

CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM

DRC Copy

2005-0057  
Application I. D. Number

Oak Ridge Development Inc  
Applicant

Jay Reynolds

3/21/2005  
Application Date OAK Ridge

Po Box 10127, Portland, ME 04104  
Applicant's Mailing Address

Ruby Lane Lot#1  
Project Name/Description

Dwight Brackett  
Consultant/Agent

94 - 94 Allen Ave, Portland, Maine  
Address of Proposed Site

Agent Ph: (207)772-8629 Agent Fax:  
Applicant or Agent Daytime Telephone, Fax

341 H004001  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

26'x32' 21172 sq ft  
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- Site Plan (major/minor)
- Subdivision # of lots \_\_\_\_\_
- PAD Review
- 14-403 Streets Review
- Flood Hazard
- Shoreland
- Historic Preservation
- DEP Local Certification
- Zoning Conditional Use (ZBA/PB)
- Zoning Variance
- Other \_\_\_\_\_

Fees Paid: Site Pla \$50.00 Subdivision \_\_\_\_\_ Engineer Review \$250.00 Date 3/22/2005

DRC Approval Status:

Reviewer Jay Reynolds

- Approved
- Approved w/Conditions See Attached
- Denied

Approval Date 9-22-05 Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets Attached  
 Condition Compliance Jay Reynolds signature 9-22-05 date

Performance Guarantee  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

- Performance Guarantee Accepted \_\_\_\_\_ date \_\_\_\_\_ amount \_\_\_\_\_ expiration date
- Inspection Fee Paid \_\_\_\_\_ date \_\_\_\_\_ amount \_\_\_\_\_
- Building Permit Issue \_\_\_\_\_ date \_\_\_\_\_
- Performance Guarantee Reduced \_\_\_\_\_ date \_\_\_\_\_ remaining balance \_\_\_\_\_ signature \_\_\_\_\_
- Temporary Certificate of Occupancy \_\_\_\_\_ date  Conditions (See Attached) \_\_\_\_\_ expiration date
- Final Inspection \_\_\_\_\_ date \_\_\_\_\_ signature \_\_\_\_\_
- Certificate Of Occupancy \_\_\_\_\_ date \_\_\_\_\_
- Performance Guarantee Released \_\_\_\_\_ date \_\_\_\_\_ signature \_\_\_\_\_
- Guarantee Submitted \_\_\_\_\_ submitted date \_\_\_\_\_ amount \_\_\_\_\_ expiration date
- Guarantee Released \_\_\_\_\_ date \_\_\_\_\_ signature \_\_\_\_\_

Daylight No Good... Top of Conc. / Not Road / Flooding  
Retainer wall is essential to  
Deck @ essential to  
Oak Ridge Development Inc

CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
DRC Copy  
Jay Reynolds  
2005-0056  
Application I. D. Number  
3/21/2005  
Application Date  
Ruby Lane lot#2  
Project Name/Description

Po Box 10127, Portland, ME 04104  
Applicant's Mailing Address  
Dwight Brackett  
Consultant/Agent  
Agent Ph: (207)772-8629 Agent Fax:  
Applicant or Agent Daytime Telephone, Fax  
94 - 94 Allen Ave, Portland, Maine  
Address of Proposed Site  
341 H004001  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_  
24'x32' 22264 sq ft  
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:  
 Site Plan (major/minor)  Subdivision # of lots \_\_\_\_\_  PAD Review  14-403 Streets Review  
 Flood Hazard  Shoreland  Historic Preservation  DEP Local Certification  
 Zoning Conditional Use (ZBA/PB)  Zoning Variance  Other \_\_\_\_\_  
Fees Paid: Site Pla \$50.00 Subdivision \_\_\_\_\_ Engineer Review \$250.00 Date 3/21/2005

DRC Approval Status: Reviewer Jay Reynolds  
 Approved  Approved w/Conditions See Attached  Denied  
Approval Date 9-22-05 Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets Attached  
 Condition Compliance signature Jay Reynolds date 9-22-05

Performance Guarantee  Required\*  Not Required  
\* No building permit may be issued until a performance guarantee has been submitted as indicated below  
 Performance Guarantee Accepted \_\_\_\_\_ date \_\_\_\_\_ amount \_\_\_\_\_ expiration date  
 Inspection Fee Paid \_\_\_\_\_ date \_\_\_\_\_ amount \_\_\_\_\_  
 Building Permit Issue \_\_\_\_\_ date \_\_\_\_\_  
 Performance Guarantee Reduced \_\_\_\_\_ date \_\_\_\_\_ remaining balance \_\_\_\_\_ signature \_\_\_\_\_  
 Temporary Certificate of Occupancy \_\_\_\_\_ date  Conditions (See Attached) \_\_\_\_\_ expiration date  
 Final Inspection \_\_\_\_\_ date \_\_\_\_\_ signature \_\_\_\_\_  
 Certificate Of Occupancy \_\_\_\_\_ date \_\_\_\_\_  
 Performance Guarantee Released \_\_\_\_\_ date \_\_\_\_\_ signature \_\_\_\_\_  
 Defect Guarantee Submitted \_\_\_\_\_ submitted date \_\_\_\_\_ amount \_\_\_\_\_ expiration date  
 Defect Guarantee Released \_\_\_\_\_ date \_\_\_\_\_ signature \_\_\_\_\_



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov*

Lee Urban- Director of Planning and Development  
Marge Schmuckal, Zoning Administrator

June 22, 2006

Faustino Donatelli  
48 Ruby Lane  
Portland, Maine 04103

RE: 48 Ruby Lane (lot #11) – 342-B-029 – R-3 Zone

Dear Faustino,

It has recently come to our attention that you are constructing a deck on the rear of your home at 48 Ruby Lane. Our records show that you have no permit for the construction of this deck. The original house permit (#05-1433) did not show any rear deck on the approved site plan nor on the approved building plans. You must stop work immediately.

It will be necessary to apply for a permit to construct a deck immediately. If this office does not have an application within ten (10) days of the date of this letter, this matter will be turned over to our Corporation Counsel for legal action.

I have enclosed a permit application with this letter. As outlined in the application, we will basically need a scaled plot plan showing the deck and setbacks to property lines. We will also need building plans.

It is also noticed that you do not have a permanent certificate of occupancy for your dwelling. The temporary certificate of occupancy expired on June 1, 2006. You must contact the Code Enforcement Officer for a final inspection.

If you have any questions, please do not hesitate to contact this office.

Very truly yours,

Marge Schmuckal  
Zoning Administrator

Cc:  Mike Nugent, Inspection Services  
 Jay Reynolds, Planning  
File



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION 48 RUBY LN Lot # 11

CBL 342 B029001

Issued to CUSTOM BUILT HOMES OF MAINE, INC./CBHM Inc Date of Issue 03/09/2006

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 05-1433, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

Single Family Residence, Use group R-3, Type 5b,  
IRC 2003

Limiting Conditions:

Temporary Certificate expires June 01, 2006. Site work incomplete and final grading, paving, loaming, seeding and landscaping should be completed before Final Certificate will be issued.

This certificate supersedes  
certificate issued

Approved:

3/9/06 *Thomas M. Mackley*  
(Date) Inspector

*Chris King* 3/9/06  
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



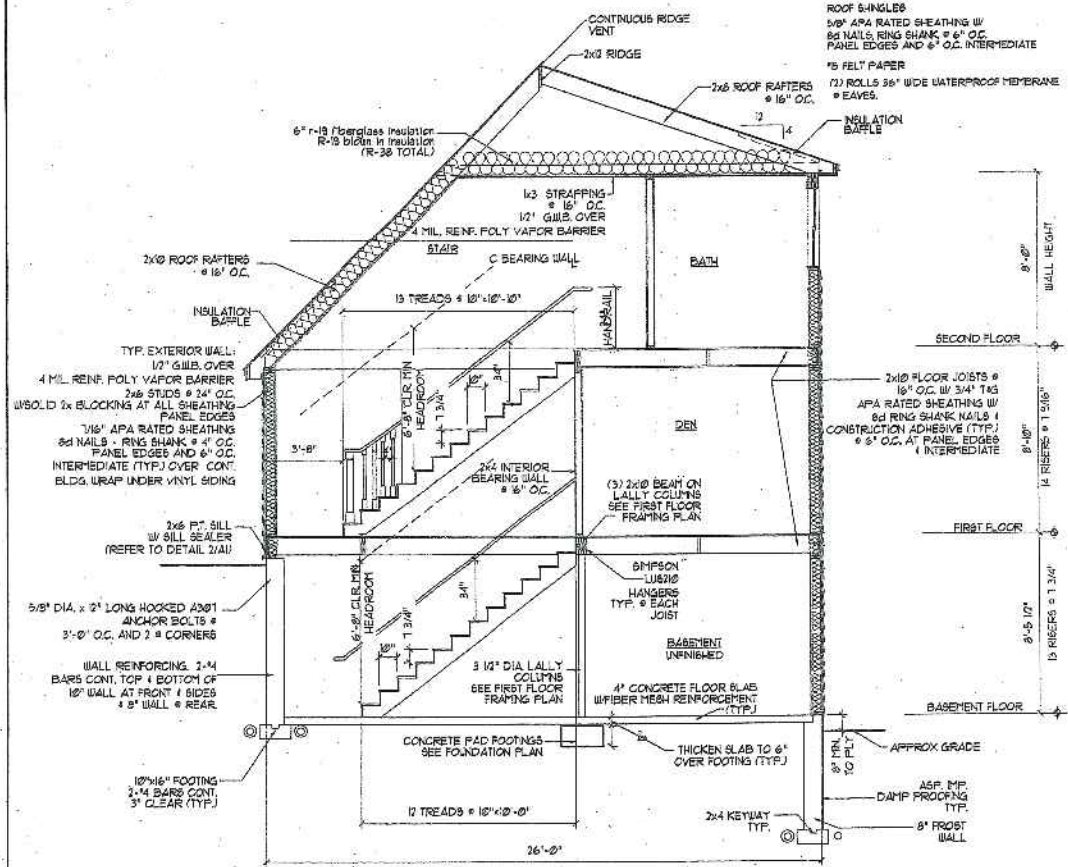
2-1-20 4 2 10

**TYPICAL ROOF CONSTRUCTION**

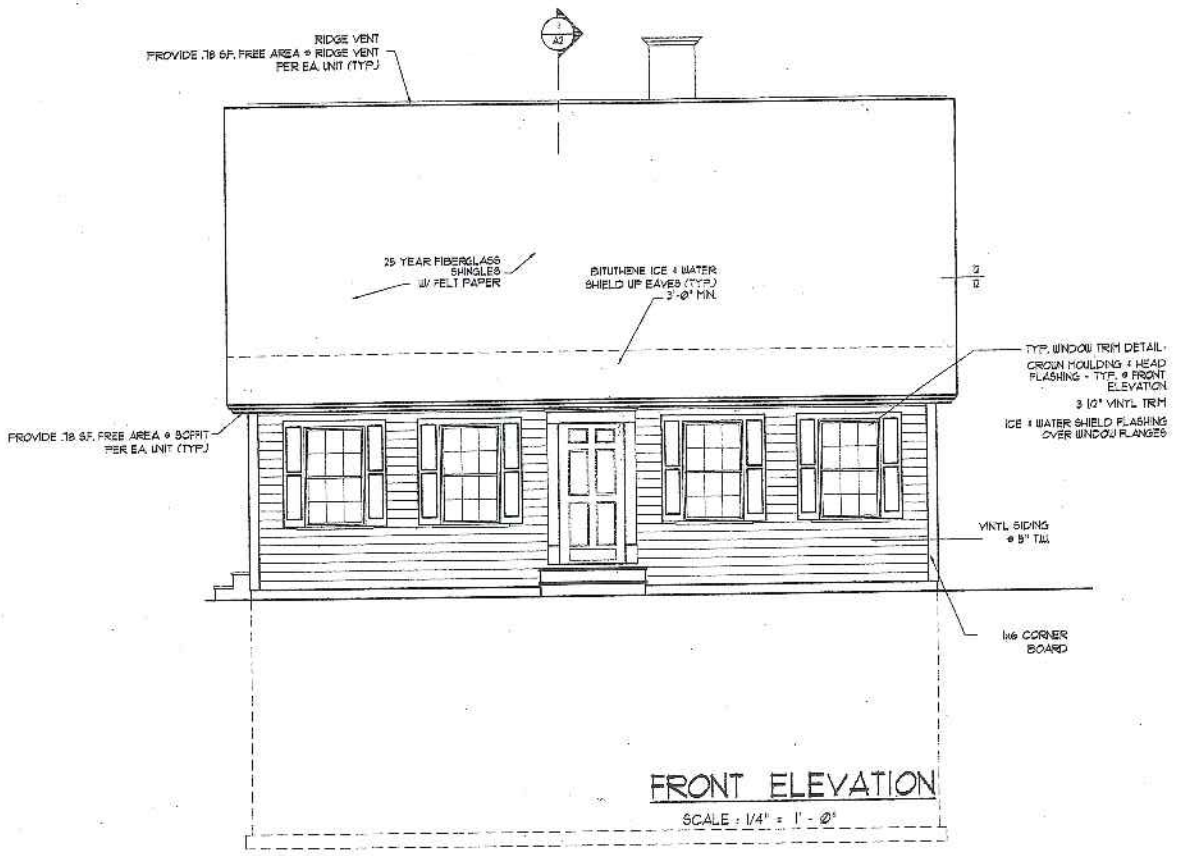
RIDGE VENT  
 PRE-MANUFACTURED ROOF TRUSSES @ 24" O.C.  
 ROOF SINGLES  
 5/8" APA RATED SHEATHING W/ 6d NAILS, RING SHANK @ 6" O.C. PANEL EDGES AND 8" O.C. INTERMEDIATE  
 15 FELT PAPER  
 (2) ROLLS 36" WIDE WATERPROOF MEMBRANE @ EAVES  
 INSULATION BAFFLE

ROUGH OPENING	HEADER SIZE
0' - 3' - 0"	(3) - 2x6
3' - 1" - 4' - 6"	(3) - 2x8
4' - 1" - 5' - 8"	(3) - 2x10
5' - 8" - 7' - 0"	(3) - 2x12

NOTE: PROVIDE JACKS BOTH ENDS AS FOLLOWS:  
 2x6 JACK PLUS 2x6 KING UP TO 4'-8" ROUGH OPENING  
 (2) 2x6 JACKS PLUS (2) 2x6 KINGS UP TO 7'-0" ROUGH OPENING



