

HEADER SCHEDULE	
ROUGH OPENING	HEADER SIZE
0 - 3'-0"	(3) - 2x6
3'-1" - 4'-4"	(3) - 2x6
4'-5" - 5'-8"	(3) - 2x6
5'-9" - 7'-0"	(3) - 2x6

NOTE: PROVIDE JUMPS ACROSS ROUGH OPENINGS.  
 (1) THE JACK FLUS SHALL BE 1" TO 1'-0" ROUGH OPENING.  
 (2) THE JACK FLUS SHALL BE 1" TO 1'-0" ROUGH OPENING.

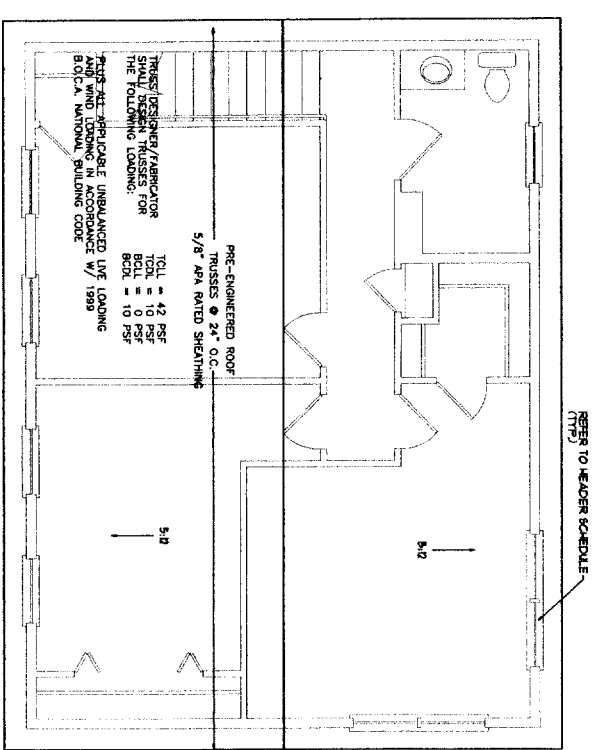
**GENERAL NOTES:**

- All work shall be in accordance with BOCA Basic Building Code, NFPA 30 National Fire Protection Code, NFPA 30 National Fire Protection Code, NFPA 30 National Fire Protection Code and all local, state and federal requirements.
- All applicable Federal, State and Municipal regulations shall be followed, including the Federal Department of Labor Occupational Safety and Health Act.
- All required City and State permits shall be obtained before any construction begins.
- It is the contractor's sole responsibility to determine erection procedures and sequence to be used in the erection of the structure and to coordinate with the architect and engineer of record for the building and its components during erection. This includes the location of necessary access openings and the location of necessary mechanical penetrations. The location of the penetrations shall be the responsibility of the contractor after consultation of the project.
- Structural, Mechanical, Electrical and Plumbing design and installation by others shall be performed in accordance with local, state and federal standards.
- All the ratings indicated shall be continuous to underside of the steel ceiling or underside of roof deck. Shall all openings & mechanical penetrations with approved fire rating material.
- Building shall be performed in accordance with NFPA-101, Fire Safety Code. Smoke detectors approval prior to construction in accordance to state law.
- Building shall have approved smoke detectors in accordance with NFPA-101, Life Safety Code. Smoke detectors shall include alarm that is audible in the sleeping rooms of each unit.
- Provide the extinguishers shall be provided in all hazardous areas in accordance to NFPA-101, Life Safety Code. Extinguishers shall be provided in accordance to NFPA-101, Life Safety Code.
- Balconies shall include a 4" guardrail height and shall be kept free and clear of use and store at all times to ensure the second means of egress.
- Balconies shall be in accordance with NFPA-101, Life Safety Code, NFPA-101, Life Safety Code and all local, state and federal codes. Ventilation or heat equipment shall be in accordance with NFPA-101, Life Safety Code and NFPA-101, Life Safety Code as applicable.

