thereof is closed or services closed-in. YOUR NO. IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____ Department Name

James Bourke 9/8/06 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

Permit No:	Issue Date:	CBL: 341 H018001
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Location of Construction: 86 RUBY LN Lot# 5	Owner Name: D.A. Brackett & Company, Inc.	Owner Address: 84 Country Lane	Phone:
Business Name:	Contractor Name: DA Brackett	Contractor Address: 29 Primrose lane Portland	Phone: 2077728629
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R3

Past Use: Vacant Land	Proposed USE: Single Family Home/ build a new 26' x 32' 2 story 3 Bedroom Single Family Home	Permit Fee: \$1,395.00	Cost of Work: \$130,000.00	CEO District: 5
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB	

Proposed Project Description:
build a new 26' x 32' 2 story 3 Bedroom Single Family Home

Signature: _____ Date: _____

Signature: *JMB 9/8/06*

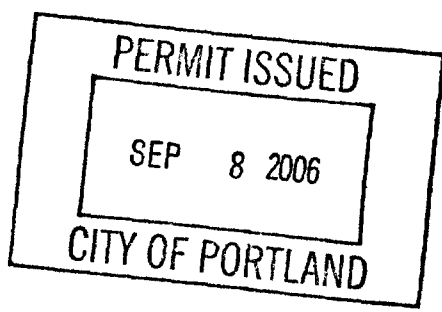
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: Idobson	Date Applied For: 08/18/2006
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Zoning Approval		
Special Zone or Reviews <input type="checkbox"/> Shoreland N/A <input type="checkbox"/> Wetland N/A <input type="checkbox"/> Flood Zone panel 7 - Zone X <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan 206-0162 Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> New w/conditions Date: 8/24/06 JMB	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

Please call 874-8703 or 874-8693 to schedule your

inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated

below:

A Pre-construction Meeting will take place upon receipt of your building p

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or dryw
- Final/Certificate of Occupancy: Prior to any occupancy of the structure

inspection at this point.

Certificate of Occupancy is not required for ce you if your project requires a Certificate of Occupancy.

inspection of the inspections not occu- go on to the next
any do r, the project cannot
phase, REGARDLESS OF THE CIRCUMSTANCES.

CERTIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR,
BEFORE THE SPACE MAY BE OCCUPIED

Signature of Applicant/Designee

Date 9/8/08

Signature of Inspections Official

Date

CBL: 341-H-18

Building Permit #: 06/222

Lot # 5
86 Ruby Ln
06-1222

CBL: 341-H-18
Dwight B.

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1) _____		
Component	Submitted Plan	Findings Revisions Date
STRUCTURAL		
Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	10" x 16"	OK
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	OK notes	OK
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	N/A	
Anchor Bolts/Straps, spacing (Section R403.1.6)	3/8" - 3' O.C.	OK
Lally Column Type (Section R407)	3-2x10's 2 floors 6' span over	OK FL 9/8/06 LVL'S condition (1)
Girder & Header Spans (Table R 502.5(2))	"	
Built-Up Wood Center Girder Dimension/Type		
Sill/Band Joist Type & Dimensions	2x6 PT 2x10	OK
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10's 13'	OK
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10's	OK
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	2x6	OK

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	2x10 & 2x8 2x8 over 12'3"	change ALL 2x10 9/8/06 (2)
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	3/4" 7/16" 5/8" Per IRC	OK
Fastener Schedule (Table R602.3(1) & (2))		OK
Private Garage (Section R309) Living Space? (Above or beside) Fire separation (Section R309.2) Opening Protection (Section R309.1)	N/A	OK
Emergency Escape and Rescue Openings (Section R310)	OK noted	OK
Roof Covering (Chapter 9)	Asphalt	OK
Safety Glazing (Section R308)	N/A	
Attic Access (Section R807)	not shown	OK 9/8/06 OK (3)
Chimney Clearances/Fire Blocking (Chap. 10)	As noted	OK Condition
Header Schedule (Section 502.5(1) & (2))	OK	OK
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	not shown	FL-19 wall-19 u=35 (3) Attic 38 OK