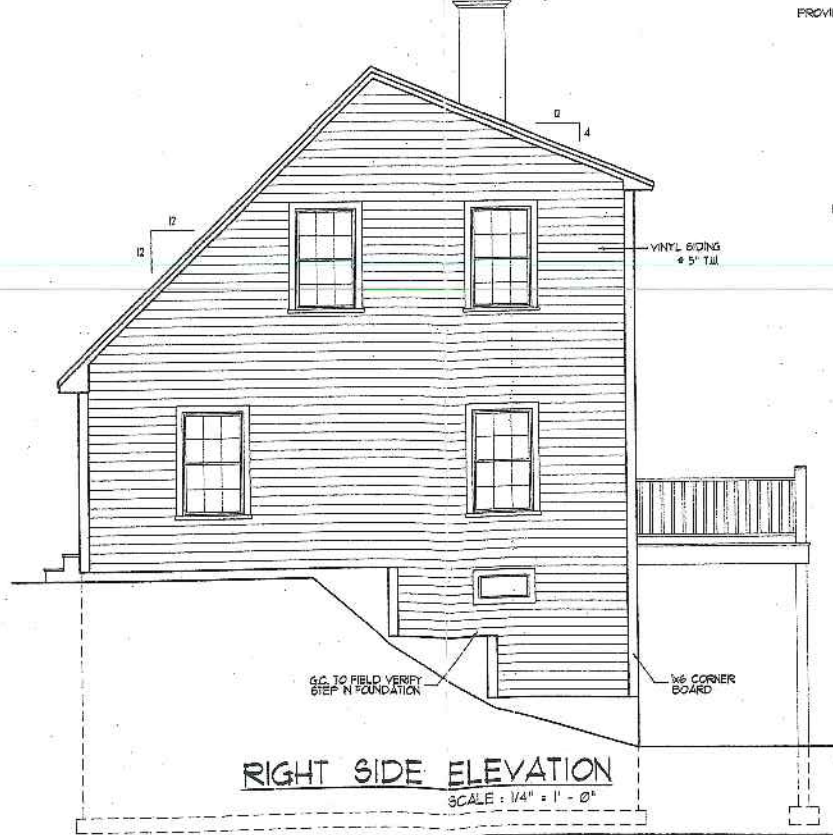
**SECTION THRU HOUSE**  
 SCALE: 1/4" = 1' - 0"



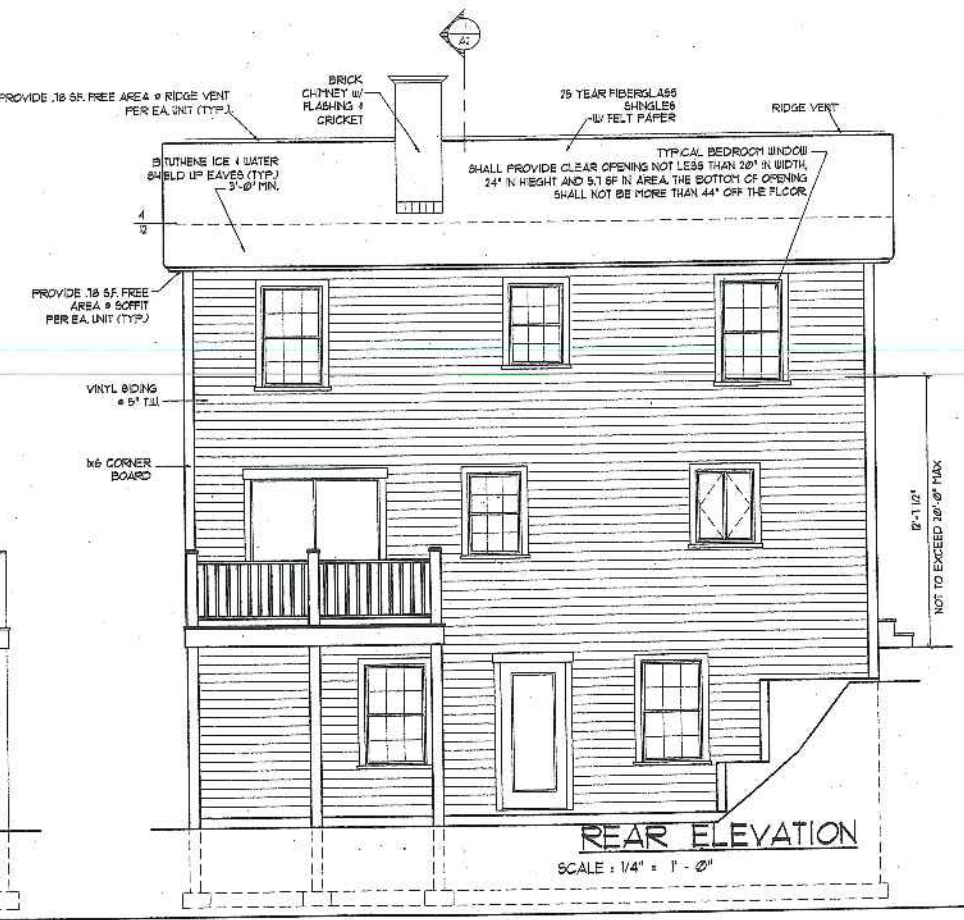
**FRONT ELEVATION**  
 SCALE: 1/4" = 1' - 0"



**LEFT SIDE ELEVATION**  
 SCALE: 1/4" = 1' - 0"



**RIGHT SIDE ELEVATION**  
 SCALE: 1/4" = 1' - 0"



**REAR ELEVATION**  
 SCALE: 1/4" = 1' - 0"

26 x 32 CAPE 5-03-00

DRAWINGS THIS SHEET  
 ELEVATIONS / SECTION  
 DATE  
 05/08/05

A2

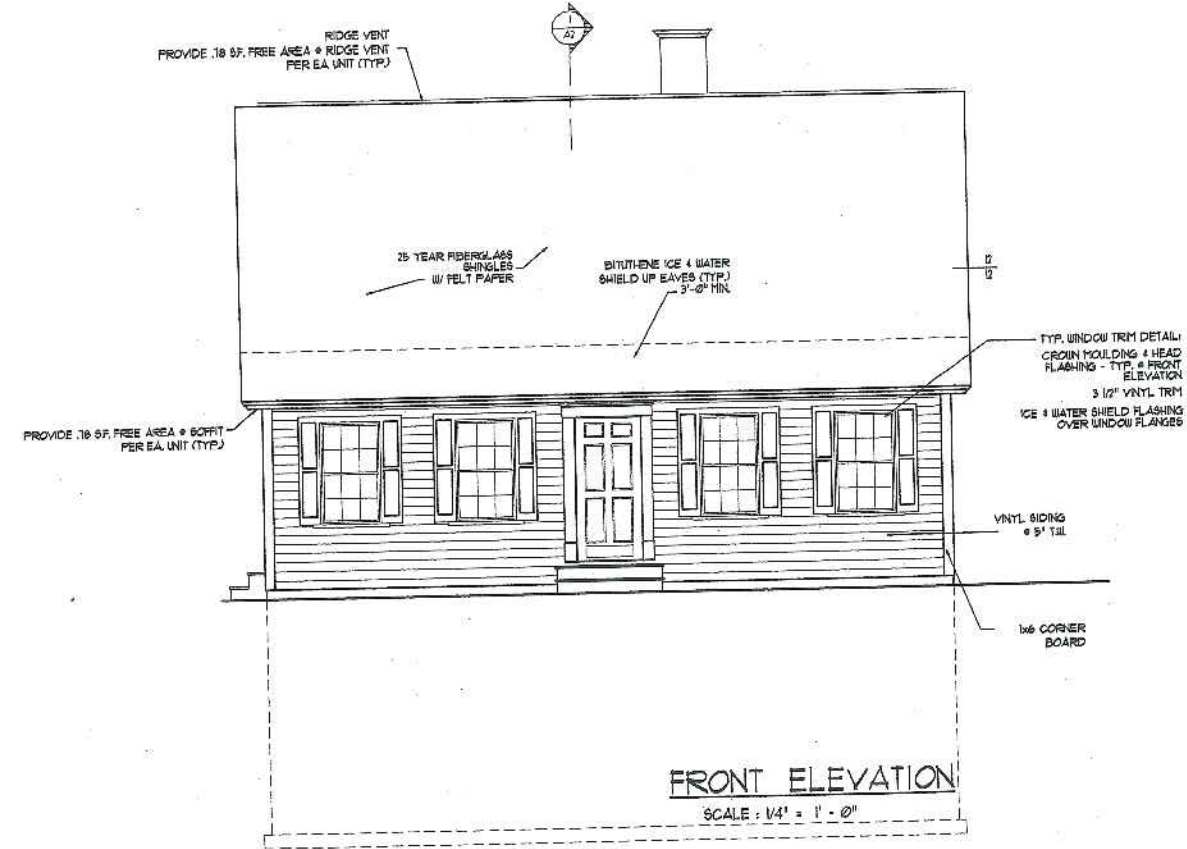
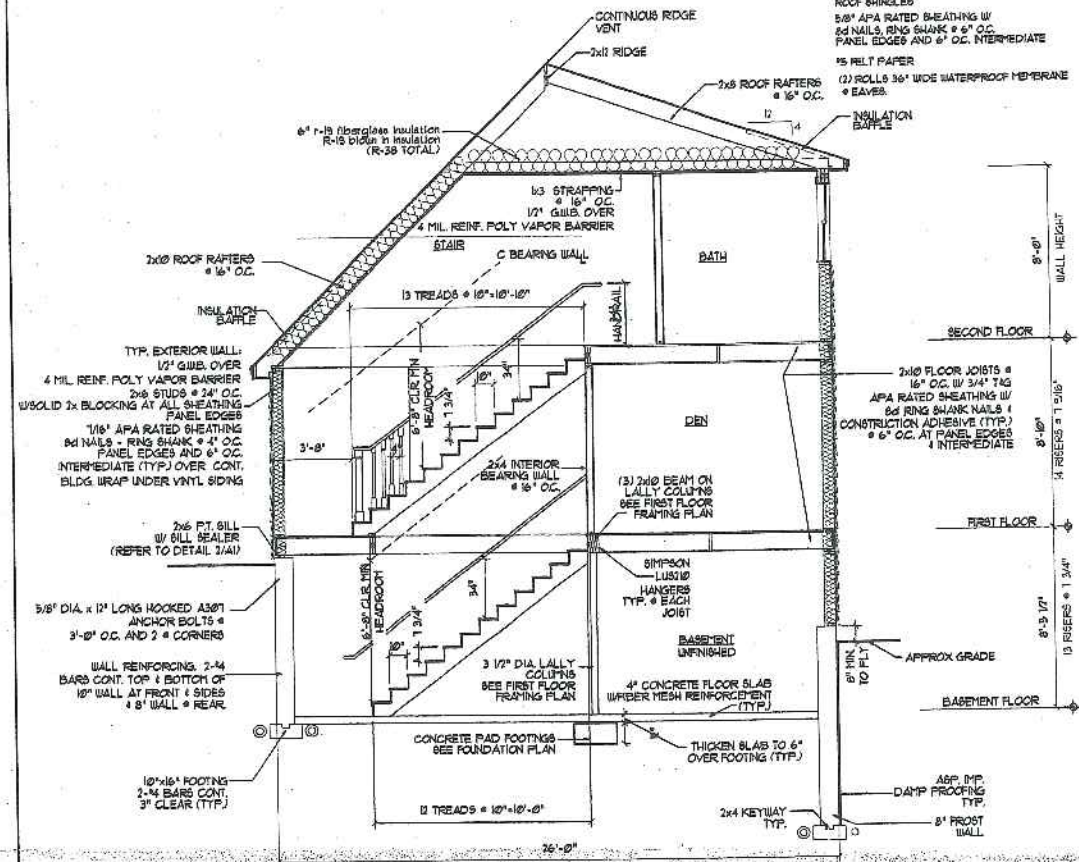
Lot #1 Ruby Lane

TYPICAL ROOF CONSTRUCTION

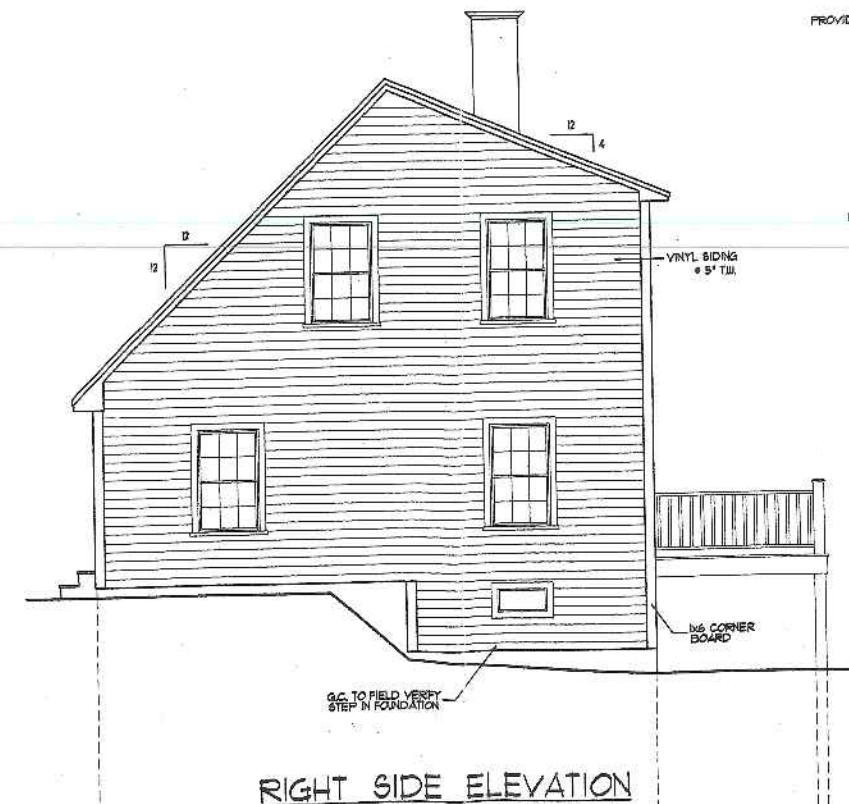
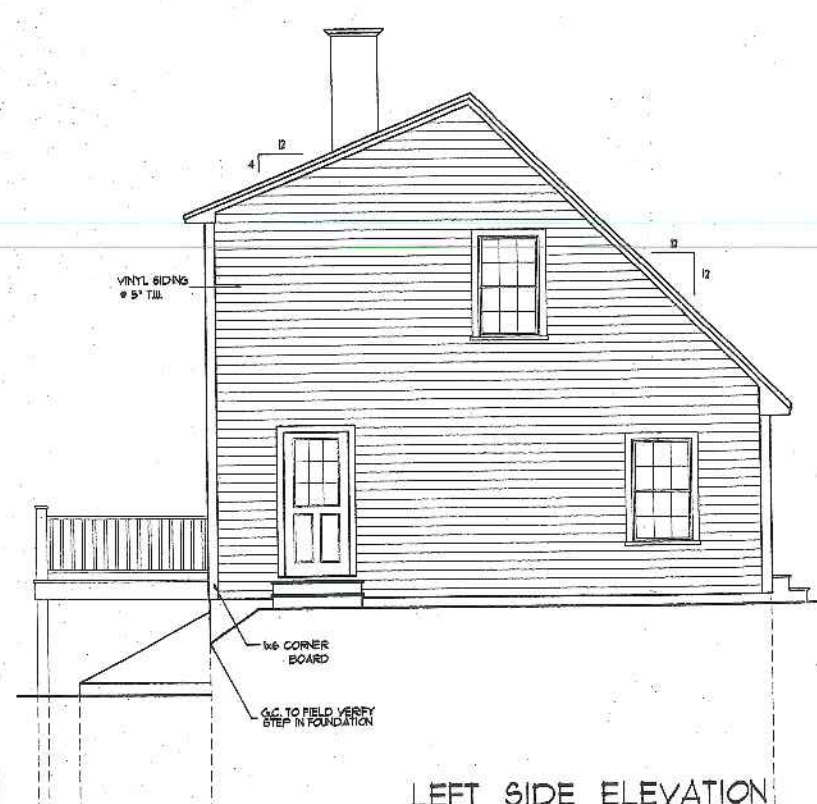
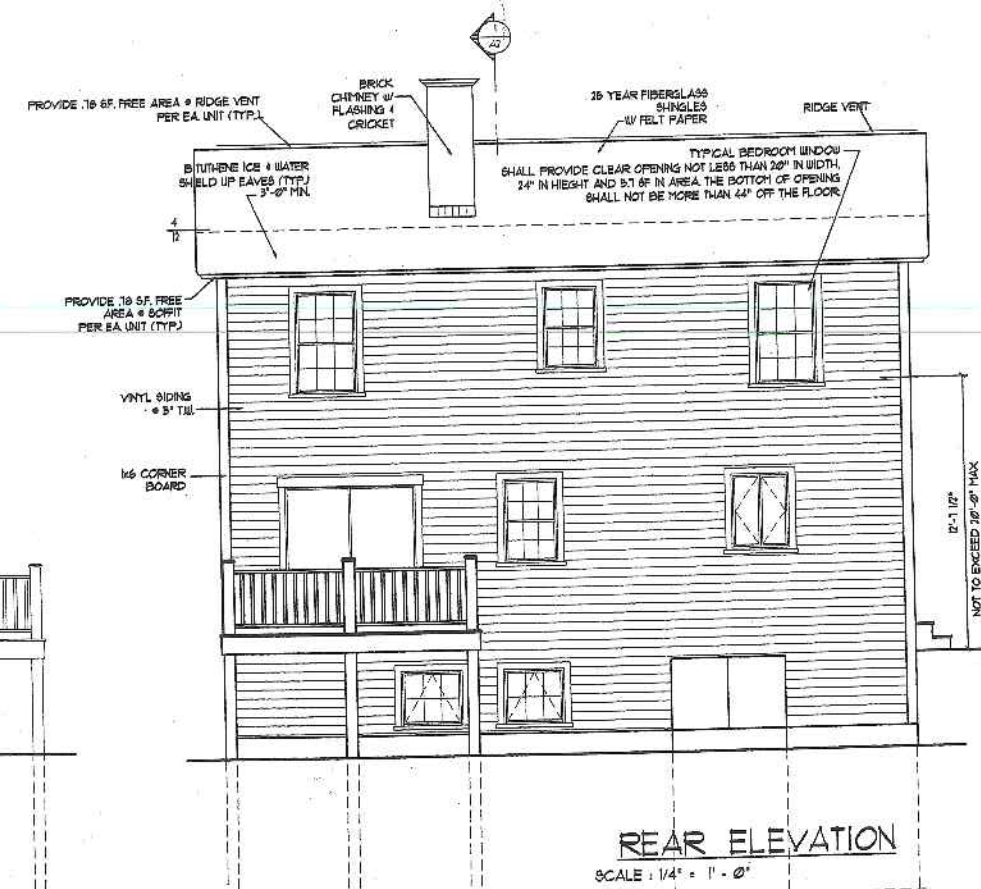
RIDGE VENT  
 PRE-MANUFACTURED ROOF TRUSSES @ 24" O.C.  
 ROOF SHINGLES  
 5/8" APA RATED SHEATHING W/ 2d NAILS, RING SHANK @ 6" O.C. PANEL EDGES AND 6" O.C. INTERMEDIATE  
 15 FELT PAPER  
 (1) ROLLS 36" WIDE WATERPROOF MEMBRANE @ EAVES