**FOUNDATION NOTES:**

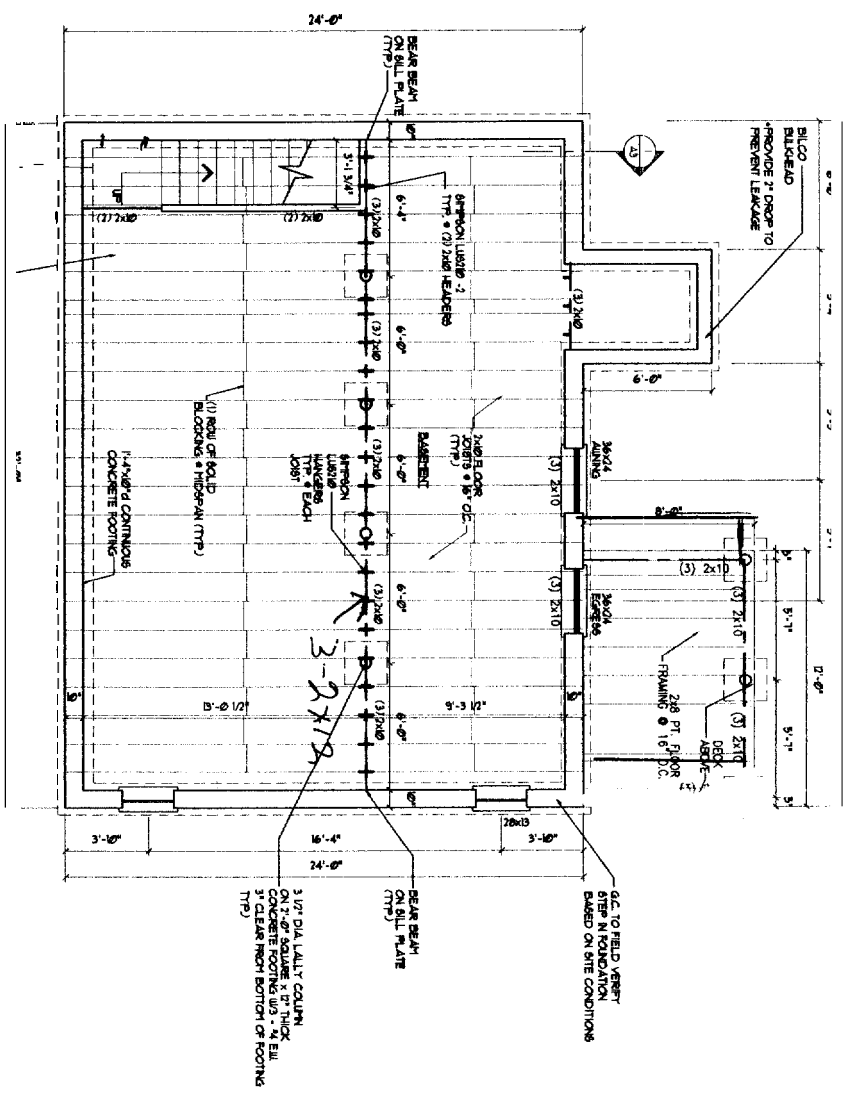
- ALL EXTERIOR WALLS TO BE 2x4 WOOD STUD WALLS 4" OC W/ 1/2" GIPS AND VAPOR BARRIERS & INTERIOR FACE OF WALL, 6" BATT INSULATION (R-19), AND 1/2" APA RATED SHEATHING & EXTERIOR FACE OF WALL.
- ALL INTERIOR WALLS TO BE 2x4 WOOD STUD WALLS (UNLESS NOTED OTHERWISE) W/ ONE LAYER 1/2" GIPS EACH SIDE.
- INSTALL BLOCKING BEHIND ALL SURFACE APPLIED FINISHES, TRIM AND SHELVES WHEN MOUNTED ON WALLS.
- THE LOCATION OF ALL DOOR FRAMES SHALL BE 1/2" (UNLESS NOTED OTHERWISE) FROM ADJACENT WALLS.