Type of Heating System	oil FHW	OK
Means of Egress (Sec R311 & R312) Basement	Bulk head	OK
Number of Stairways	2	
Interior	1	
Exterior	1	
Treads and Risers (Section R311.5.3)	10" T — 7/8" Rise max	OK
Width (Section R311.5.1)	3'	
Headroom (Section R311.5.2)	6'8"	
Guardrails and Handrails (Section R312 & R311.5.6 – R311.5.6.3)	OK	
Smoke Detectors (Section R313) Location and type/Interconnected		Condition ^{Per. D.B}
Draftstopping (Section R502.12) and Fireblocking (Section (R602.8)	N/A	
Dwelling Unit Separation (Section R317) and IBC – 2003 (Section 1207)		
Deck Construction (Section R502.2.1)	OK	OK

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1222	Date Applied For: 08/18/2006	CBL: 341 H018001
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Location of Construction: 86 RUBY LN Lot #5	Owner Name: D.A. Brackett & Company, Inc.	Owner Address: 84 Country Lane	Phone:
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Business Name:	Contractor Name: DA Brackett	Contractor Address: 29 Primrose lane Portland	Phone (207) 772-8629
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Lessee/Buyer's Name	Phone:	Permit Type: Single Family
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Proposed Use: Single Family Home/ build a new 26' x 32' 2 story 3 Bedroom Single	Proposed Project Description: build a new 26' x 32' 2 story 3 Bedroom Single Family Home
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Dept: DRC **Status:** Approved with Conditions **Reviewer:** Jay Reynolds **Approval Date:** 08/21/2006

Note: **Ok to Issue:**

- 1) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 2) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 3) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext .8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 4) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 5) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.

Dept: Planning **Status:** Not Applicable **Reviewer:** Jay Reynolds **Approval Date:** 08/21/2006

Note: **Ok to Issue:**

Location of Construction: 86 RUBY LN Lot #5	Owner Name: D.A. Brackett & Company, Inc.	Owner Address: 84 Country Lane	(Phone:
Business Name:	Contractor Name: DA Brackett	Contractor Address: 29 Primrose lane Portland	Phone (207) 772-8629
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Comments:

09/08/2006-jmb: Dwight B. Will come in to add details as noted on the checklist



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or **user charges** on any property within the City, payment arrangements must be made before permits of any kind are accepted.

#81

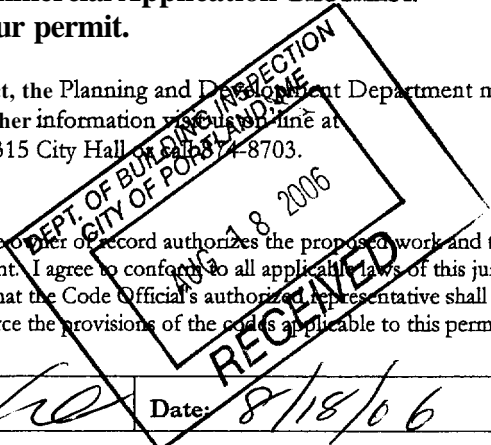
Location/Address of Construction: <u>LOT 5 RUBY LANE (Oak Ridge.)</u>		
Total Square Footage of Proposed Structure <u>1536 SQ. FT.</u>	Square Footage of Lot <u>10842 SQ. FT.</u>	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>341 H 18</u>	Owner: <u>DWIGHT BRACKETT</u> <u>84 COUNTRY LANE</u> <u>PORTLAND ME 04103</u>	Telephone: <u>772-8629</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>DWIGHT BRACKETT</u> <u>84 COUNTRY LANE</u> <u>PORTLAND ME 04103</u>	Cost Of Work: \$ <u>130,000⁰⁰</u> Fee: \$ _____ C of O Fee: \$ _____
Current Specific use: <u>VACANT</u> If vacant, what was the previous user? <u>VACANT</u> Proposed Specific use: <u>GILGIE FAMILY</u>		
Project description: <u>26 X 32 2 STORY 3 BEDROOM HOUSE</u>		
Contractor's name, address & telephone: <u>DWIGHT BRACKETT</u>		
Who should we contact when the permit is ready: _____ Mailing address: _____ Phone: <u>772-8629</u>		

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information please call or e-mail at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 772-8703.

I hereby certify that I am the Owner of record of the named property, or that the Owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: *Dwight Brackett* Date: 8/18/06



This is not a permit; you may not commence ANY work until the permit is issued.