ROUGH OPENING	HEADER SIZE
0' - 3' - 0"	(3) - 2x6
3' - 1" - 4' - 6"	(3) - 2x8
4' - 1" - 5' - 0"	(3) - 2x10
5' - 0" - 7' - 0"	(3) - 2x12

NOTES: PROVIDE JAMBS BOTH ENDS AS FOLLOWS:  
 2x6 JACK PLUS 2x6 KING UP TO 4'-6" ROUGH OPENING  
 (2) 2x6 JACKS PLUS (2) 2x6 KINGS UP TO 7'-0" ROUGH OPENING



SECTION THRU HOUSE  
 SCALE: 1/4" = 1' - 0"



LEFT SIDE ELEVATION  
 SCALE: 1/4" = 1' - 0"

RIGHT SIDE ELEVATION  
 SCALE: 1/4" = 1' - 0"

REAR ELEVATION  
 SCALE: 1/4" = 1' - 0"

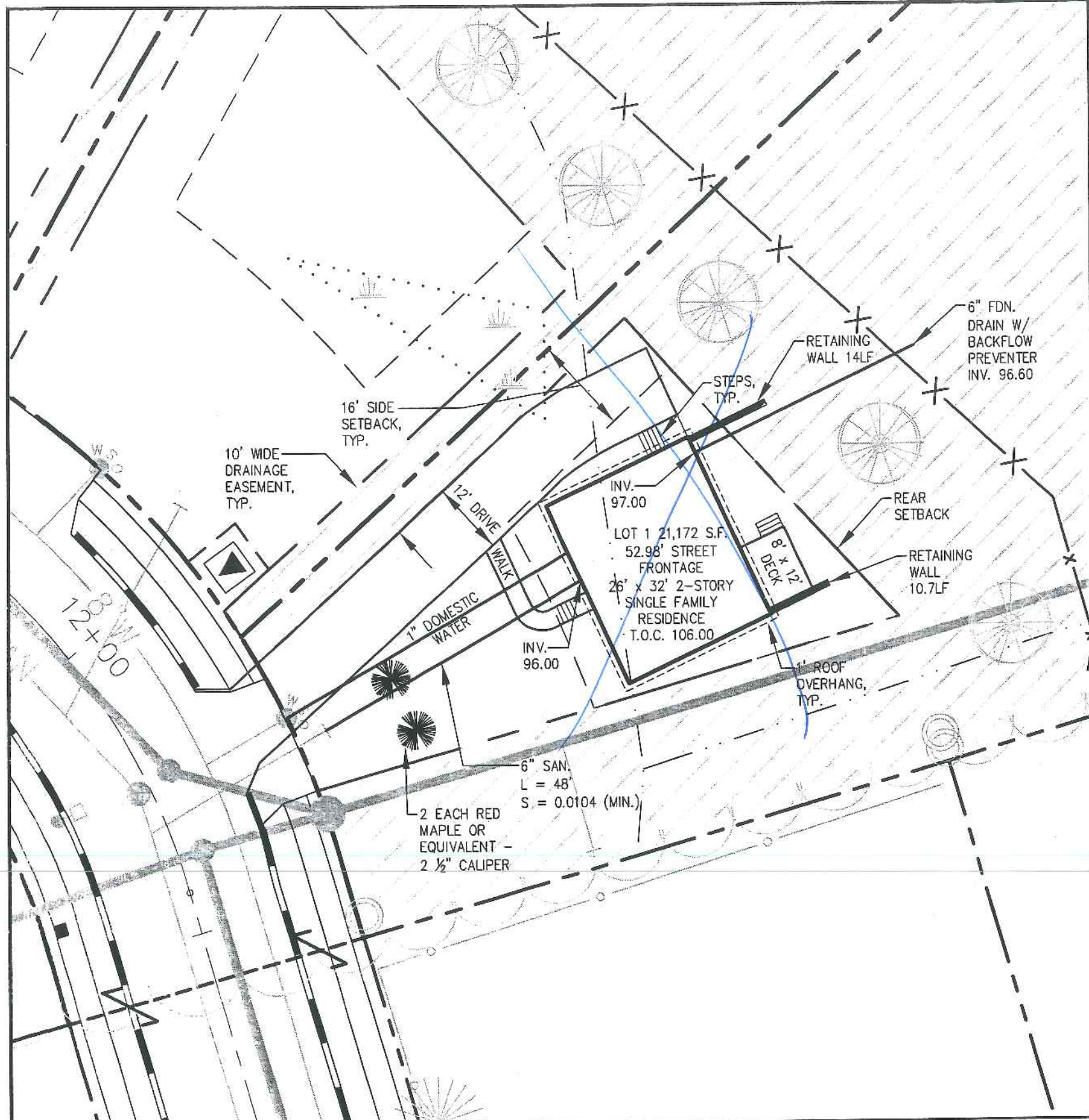
DRAWINGS THIS SHEET

ELEVATIONS / SECTION

DATE  
04/20/05

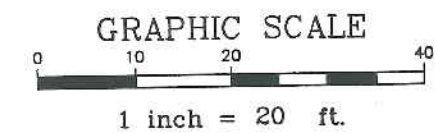
A2

26 x 32 CAPE



### ZONING REGULATIONS

ZONE:	R-3
MINIMUM LOT SIZE:	6,500 S.F.
MINIMUM LOT WIDTH:	75 FEET
MINIMUM STREET FRONTAGE:	50 FEET
MINIMUM FRONT YARD SETBACK:	25 FEET OR AT MIN. 75' LOT WIDTH
MINIMUM REAR YARD SETBACK:	25 FEET
MINIMUM SIDE YARD SETBACK:	16 FEET (FOR 2½ STORY DWELLING) 8 FEET (FOR 1½ STORY DWELLING)



**DH**  
 DeLuca-Hoffman Associates, Inc.  
 778 MAIN STREET, SUITE 8  
 SOUTH PORTLAND, ME 04106  
 207.775.1121  
 WWW.DELUCAHOFFMAN.COM

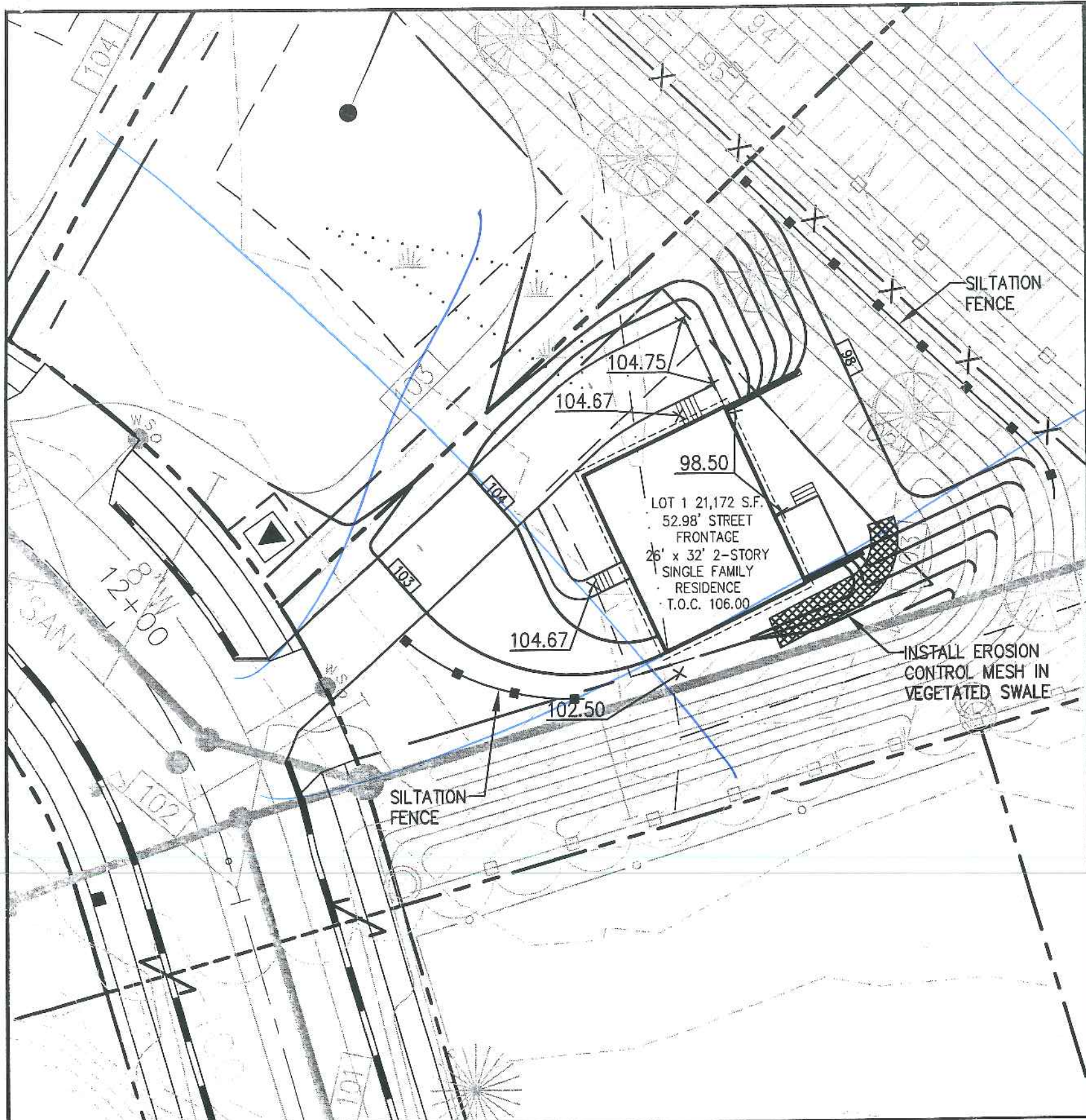
DRAWN:	CDD	DATE:	MAR. 2005
DESIGNED:	DDA	SCALE:	1" = 20'
CHECKED:	DDA	JOB NO.	2568
FILE NAME:	2568-SP		

RUBY LANE  
 PORTLAND, MAINE

LOT 1 LAYOUT & UTILITIES PLAN

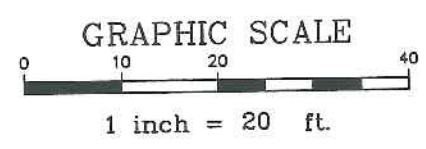
FIGURE  
 1-A





**ZONING REGULATIONS**

ZONE:	R-3
MINIMUM LOT SIZE:	6,500 S.F.
MINIMUM LOT WIDTH:	75 FEET
MINIMUM STREET FRONTAGE:	50 FEET
MINIMUM FRONT YARD SETBACK:	25 FEET OR AT MIN. 75' LOT WIDTH
MINIMUM REAR YARD SETBACK:	25 FEET
MINIMUM SIDE YARD SETBACK:	16 FEET (FOR 2½ STORY DWELLING) 8 FEET (FOR 1½ STORY DWELLING)



**DH**  
 DeLuca-Hoffman Associates, Inc.  
 778 MAIN STREET, SUITE 8  
 SOUTH PORTLAND, ME 04106  
 207.775.1121  
 WWW.DELUCAHOFFMAN.COM