15) DOOR FINISH FABRIC OVER STONE



**ROOF FRAMING PLAN**

SCALE: 1/4" = 1'-0"



**FOUNDATION / FIRST FLOOR FRAMING PLAN**

SCALE: 1/4" = 1'-0"

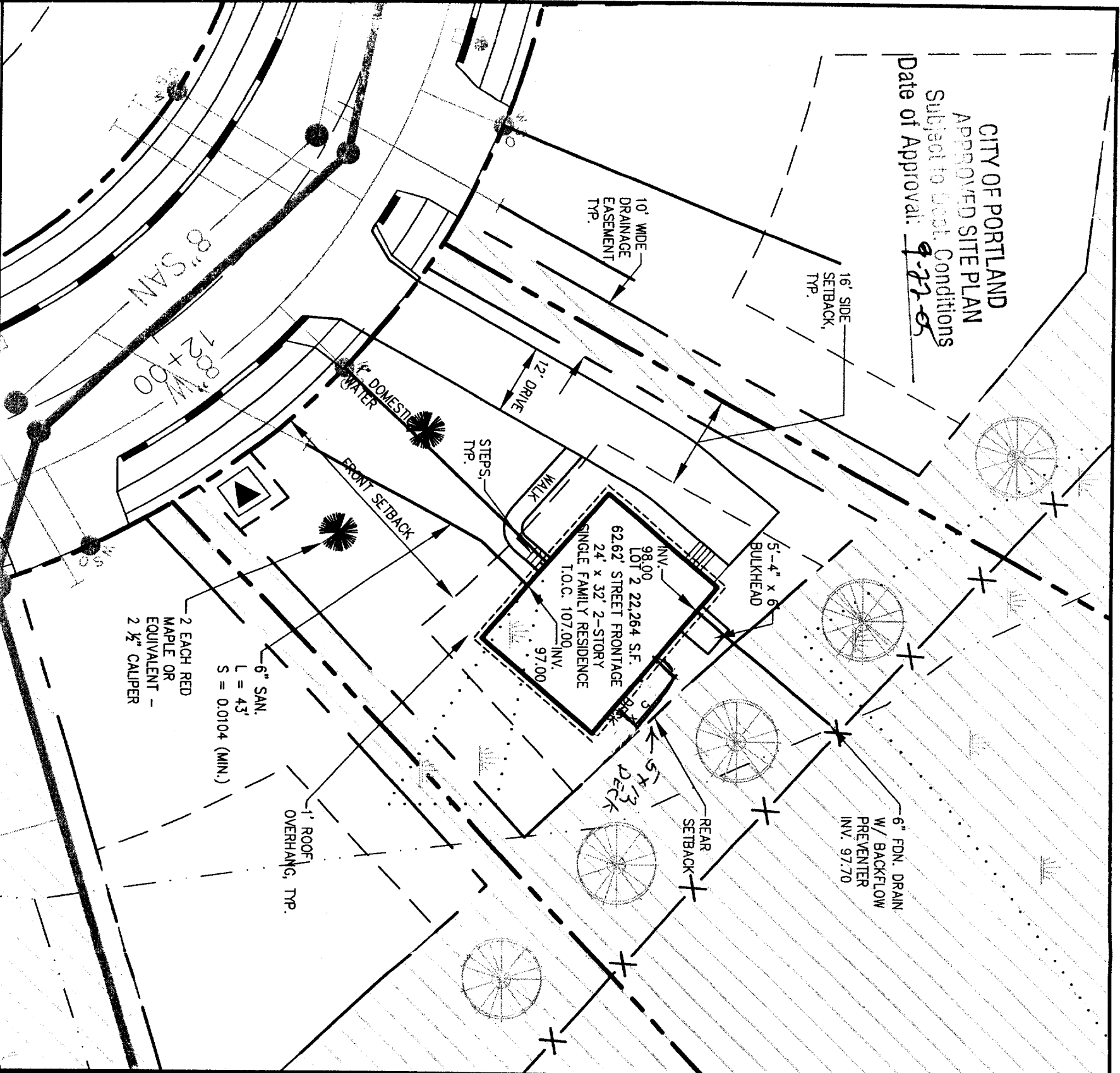
DATE	
6/4/2009	
FOUNDATION PLAN	
ROOF PLAN	
NOTES/DETAILS	

672

A



CITY OF PORTLAND  
 APPROVED SITE PLAN  
 Subject to Dept. Conditions  
 Date of Approval: 9-22-05