QUITCLAIM DEED WITH COVENANT

Oak Ridge Development, Inc., a Maine corporation with a principal place of business in the City of Portland, County of Cumberland and State of Maine

For Consideration Paid, GRANT with QUITCLAIM COVENANT to:

D.A. Brackett & Company, Inc., a Maine corporation with a principal place of business and mailing address of **84 Country Lane, Portland, Maine 04103,**

A certain lot or parcel of land, with the buildings and improvements thereon, situated on the westerly side of Plymouth Street, formerly known as Colonial Avenue, in the City of Portland, County of Cumberland and State of Maine, being more particularly described as Lot 5 on Plan of Oak Ridge Subdivision dated July **2004**, and recorded in the Cumberland County Registry of Deeds in Plan **Book 205, Page 145**, as amended and revised through November **9, 2004** by plan entitled "Subdivision Plan, Oak Ridge Subdivision, Plymouth Street, Portland, Maine, made for Oak Ridge Development, Inc." dated July **2004**, and recorded in Plan Book **205, Page 499**.

Being a portion of the premises conveyed to Grantor herein by deed of Diversified Properties, Inc. dated May **21, 2004**, and recorded at the Cumberland County Registry of Deeds in **Book 21308, Page 199**.

Excepting and reserving to Grantor, its successors and assigns, all right, title and interest that the Grantor may have in and to the fee interest in "Ruby Lane" and the parcel extending from said Ruby Lane to Plymouth Street labeled "N/F Oak Ridge Development **21308/199 5,601.18sq. ft**" as shown on the Plans. The purpose of this reservation is to preserve Grantor's right in and to such ways pursuant to **23 M.R.S.A. §3031(4)** and **33 M.R.S.A. §460** et seq., together with the right to convey said Ruby Lane and rights of way, to the City of Portland or the Oak Ridge Homeowners Association, at Grantor's sole discretion.

Grantee covenants and agrees as part consideration of this transaction that this conveyance is made subject to and together with restrictions, covenants, easements, and conditions as set forth in the Declaration of Covenants, Restrictions and Easements dated March **22, 2005**, and recorded at said Registry in Book **22543, Page 221**, as amended by First Amendment to Declaration of Covenants, Restrictions, and Easements dated October **18, 2005** and recorded at said Registry in Book **23284, Page 262**, and any further amendments of record; such rights and easements granted to the Portland Water District in an instrument dated April 11, 2005, and recorded at said Registry in Book **22541, Page 109**; such rights, requirements, reservations, and easements as set

forth in Drainage Easement and Turnaround Easement dated April 14, 2005, and recorded at said Registry in Book 22543, Pages 235 and 237, respectively; and such rights and easements granted to Central Maine Power Company and Verizon New England, Inc. as set forth in instrument dated August 18, 2005, and recorded at said Registry in Book 23788, Page 46.

This conveyance is further subject to such state of facts as shown or depicted on plan entitled "Standard Boundary Survey of Land in Portland, Maine, Portland Terminal Company to Diversified Properties", by Titcomb Associates dated December 2003 and recorded at said Registry in Plan Book 203, Page 690.

This conveyance is further subject to such state of facts as shown or depicted on plan entitled "Subdivision Plan Oak Ridge Subdivision", dated July 2004 and recorded at said Registry in Plan Book 205, Page 145, as amend in Plan Book 205, Page 499, including, but not limited to, setbacks, no cut zones, and drainage easements. In addition, but not limited thereto, Lots 2, 5, 7, 8 and 10 are subject to transformer easements to Central Maine Power; Lots 10 and 11 are subject to a City turnaround easement; and Lots 1, 2 & 3 are subject to a detention pond located thereon, all as shown on said Plans.

Grantee further covenants and agrees by acceptance of this deed that the following restrictions shall apply to the lots herein conveyed, which restrictions shall be binding upon Grantee, its successors and assigns:

1. The lots herein conveyed shall not be further subdivided without the written and recorded approval by Oak Ridge Development, Inc. or its successors and assigns, and the City of Portland. This restriction shall include the prohibition against boundary transfers or deeding of easements for any purpose, including any conveyance to an abutting land owner.
2. The lots herein conveyed shall be limited to one (1) single-family dwelling. In addition, the lots shall not be used for home occupation, in-law apartments or otherwise without the written consent of Oak Ridge Development, Inc., or its successors and assigns.
3. Any changes to the site plans shall require the written approval of Oak Ridge Development, Inc., or its successors and assigns, and the City of Portland, which approval shall be recorded at the Cumberland County Registry of Deeds.
4. The lots herein conveyed were approved by the City of Portland Planning Board based on the flow of drainage over adjacent property owned by Guilford Railroad. Guilford may have the ability in the future to revoke its permission to allow such drainage over its property. In the event of such revocation, and pursuant to Portland Plan-

ning Board Condition of Subdivision Approval dated September 13, 2005, the lot owners of *Oak Ridge* Subdivision, by virtue of their collective Homeowners Association, shall be solely responsible for installing an alternate drainage mechanism to address drainage coming from the 18-lot subdivision, the cost of such installation and maintenance resting exclusively with the Homeowners Association.

IN WITNESS WHEREOF, the said OAK RIDGE DEVELOPMENT, **INC.** has caused this instrument to be signed in its corporate name and sealed with its corporate seal by James M. Wolf, its President, thereunto duly authorized this 16th day of August, 2006.

OAK RIDGE DEVELOPMENT, INC.

Mary Beth

By: *James M. Wolf*
James M. Wolf
Its President

STATE OF MAINE
CUMBERLAND, SS.

Date: June 16, 2006

Then personally appeared the above-named JAMES M. WOLF, President of OAK RIDGE DEVELOPMENT, **INC.** as aforesaid and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said corporation.

Before me,

Mary Beth
~~Attorney at Law~~/Notary Public
Print Name: _____
My Commission Expires: _____

DARCY TOOTHAKER
MAINE NOTARY PUBLIC
COMMISSION EXPIRES
JANUARY 27, 2009

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

Zoning Copy

2006-0162

Application I. D. Number

8/18/2006

Application Date

D.A. Brackett

Applicant

84 Counrv Lane. Portland. ME 04103

Applicant's Mailing Address

Dwight Brackett

Consultant/Agent

Applicant Ph: (207) 772-8629 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Marge Schmuckal

Ruby Lane Lot#5

Project Name/Description

86 - 86 Ruby Ln , Portland, Maine

Address of Proposed Site

341 H018001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

Proposed Building square Feet or # of Units 10842 Acreage of Site _____ Zoning _____

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBNPB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Pla \$50.00 Subdivision _____ Engineer Review \$250.00 Date 8/18/2006

Zoning Approval Status:

Reviewer _____

- Approved Approved w/Conditions
See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets
Attached

Condition Compliance _____
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

From: Jay Reynolds
To: Single Family Signoff
Date: 8/21/2006 4:38:32 PM
Subject: 86 Ruby Lane

8/18/2006

CBL 341H018,
Approvals with conditions have been entered in urban insight for this application.

Jay Reynolds
Development Review Coordinator
City of Portland Planning Division
(207) 874-8632
jayjr@portlandmaine.gov

Applicant: DA Brackett & Company Inc

Date: 8/24/06

Address: 86 Ruby Lane (Lot #5 Oak Ridge)

C-B-L: 541-H-018

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

Zone Location - R3

Interior or corner lot -

Proposed Use/Work - ^{build} new single family house (2 story - 26' x 32')

Sewage Disposal - city

Lot Street Frontage - 50' min - 77.5' scaled

Front Yard - 25' min - 35' scaled to steps, 37' scaled to house

Rear Yard - 25' min - 67.5' scaled to deck, 74' scaled to building

Side Yard - 1 1/2 story - 8' min right is 16' min scaled
2 story - 14' min left 20.5' to steps, 27' to house.

Projections - 8' x 12' deck, 2.5' x 4' steps, 5' x 6' bulkhead, 6' x 4' entry 5' x 3.25' steps.
6' x 6' entry

Width of Lot - 65' min - 75' scaled

Height - 35' max - 21.25' scaled

Lot Area - 6,800 sq ft min. - 10,857 sq ft given

6 x 6	= 36
5 x 3.25	= 16
6 x 4	= 24
5 x 6	= 30
2.5 x 4	= 10
8 x 2	= 16
26 x 32	= 832

Lot Coverage Impervious Surface - 35% = 3799.95 0.2 1044

Area per Family - 6,500 sq ft

Off-street Parking - 2 spaces required - 39' x 12' passed
25' setback line.

Loading Bays - N/A

Site Plan - minor/minor 2006-0162

Shoreland Zoning/Stream Protection - N/A

Flood Plains - panel 7 - 2006
* no daylight basement