DRAWN:	CDD	DATE:	MAR. 2005
DESIGNED:	DDA	SCALE:	1" = 20'
CHECKED:	DDA	JOB NO.	2568
FILE NAME:	2568-SP		

**RUBY LANE  
 PORTLAND, MAINE**

**LOT 1 GRADING & EROSION  
 CONTROL PLAN**

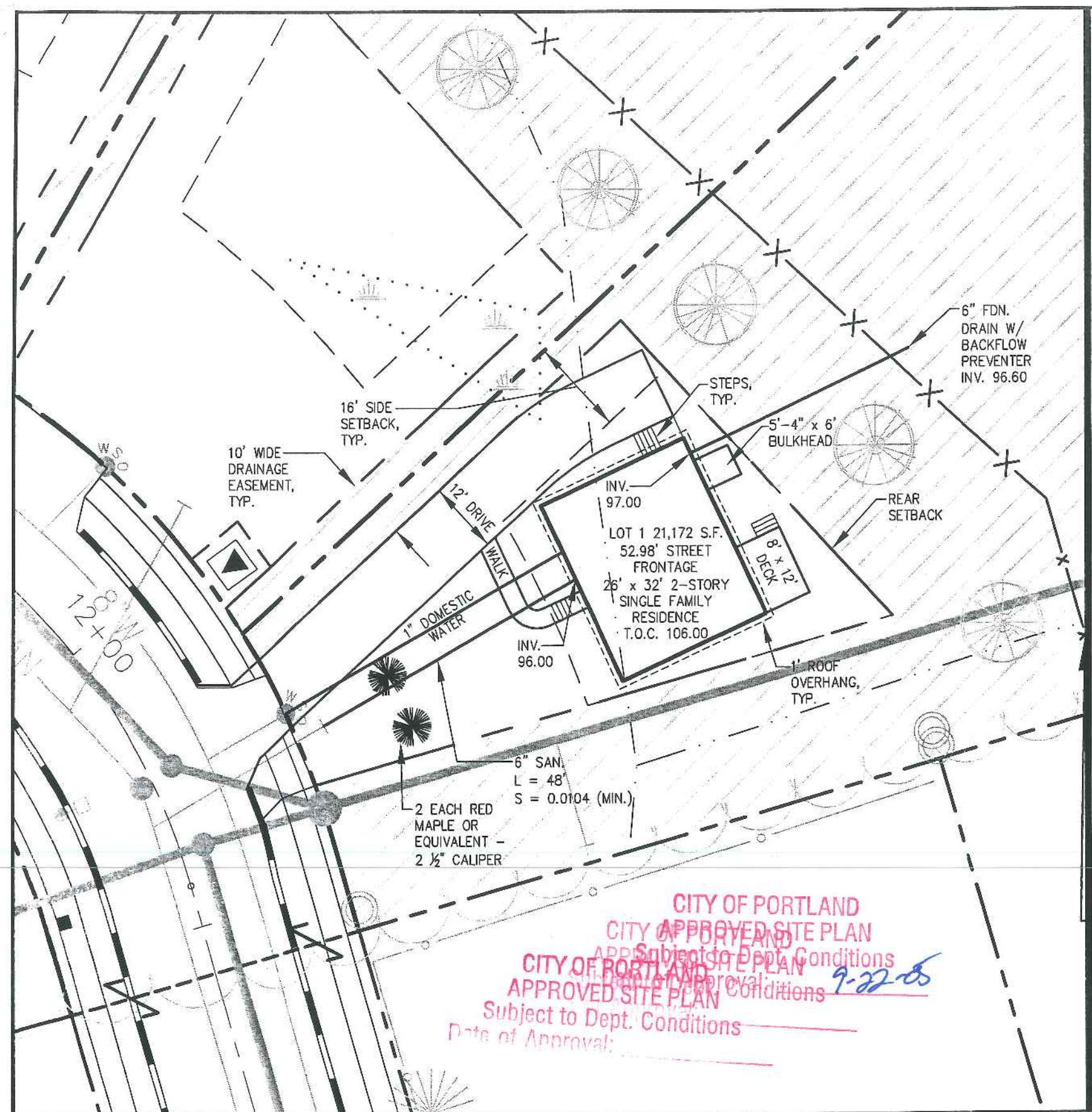
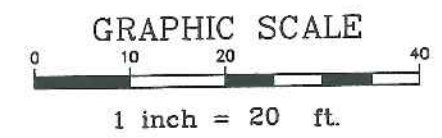
FIGURE  
**1-B**



CITY OF PORTLAND  
 APPROVED SITE PLAN  
 Subject to Dept. Conditions  
 Date of Approval: 9-22-05

**ZONING REGULATIONS**

ZONE:	R-3
MINIMUM LOT SIZE:	6,500 S.F.
MINIMUM LOT WIDTH:	75 FEET
MINIMUM STREET FRONTAGE:	50 FEET
MINIMUM FRONT YARD SETBACK:	25 FEET OR AT MIN. 75' LOT WIDTH
MINIMUM REAR YARD SETBACK:	25 FEET
MINIMUM SIDE YARD SETBACK:	16 FEET (FOR 2½ STORY DWELLING) 8 FEET (FOR 1½ STORY DWELLING)



CITY OF PORTLAND  
 APPROVED SITE PLAN  
 Subject to Dept. Conditions  
 Date of Approval: 9-22-05

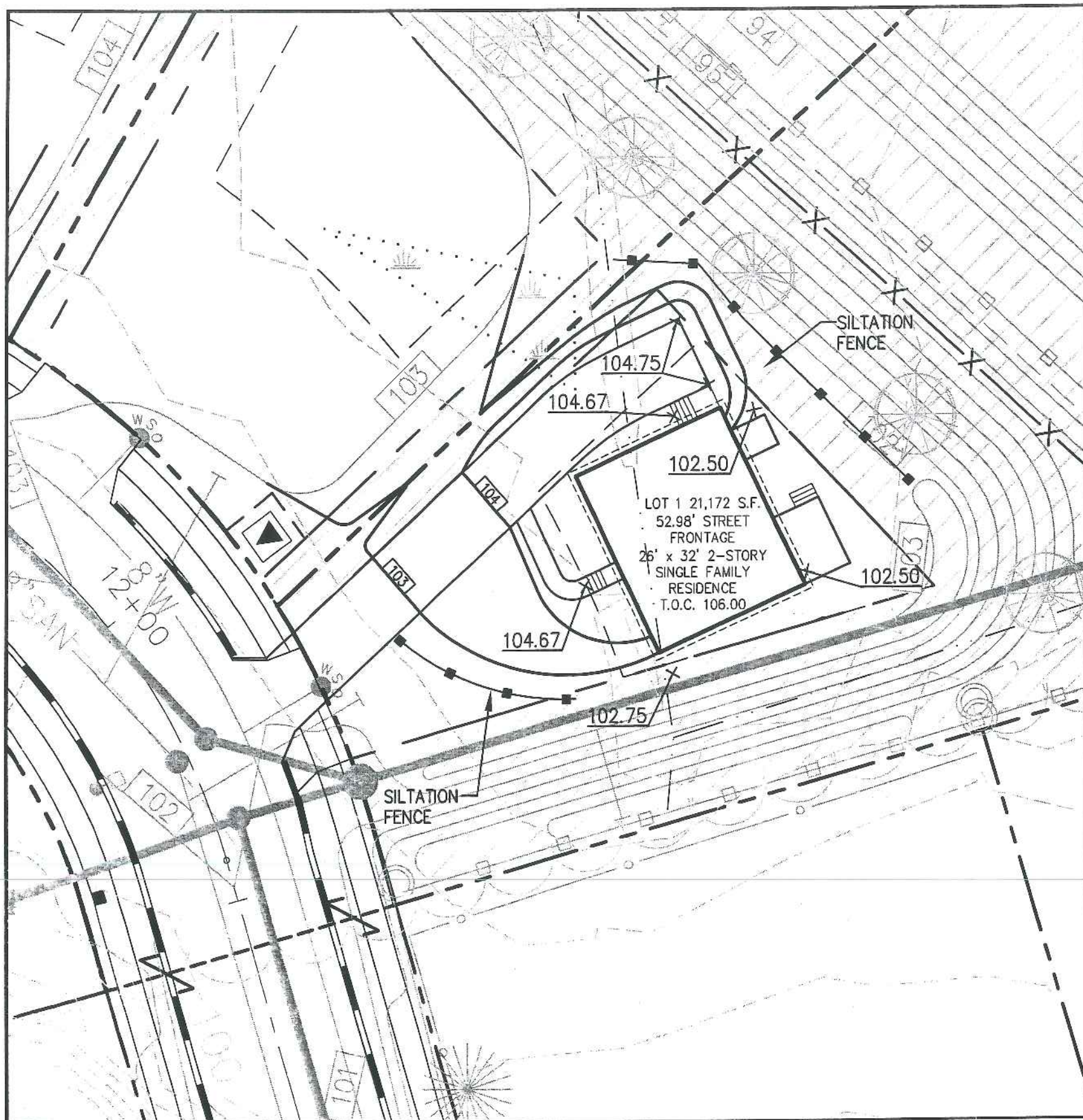
**DH**  
 DeLuca-Hoffman Associates, Inc.  
 778 MAIN STREET, SUITE 8  
 SOUTH PORTLAND, ME 04106  
 207.775.1121  
 WWW.DELUCAHOFFMAN.COM

DRAWN:	CDD	DATE:	MAR. 2005
DESIGNED:	DDA	SCALE:	1" = 20'
CHECKED:	DDA	JOB NO.:	2568
FILE NAME:	2568-SP		

RUBY LANE  
 PORTLAND, MAINE

LOT 1 LAYOUT & UTILITIES PLAN

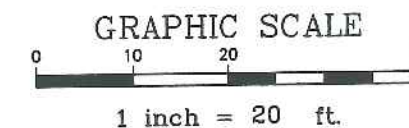
FIGURE  
 1-A



CITY OF PORTLAND  
 APPROVED SITE PLAN  
 Subject to Dept. Conditions  
 Date of Approval: 9-22-05

### ZONING REGULATIONS

ZONE:	R-3
MINIMUM LOT SIZE:	6,500 S.F.
MINIMUM LOT WIDTH:	75 FEET
MINIMUM STREET FRONTAGE:	50 FEET
MINIMUM FRONT YARD SETBACK:	25 FEET OR AT MIN. 75' LOT WIDTH
MINIMUM REAR YARD SETBACK:	25 FEET
MINIMUM SIDE YARD SETBACK:	16 FEET (FOR 2½ STORY DWELLING) 8 FEET (FOR 1½ STORY DWELLING)



**DH**  
 DeLuca-Hoffman Associates, Inc.  
 778 MAIN STREET, SUITE 8  
 SOUTH PORTLAND, ME 04106  
 207.775.1121  
 WWW.DELUCAHOFFMAN.COM

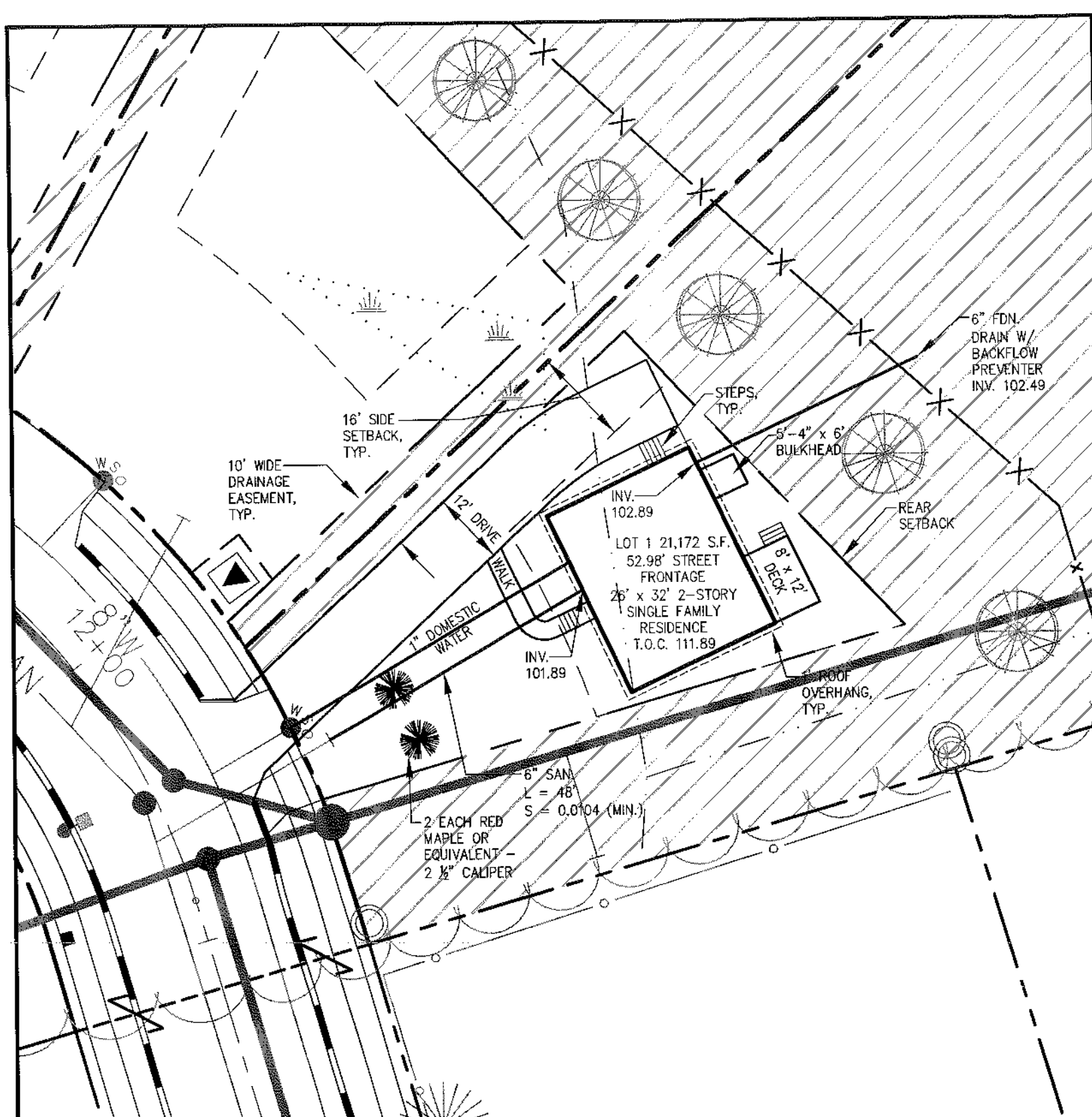
DRAWN:	CDD	DATE:	MAR. 2005
DESIGNED:	DDA	SCALE:	1" = 20'
CHECKED:	DDA	JOB NO.:	2568
FILE NAME:	2568-SP		

RUBY LANE  
 PORTLAND, MAINE

LOT 1 GRADING & EROSION  
 CONTROL PLAN

FIGURE

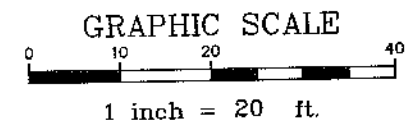
1-B



RECEIVED NOV 7 2005

**ZONING REGULATIONS**

ZONE:	R-3
MINIMUM LOT SIZE:	6,500 S.F.
MINIMUM LOT WIDTH:	75 FEET
MINIMUM STREET FRONTAGE:	50 FEET
MINIMUM FRONT YARD SETBACK:	25 FEET OR AT MIN. 75' LOT WIDTH
MINIMUM REAR YARD SETBACK:	25 FEET
MINIMUM SIDE YARD SETBACK:	16 FEET (FOR 2½ STORY DWELLING) 8 FEET (FOR 1½ STORY DWELLING)