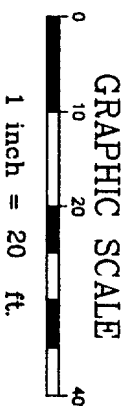
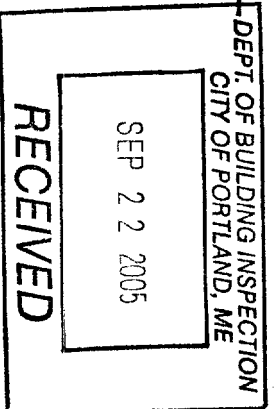
*Reviewed / Approved  
 Plans for  
 Ruby Lane  
 Lot 2*



CITY OF PORTLAND  
 APPROVED SITE PLAN  
 Subject to Dept. Conditions  
 Date of Approval: 9-22-05

**ZONING REGULATIONS**

- ZONE: R-3
- MINIMUM LOT SIZE: 6,500 S.F.
- MINIMUM LOT WIDTH: 75 FEET
- MINIMUM STREET FRONTAGE: 50 FEET
- MINIMUM FRONT YARD SETBACK: 25 FEET OR AT MIN. 75' LOT WIDTH
- MINIMUM REAR YARD SETBACK: 25 FEET
- MINIMUM SIDE YARD SETBACK: 16 FEET (FOR 2 1/2 STORY DWELLING)  
8 FEET (FOR 1 1/2 STORY DWELLING)



**DH**  
 Deluca-Hoffman Associates, Inc.  
 778 MAIN STREET, SUITE 8  
 SOUTH PORTLAND, ME 04106  
 207.775.1121  
 WWW.DELUCAHOFFMAN.COM

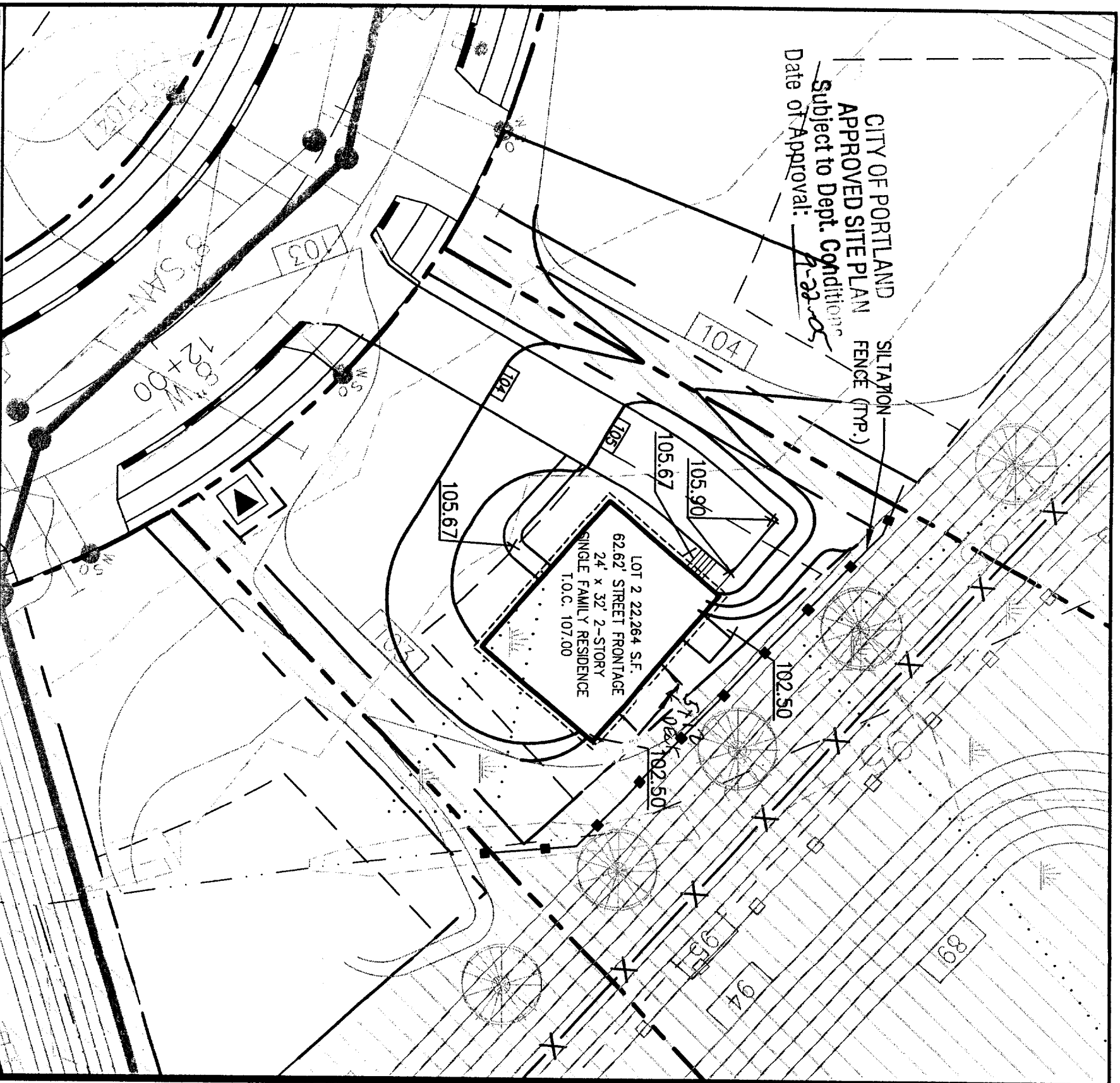
DRAWN:	CDD	DATE:	MAR. 2005
DESIGNED:	DDA	SCALE:	1" = 20'
CHECKED:	DDA	JOB NO.:	2568
FILE NAME:	2568-SP		