REVISED 11.02.05

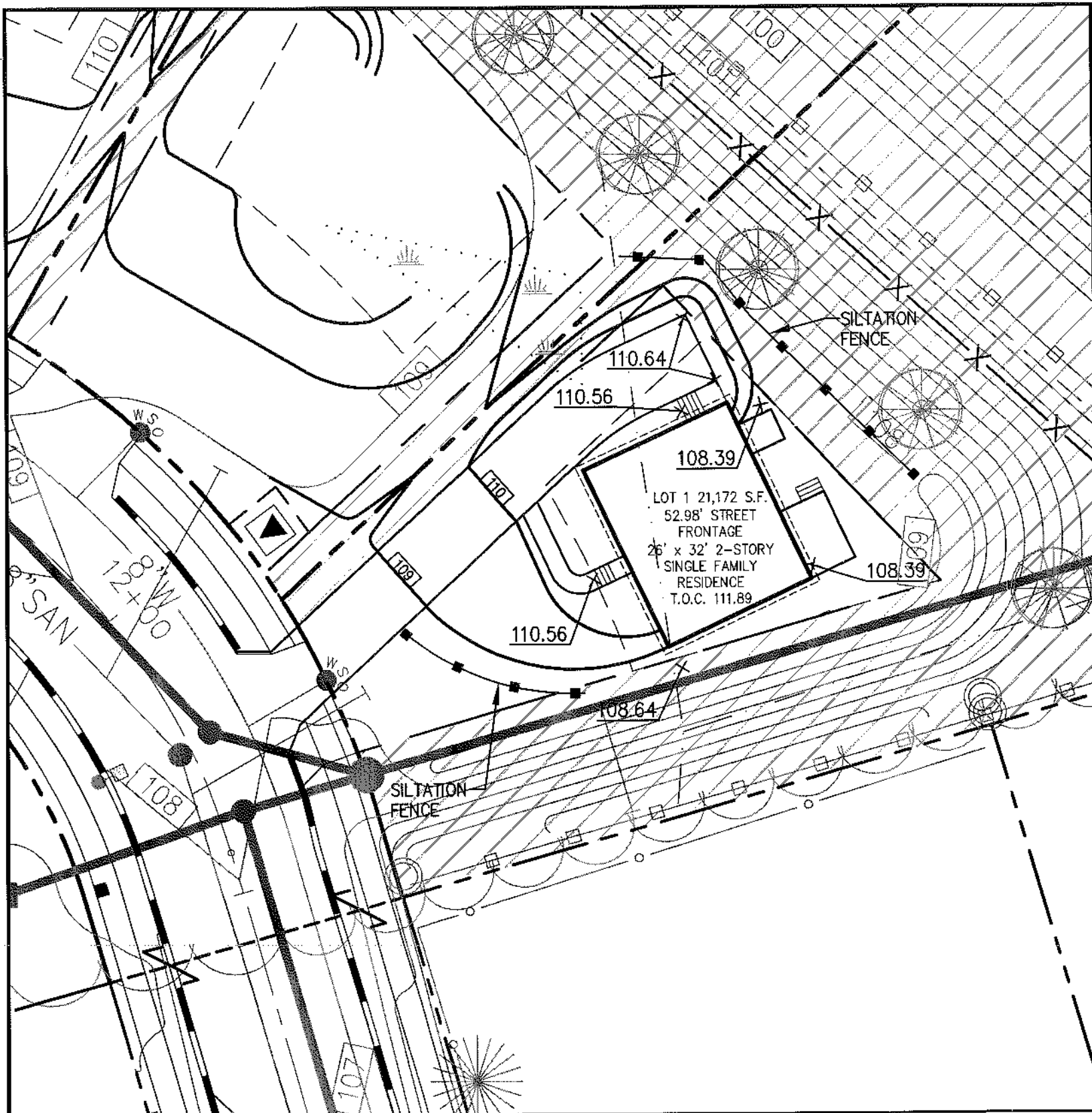
**DeLuca-Hoffman Associates, Inc.**  
 778 MAIN STREET, SUITE 8  
 SOUTH PORTLAND, ME 04106  
 207.775.1121  
 WWW.DELUCAHOFFMAN.COM

DRAWN:	CDD	DATE:	MAR. 2005
DESIGNED:	DDA	SCALE:	1" = 20'
CHECKED:	DDA	JOB NO.:	2459.02
FILE NAME:	245902-LOTS		

**RUBY LANE  
 PORTLAND, MAINE**

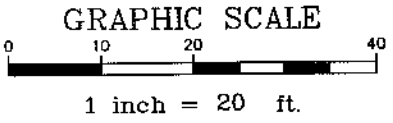
**LOT 1 LAYOUT & UTILITIES PLAN**

FIGURE  
**1-A**



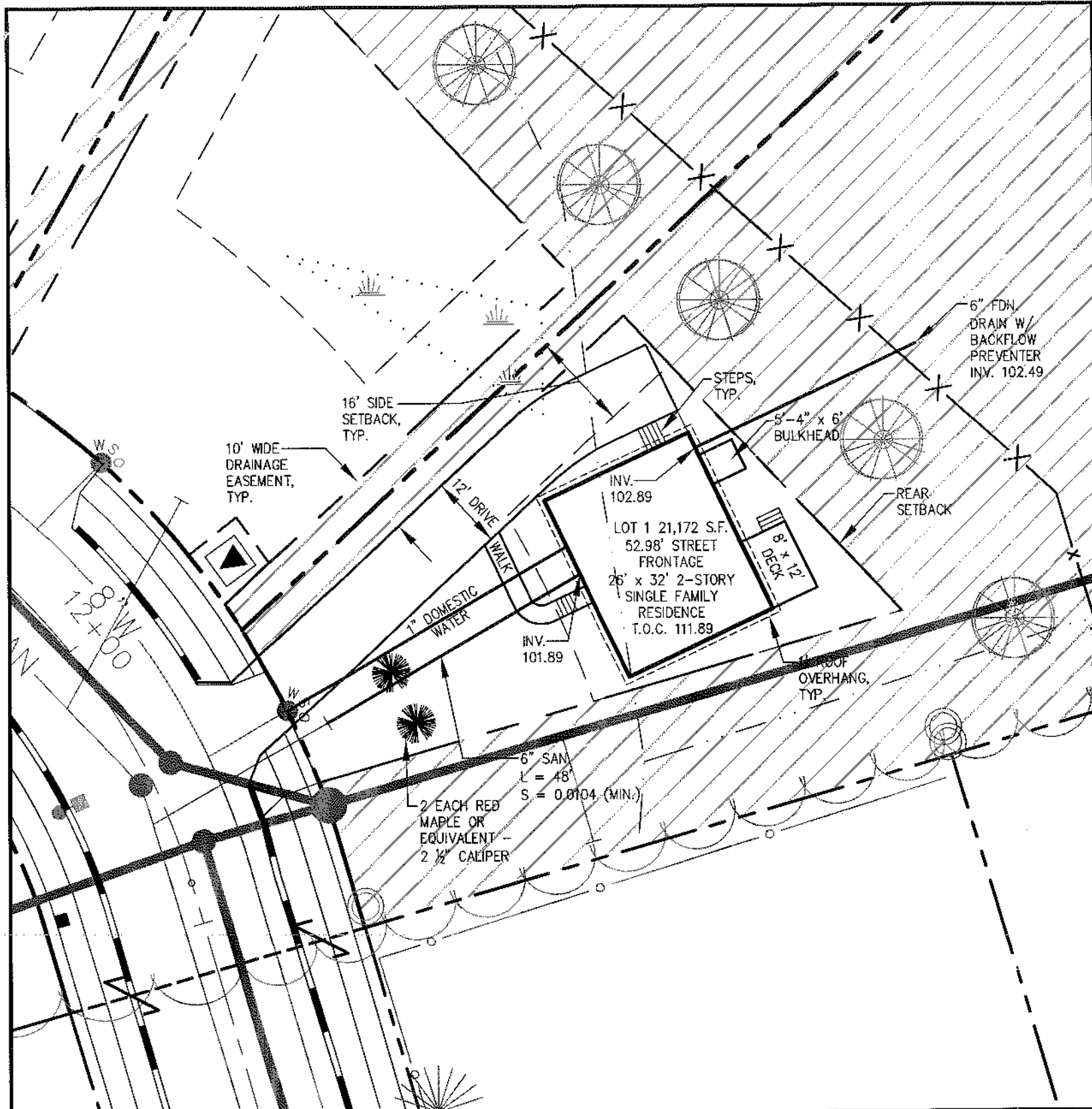
**ZONING REGULATIONS**

ZONE:	R-3
MINIMUM LOT SIZE:	6,500 S.F.
MINIMUM LOT WIDTH:	75 FEET
MINIMUM STREET FRONTAGE:	50 FEET
MINIMUM FRONT YARD SETBACK:	25 FEET OR AT MIN. 75' LOT WIDTH
MINIMUM REAR YARD SETBACK:	25 FEET
MINIMUM SIDE YARD SETBACK:	16 FEET (FOR 2½ STORY DWELLING) 8 FEET (FOR 1½ STORY DWELLING)



REVISED 11.02.05

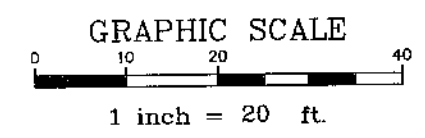
<p>DeLuca-Hoffman Associates, Inc. 778 MAIN STREET, SUITE 8 SOUTH PORTLAND, ME 04106 207.775.1121 WWW.DELUCAHOFFMAN.COM</p>	DRAWN:	CDD	DATE:	MAR. 2005	<p>RUBY LANE PORTLAND, MAINE</p>	<p>LOT 1 GRADING &amp; EROSION CONTROL PLAN</p>	<p>FIGURE 1-B</p>
	DESIGNED:	DDA	SCALE:	1" = 20'			
	CHECKED:	DDA	JOB NO.	2459.02			
	FILE NAME:	245902-LOTS					



RECEIVED NOV 17 2005

**ZONING REGULATIONS**

ZONE:	R-3
MINIMUM LOT SIZE:	6,500 S.F.
MINIMUM LOT WIDTH:	75 FEET
MINIMUM STREET FRONTAGE:	50 FEET
MINIMUM FRONT YARD SETBACK:	25 FEET OR AT MIN. 75' LOT WIDTH
MINIMUM REAR YARD SETBACK:	25 FEET
MINIMUM SIDE YARD SETBACK:	16 FEET (FOR 2½ STORY DWELLING) 8 FEET (FOR 1½ STORY DWELLING)



REVISED 11.02.05

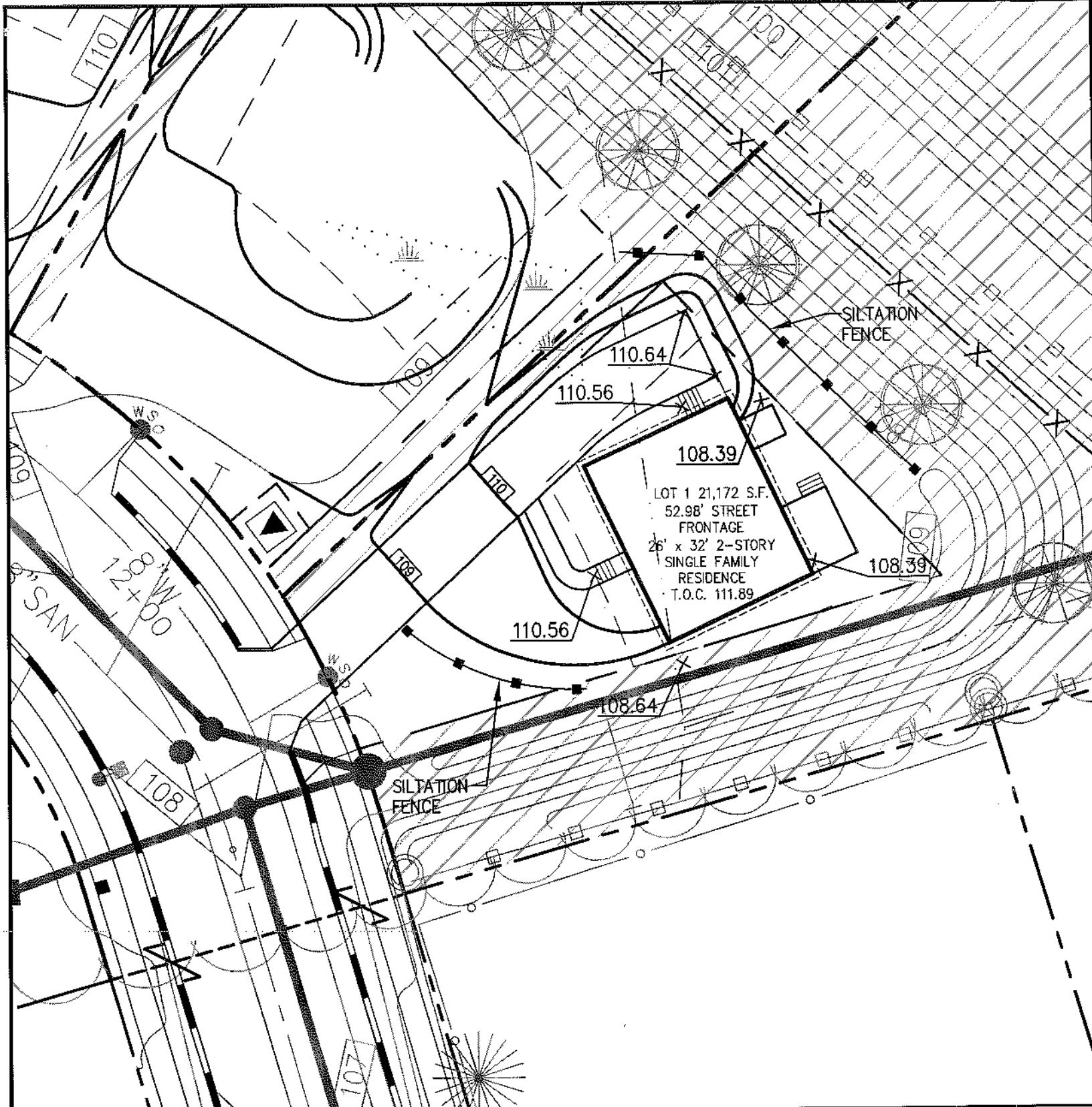
**DH**  
DeLuca-Hoffman Associates, Inc.  
778 MAIN STREET, SUITE 8  
SOUTH PORTLAND, ME 04106  
207.775.1121  
WWW.DELUCAHOFFMAN.COM

DRAWN:	CDD	DATE:	MAR. 2005
DESIGNED:	DDA	SCALE:	1" = 20'
CHECKED:	DDA	JOB NO.	2459.02
FILE NAME:	245902-LOTS		

**RUBY LANE  
PORTLAND, MAINE**

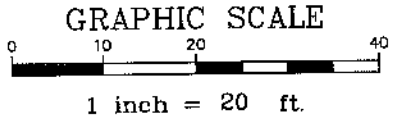
**LOT 1 LAYOUT & UTILITIES PLAN**

FIGURE  
**1-A**



**ZONING REGULATIONS**

ZONE:	R-3
MINIMUM LOT SIZE:	6,500 S.F.
MINIMUM LOT WIDTH:	75 FEET
MINIMUM STREET FRONTAGE:	50 FEET
MINIMUM FRONT YARD SETBACK:	25 FEET OR AT MIN. 75' LOT WIDTH
MINIMUM REAR YARD SETBACK:	25 FEET
MINIMUM SIDE YARD SETBACK:	16 FEET (FOR 2½ STORY DWELLING) 8 FEET (FOR 1½ STORY DWELLING)



REVISED 11.02.05

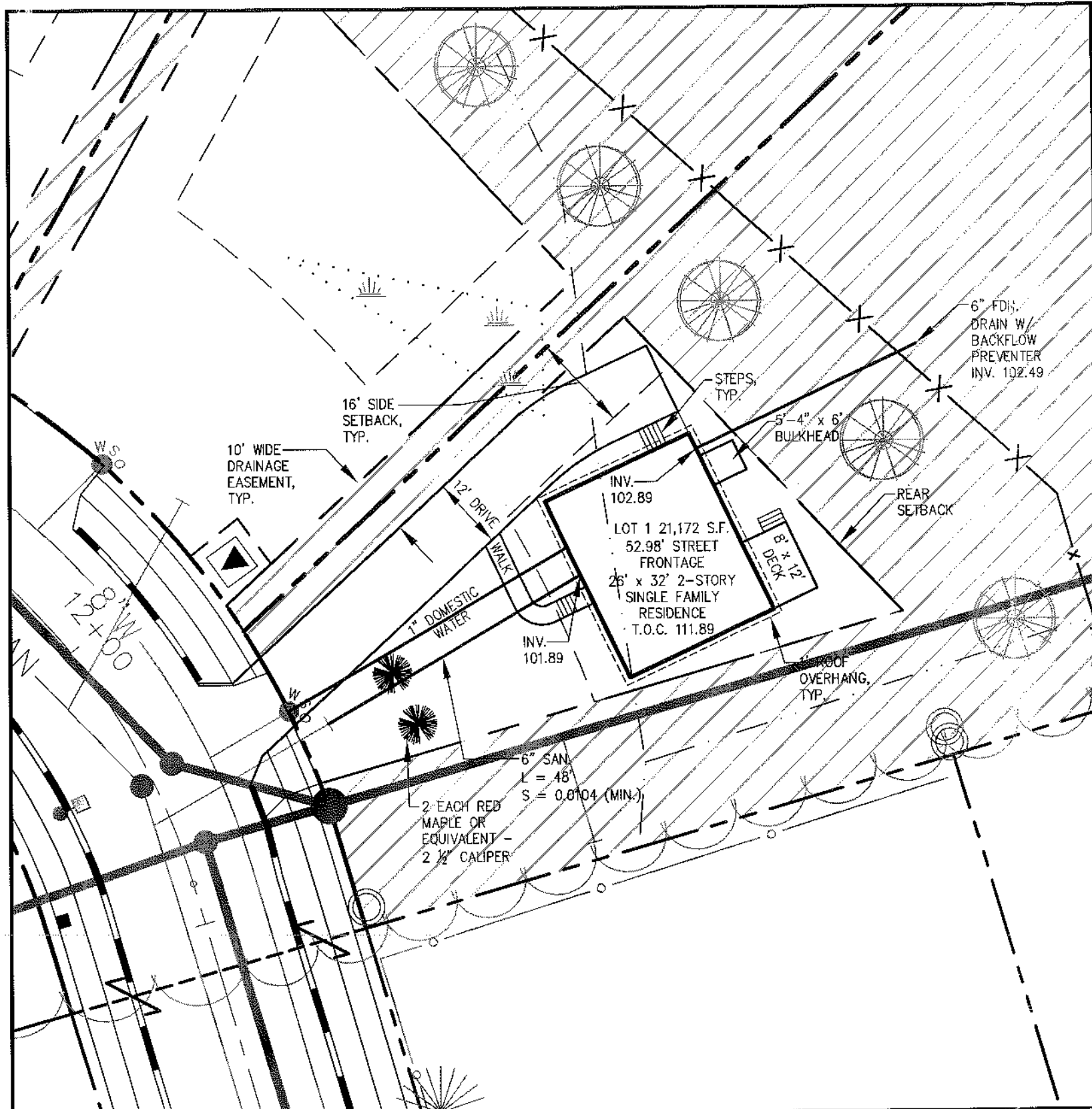
**DH**  
DeLuca-Hoffman Associates, Inc.  
778 MAIN STREET, SUITE 8  
SOUTH PORTLAND, ME 04106  
207.775.1121  
WWW.DELUCAHOFFMAN.COM

DRAWN:	CDD	DATE:	MAR. 2005
DESIGNED:	DDA	SCALE:	1" = 20'
CHECKED:	DDA	JOB NO.:	2459.02
FILE NAME:	245902-LOTS		

**RUBY LANE  
PORTLAND, MAINE**

**LOT 1 GRADING & EROSION  
CONTROL PLAN**

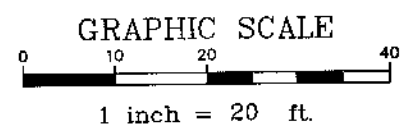
FIGURE  
**1-B**



RECEIVED NOV 07 2005

**ZONING REGULATIONS**

ZONE:	R-3
MINIMUM LOT SIZE:	6,500 S.F.
MINIMUM LOT WIDTH:	75 FEET
MINIMUM STREET FRONTAGE:	50 FEET
MINIMUM FRONT YARD SETBACK:	25 FEET OR AT MIN. 75' LOT WIDTH
MINIMUM REAR YARD SETBACK:	25 FEET
MINIMUM SIDE YARD SETBACK:	16 FEET (FOR 2½ STORY DWELLING) 8 FEET (FOR 1½ STORY DWELLING)



REVISED 11.02.05

**DH**  
DeLuca-Hoffman Associates, Inc.  
778 MAIN STREET, SUITE 8  
SOUTH PORTLAND, ME 04106  
207.775.1121  
WWW.DELUCAHOFFMAN.COM

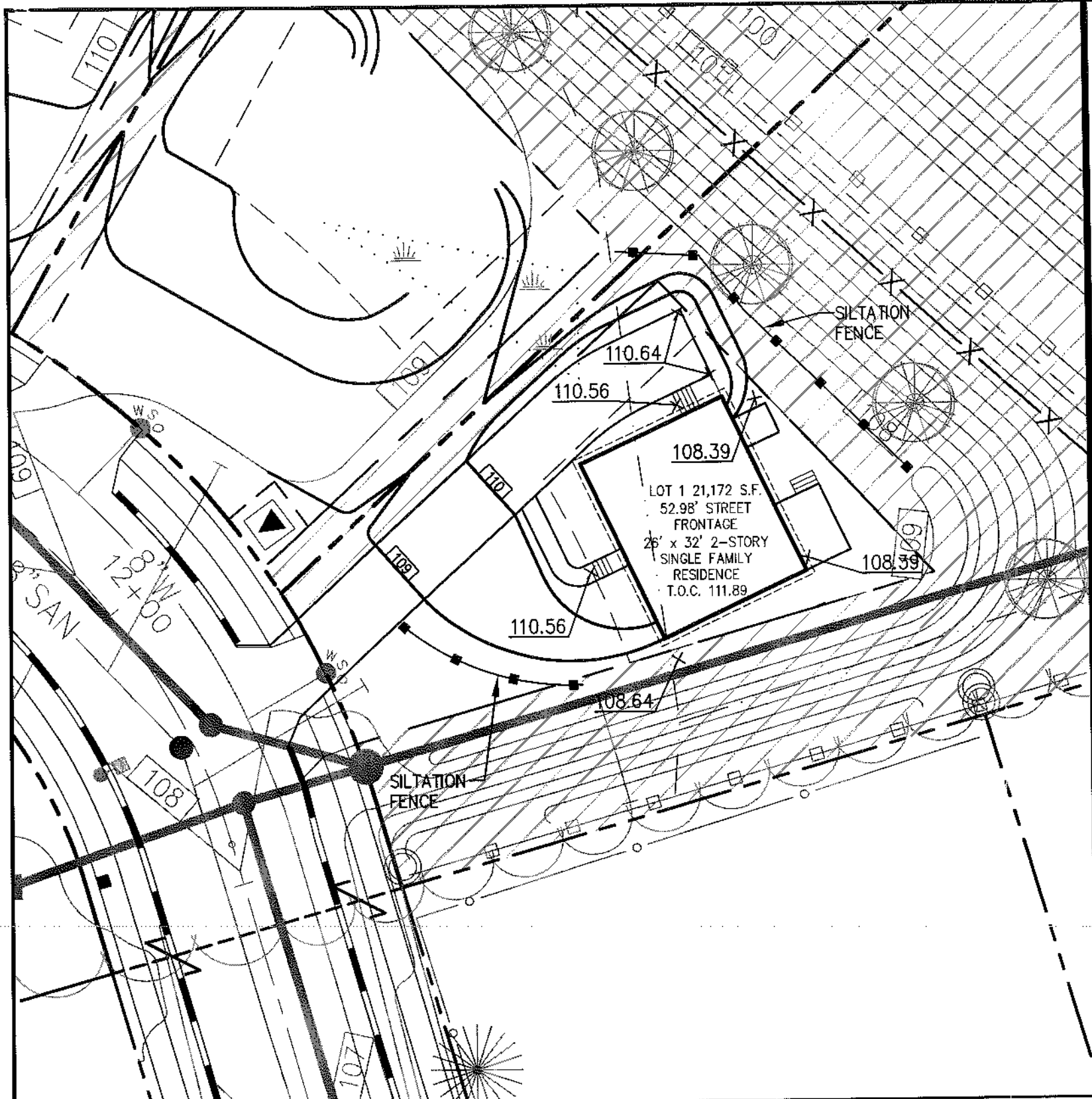
DRAWN:	CDD	DATE:	MAR. 2005
DESIGNED:	DDA	SCALE:	1" = 20'
CHECKED:	DDA	JOB NO.	2459.02
FILE NAME:	245902-LOTS		

**RUBY LANE  
PORTLAND, MAINE**

**LOT 1 LAYOUT & UTILITIES PLAN**

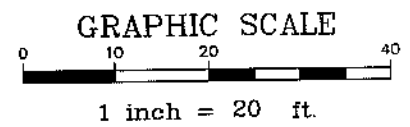
FIGURE  
**1-A**





**ZONING REGULATIONS**

ZONE:	R-3
MINIMUM LOT SIZE:	6,500 S.F.
MINIMUM LOT WIDTH:	75 FEET
MINIMUM STREET FRONTAGE:	50 FEET
MINIMUM FRONT YARD SETBACK:	25 FEET OR AT MIN. 75' LOT WIDTH
MINIMUM REAR YARD SETBACK:	25 FEET
MINIMUM SIDE YARD SETBACK:	16 FEET (FOR 2½ STORY DWELLING) 8 FEET (FOR 1½ STORY DWELLING)



REVISED 11.02.05

**DH** DeLuca-Hoffman Associates, Inc.  
 778 MAIN STREET, SUITE 8  
 SOUTH PORTLAND, ME 04106  
 207.775.1121  
 WWW.DELUCAHOFFMAN.COM

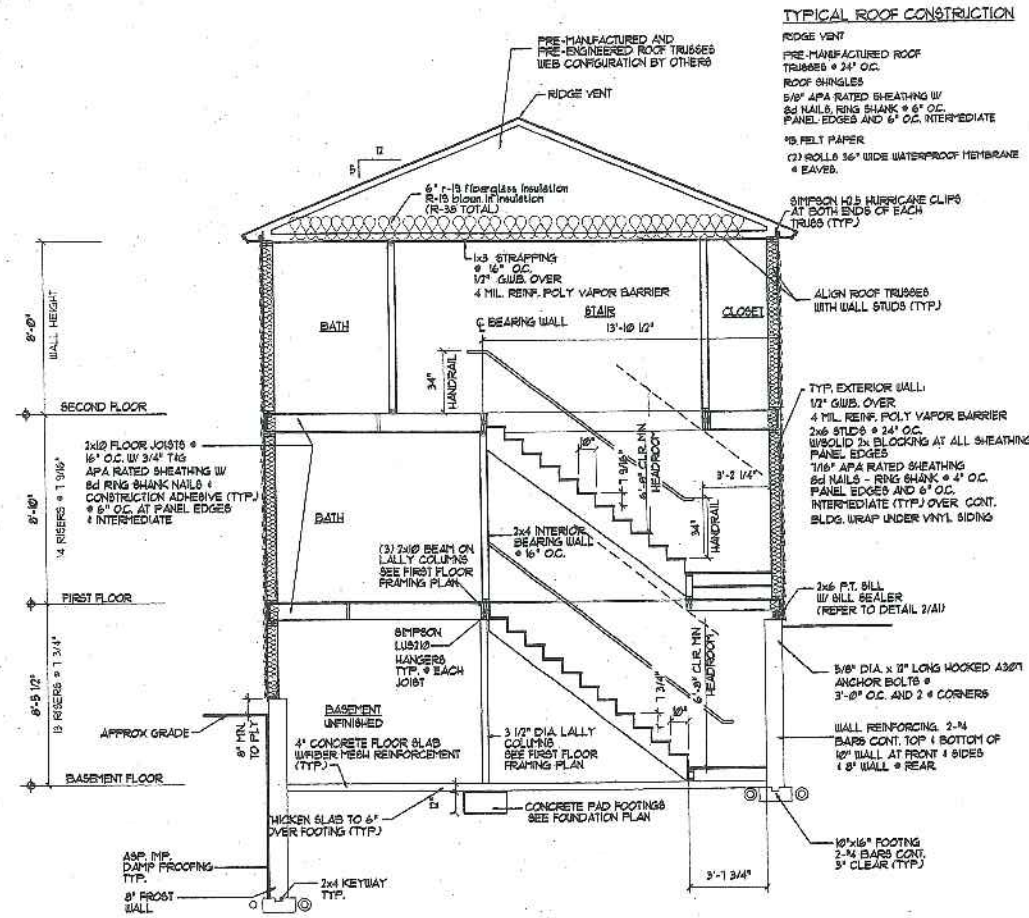
DRAWN:	CDD	DATE:	MAR. 2005
DESIGNED:	DDA	SCALE:	1" = 20'
CHECKED:	DDA	JOB NO.	2459.02
FILE NAME:	245902-LOTS		