RUBY LANE  
 PORTLAND, MAINE

LOT 2 LAYOUT & UTILITIES PLAN

FIGURE  
 2-A

CITY OF PORTLAND  
 APPROVED SITE PLAN  
 Subject to Dept. Conditions  
 Date of Approval: 7-22-05



CITY OF PORTLAND  
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**ZONING REGULATIONS**

- |                                    |   |
|------------------------------------|---|
| <b>ZONE:</b>                       | R-3   |
| <b>MINIMUM LOT SIZE:</b>           | 6,500 S.F.  |
| <b>MINIMUM LOT WIDTH:</b>          | 75 FEET   |
| <b>MINIMUM STREET FRONTAGE:</b>    | 50 FEET   |
| <b>MINIMUM FRONT YARD SETBACK:</b> | 25 FEET OR AT MIN. 75' LOT WIDTH                                  |
| <b>MINIMUM REAR YARD SETBACK:</b>  | 25 FEET   |
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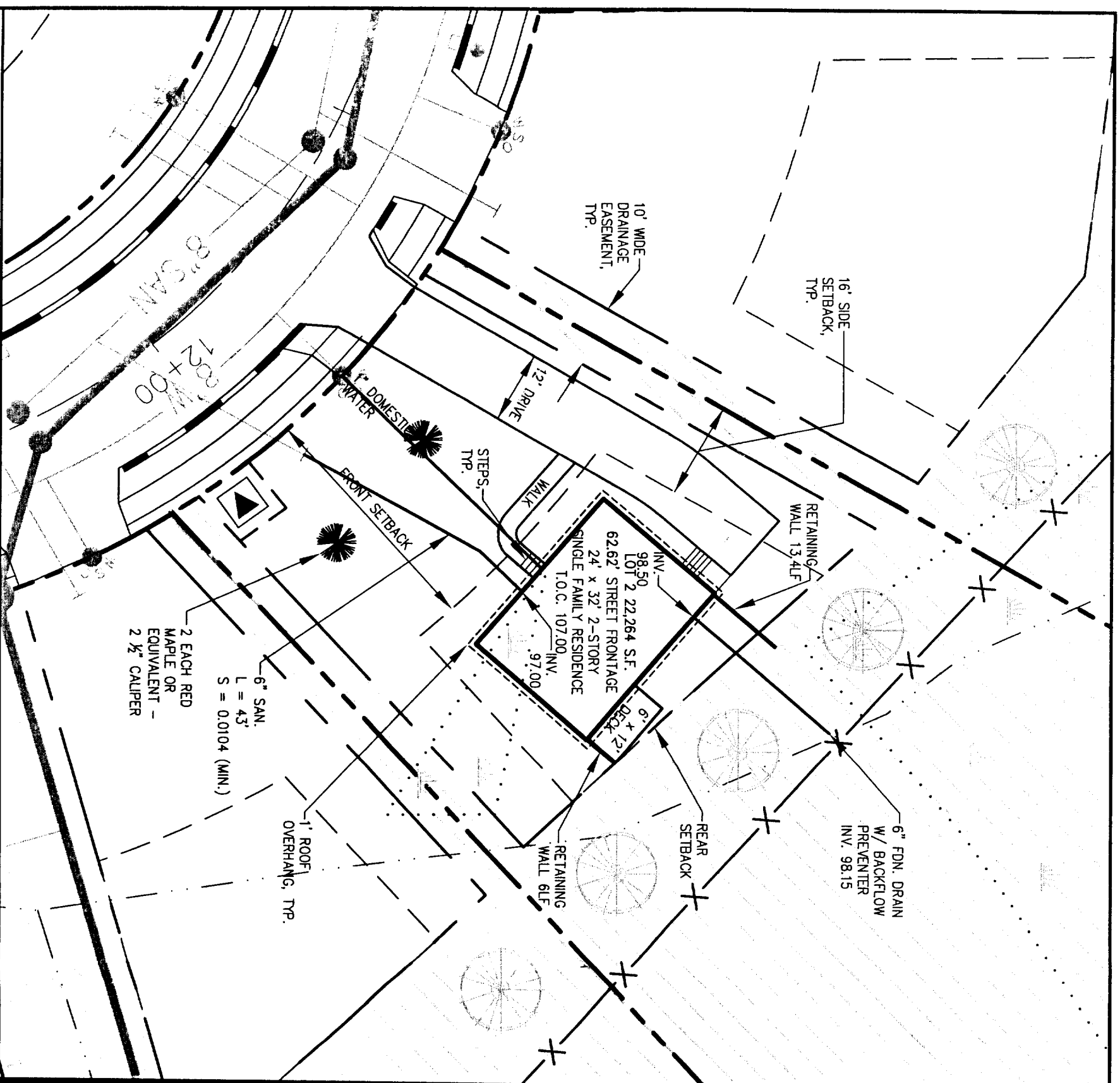
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 SOUTH PORTLAND, ME 04106  
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DRAWN:	CDD	DATE:	MAR. 2005
DESIGNED:	DDA	SCALE:	1" = 20'
CHECKED:	DSN	JOB NO.:	888
FILE NAME:	2568-SP		

**RUBY ONE**  
 PORTLAND MAINE

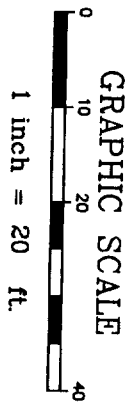
**LOT 2 GRADING & EROSION  
 CONTROL PLAN**

FIGURE  
**2-B**



**ZONING REGULATIONS**

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8 FEET (FOR 1 1/2 STORY DWELLING)