**RUBY LANE  
 PORTLAND, MAINE**

**LOT 1 GRADING & EROSION  
 CONTROL PLAN**

FIGURE  
**1-B**

Lot #2 Ruby Lane

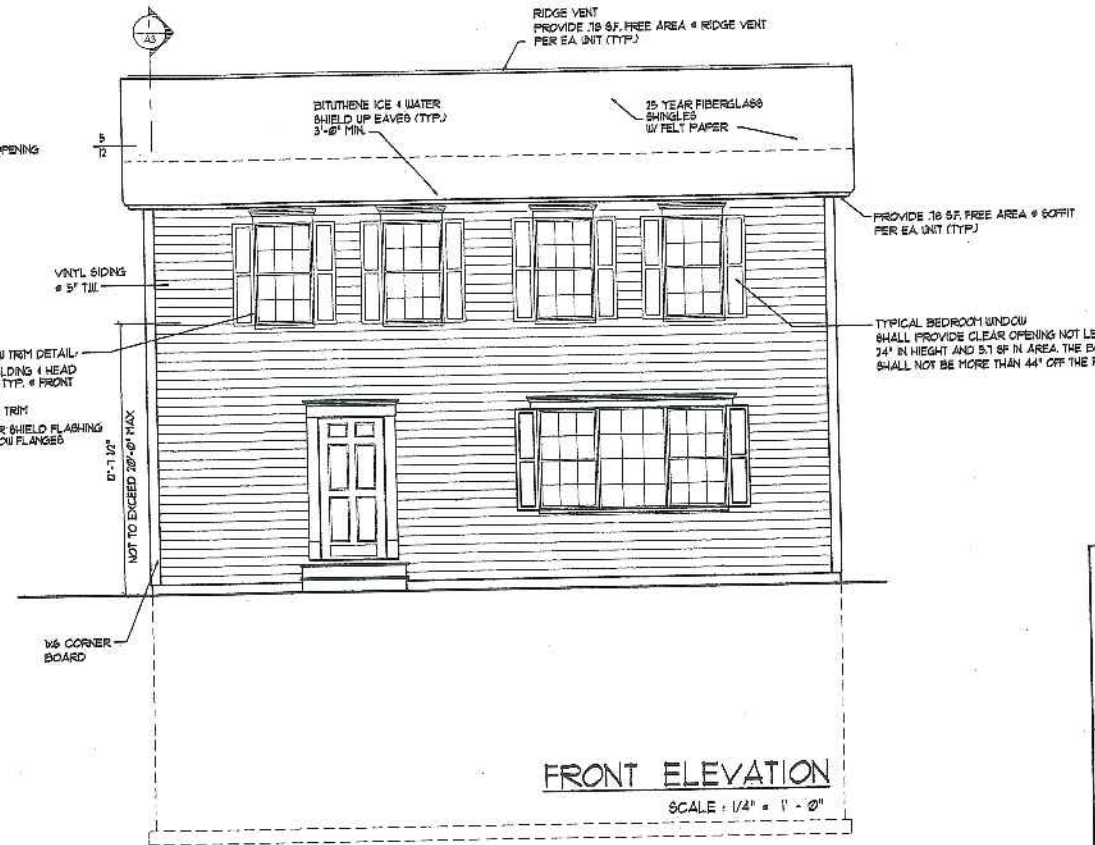


TYPICAL ROOF CONSTRUCTION

RIDGE VENT  
 PRE-MANUFACTURED ROOF TRUSSES @ 24" O.C.  
 ROOF SHINGLES  
 5/8" APA RATED SHEATHING W/ 8d NAIL, RING SHANK @ 6" O.C. PANEL EDGES AND 6" O.C. INTERMEDIATE  
 #8 FELT PAPER  
 (2) ROLLS 36" WIDE WATERPROOF MEMBRANE @ EAVES.  
 SIMPSON 145 HURRICANE CLIPS AT BOTH ENDS OF EACH TRUSS (TYP.)

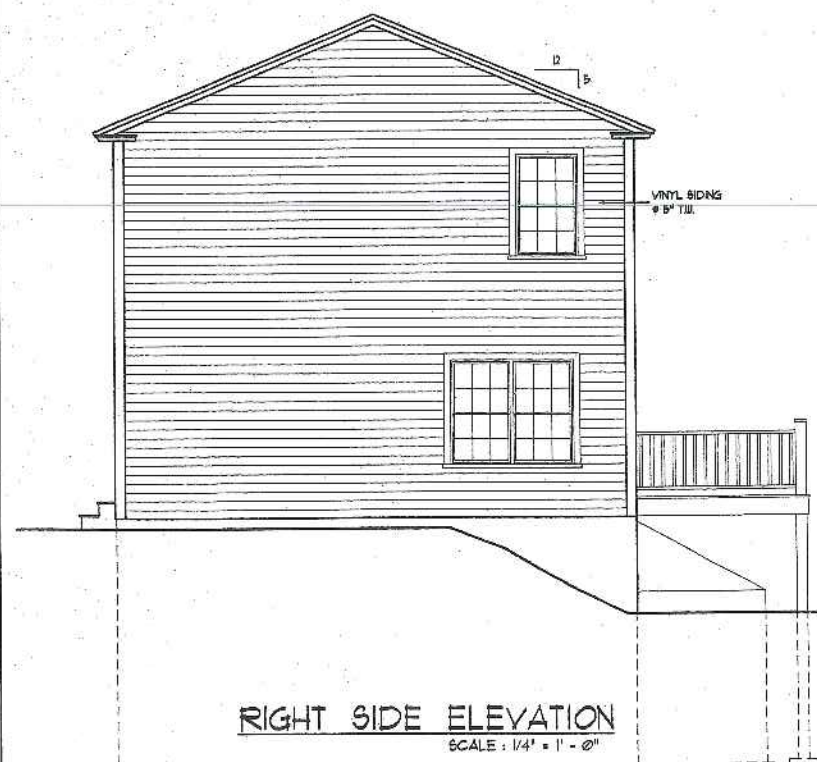
HEADER SCHEDULE	
ROUGH OPENING	HEADER SIZE
0 - 3'-0"	(3) - 2x6
3'-1" - 4'-6"	(3) - 2x6
4'-7" - 5'-0"	(3) - 2x8
5'-1" - 7'-0"	(3) - 2x10

NOTE: PROVIDE JAMBS BOTH ENDS AS FOLLOWS:  
 2x6 JACK PLUS 2x6 KINGS UP TO 4'-6" ROUGH OPENING  
 (2) 2x6 JACKS PLUS (2) 2x6 KINGS UP TO 7'-0" ROUGH OPENING

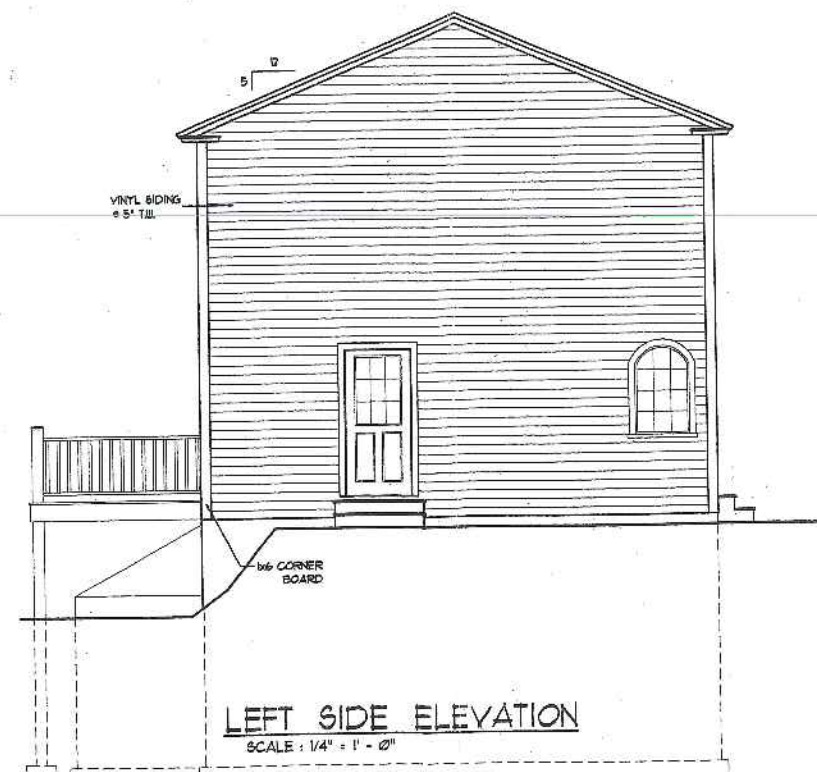


FRONT ELEVATION  
 SCALE: 1/4" = 1' - 0"

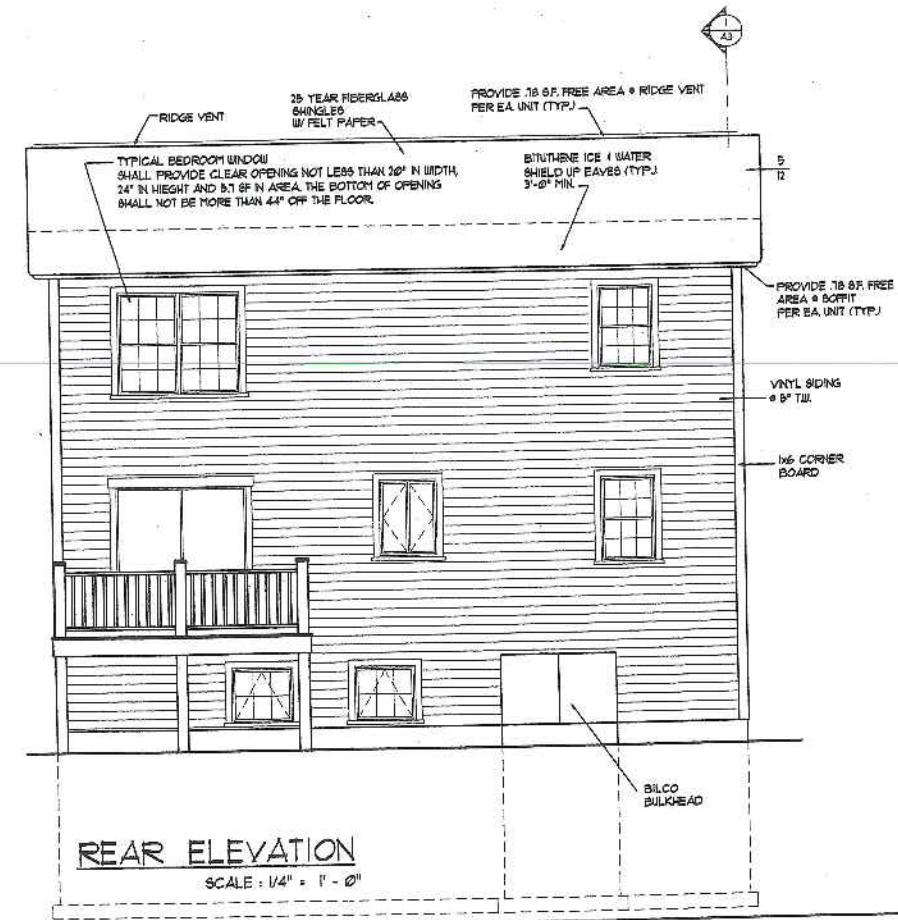
SECTION THRU HOUSE  
 SCALE: 1/4" = 1' - 0"



RIGHT SIDE ELEVATION  
 SCALE: 1/4" = 1' - 0"



LEFT SIDE ELEVATION  
 SCALE: 1/4" = 1' - 0"



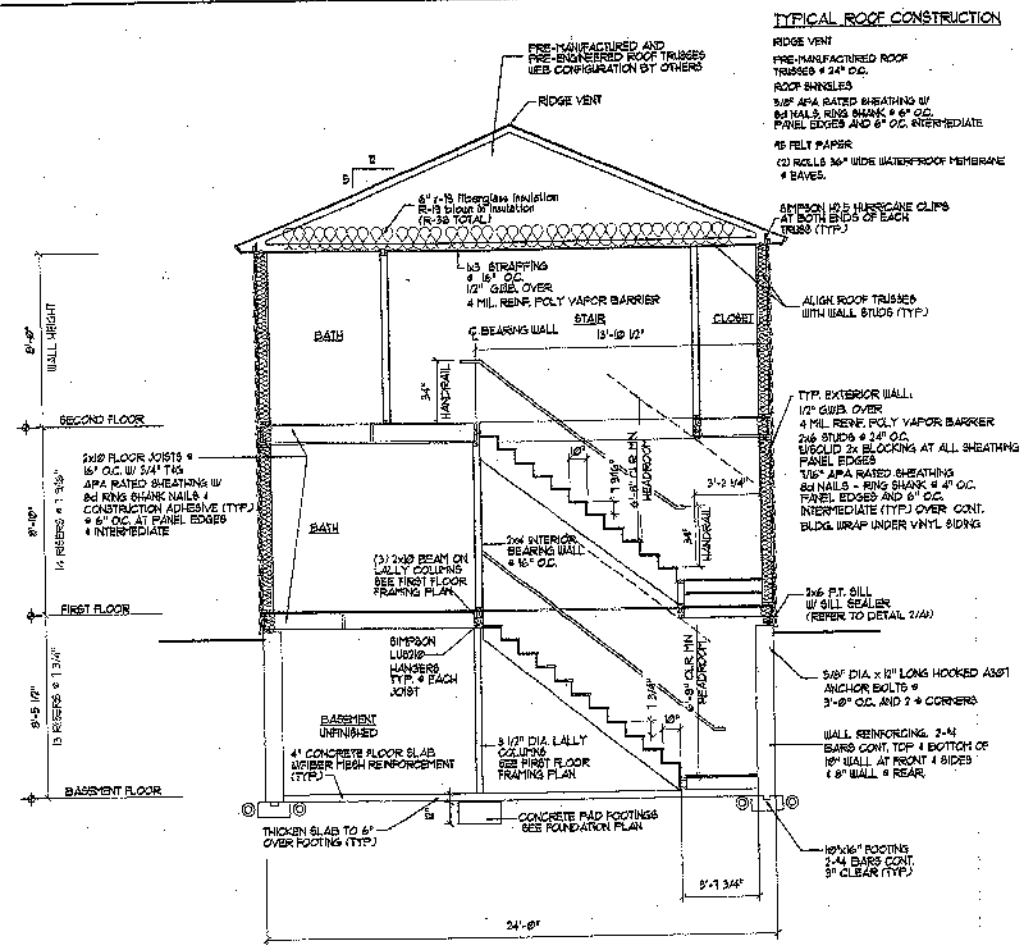
REAR ELEVATION  
 SCALE: 1/4" = 1' - 0"