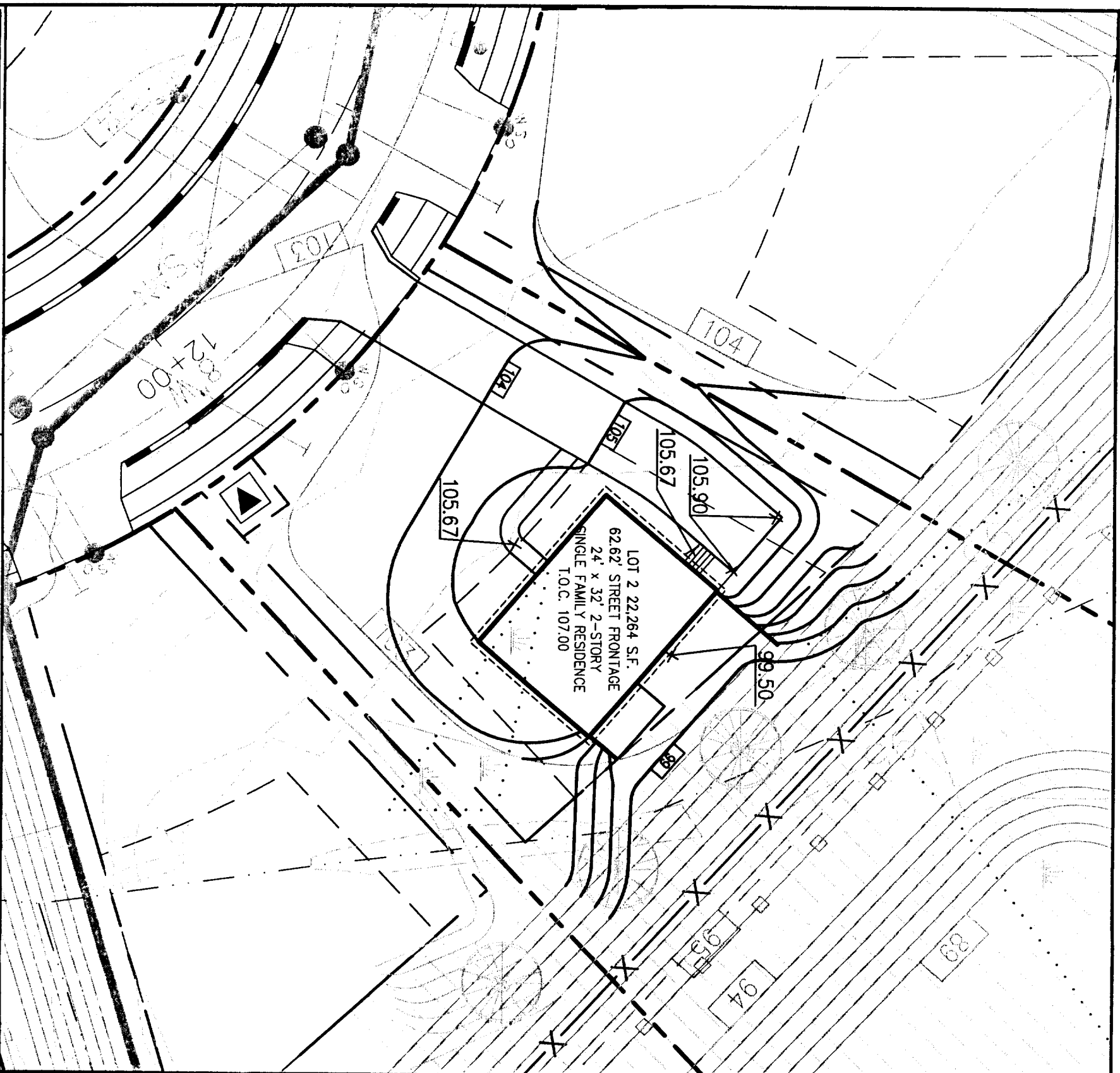
**DH**  
**Deluca-Hoffman Associates, Inc.**  
 778 MAIN STREET, SUITE 8  
 SOUTH PORTLAND, ME 04106  
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**RUBY LANE**  
**PORTLAND, MAINE**

**LOT 2 LAYOUT & UTILITIES**

FIGURE  
**2-A**



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**RUBY LANE**  
**PORTLAND MAINE**

**LOT 2 GRADING & EROSION**  
**CONTROL PLAN**

**ZONING REGULATIONS**

ZONE: R-3

MINIMUM LOT SIZE: 6,500 S.F.

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 8 FEET (FOR 1½ STORY DWELLING)

**GRAPHIC SCALE**

0 10 20 40  
 1 inch = 20 ft.

**NORTH**

FIGURE **2-B**