DRAWINGS THIS SHEET

ELEVATIONS / SECTION

DATE  
6/12/05

A3

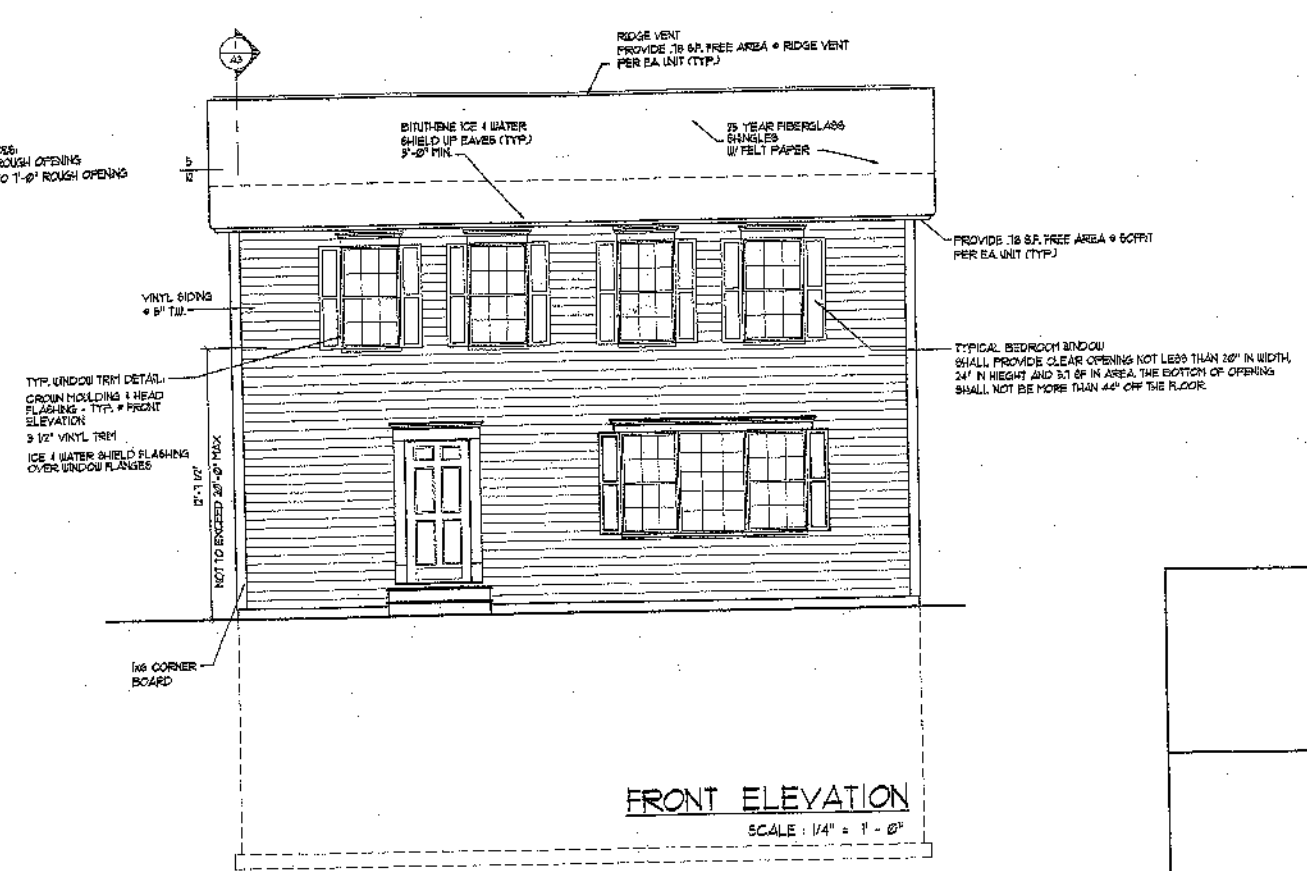


**TYPICAL ROOF CONSTRUCTION**

- RIDGE VENT
- PRE-MANUFACTURED AND PRE-ENGINEERED ROOF TRUSSES @ 24" O.C.
- ROOF SHINGLES
- 3/8" APA RATED SHEATHING W/ 8d NAILS, KING SHANK @ 6" O.C. INTERMEDIATE PANEL EDGES AND 6" O.C. INTERMEDIATE
- 1/2" FELT PAPER
- (2) ROLLS 36" WIDE WATERPROOF MEMBRANE @ EAVES
- SIMPSON HD 3 HURRICANE CLIPS AT BOTH ENDS OF EACH TRUSS (TYP.)
- ALIGN ROOF TRUSSES WITH WALL STUDS (TYP.)

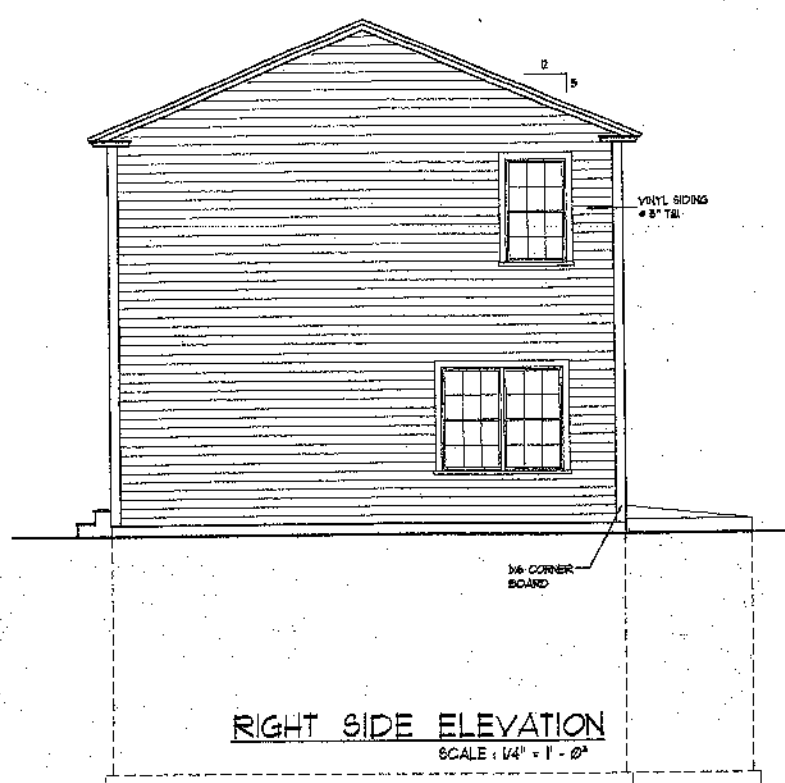
HEADER SCHEDULE	
ROUGH OPENING	HEADER SIZE
0 - 3'-0"	(2) - 2x6
3'-1" - 4'-6"	(3) - 2x6
4'-7" - 6'-0"	(3) - 2x8
6'-1" - 7'-0"	(3) - 2x8

NOTE: PROVIDE JAMBS BOTH ENDS AS FOLLOWS:  
 2x6 JACK PLUS 2x6 KINGS UP TO 4'-6" ROUGH OPENING  
 (2) 2x8 JAMBS PLUS (2) 2x6 KINGS UP TO 7'-0" ROUGH OPENING

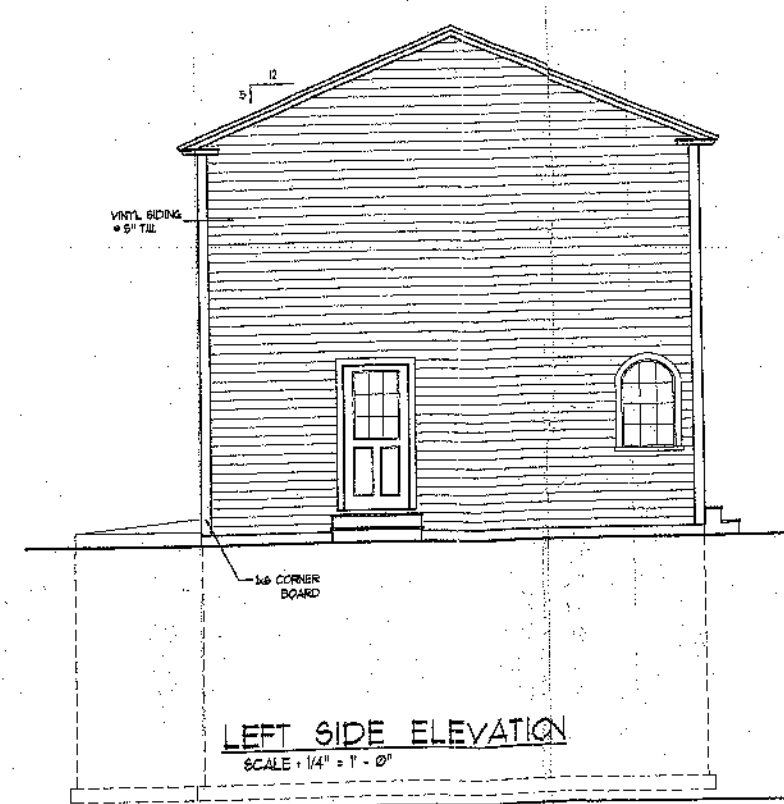


**FRONT ELEVATION**  
SCALE: 1/4" = 1' - 0"

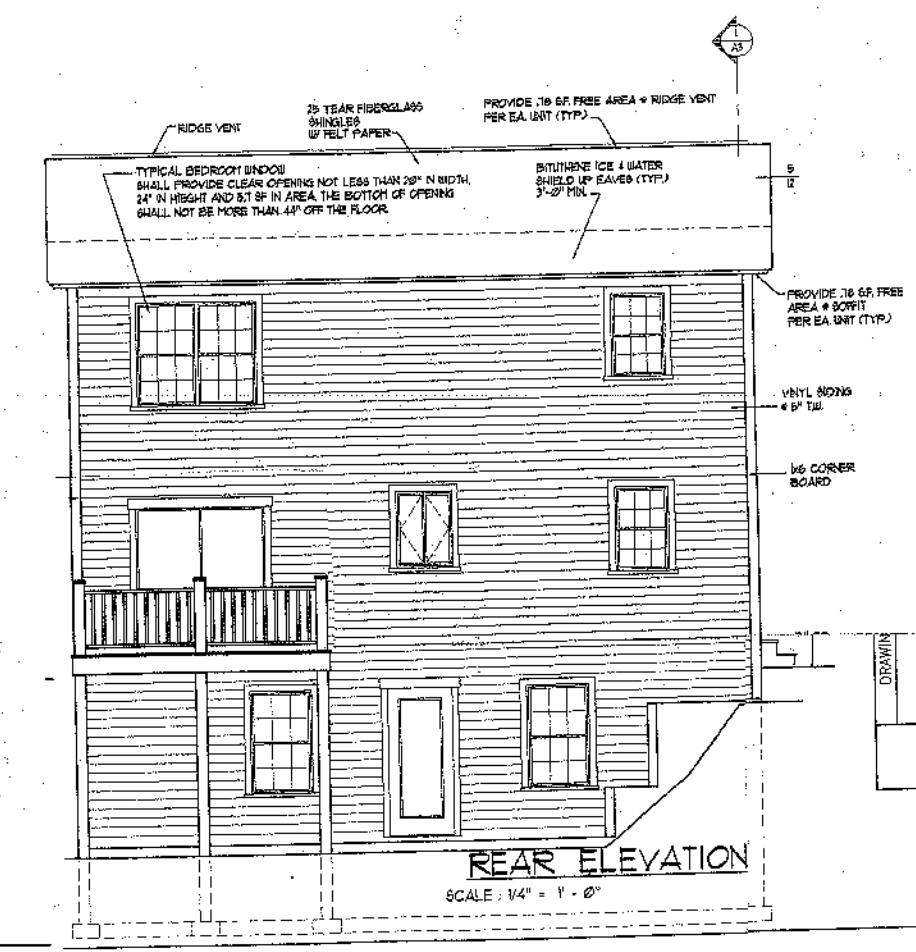
**SECTION THRU HOUSE**  
SCALE: 1/4" = 1' - 0"



**RIGHT SIDE ELEVATION**  
SCALE: 1/4" = 1' - 0"



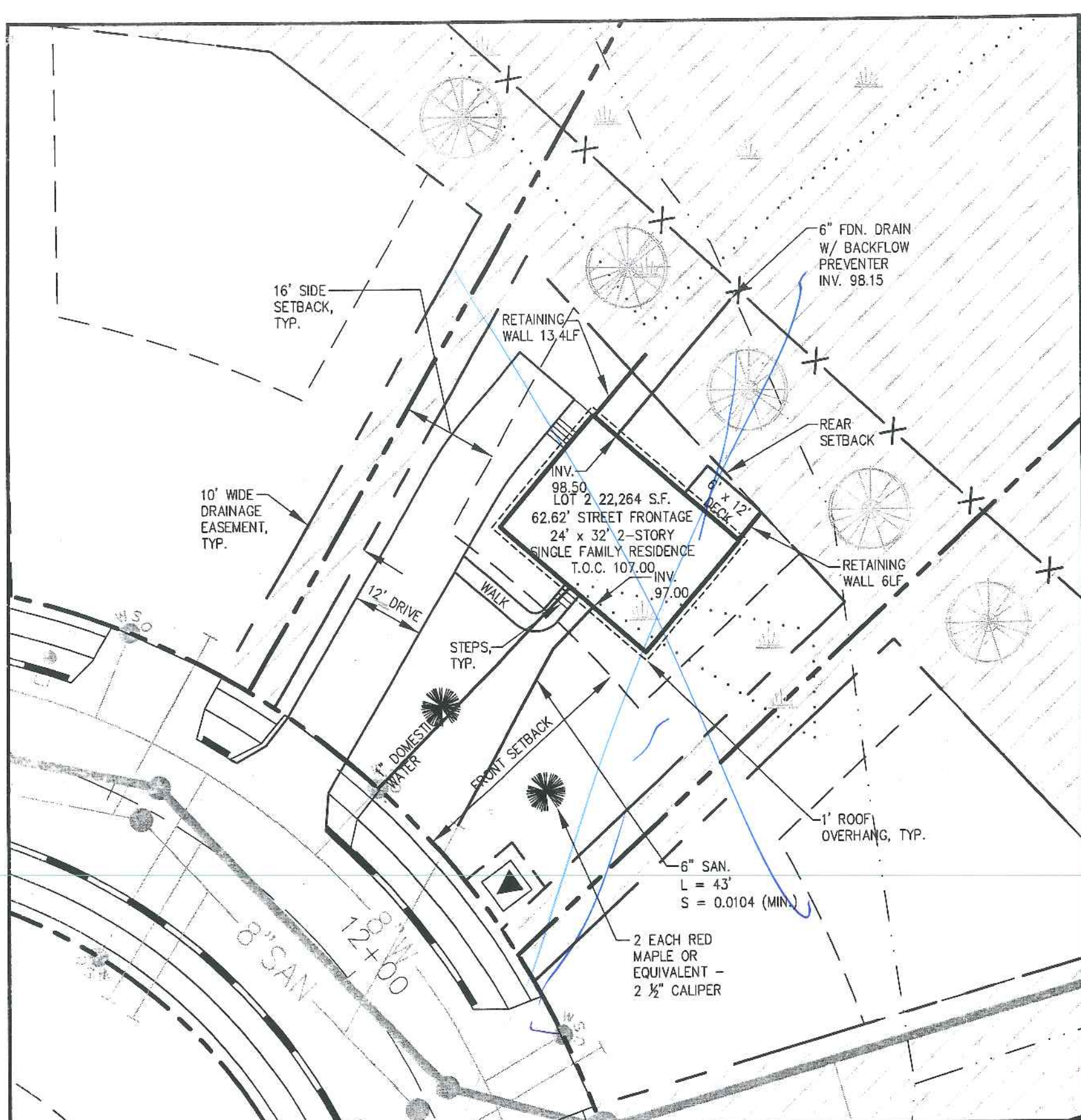
**LEFT SIDE ELEVATION**  
SCALE: 1/4" = 1' - 0"



**REAR ELEVATION**  
SCALE: 1/4" = 1' - 0"

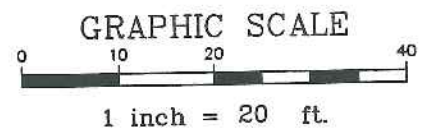
DRAWN	DATE	02/20/03

A: A3



**ZONING REGULATIONS**

ZONE:	R-3
MINIMUM LOT SIZE:	6,500 S.F.
MINIMUM LOT WIDTH:	75 FEET
MINIMUM STREET FRONTAGE:	50 FEET
MINIMUM FRONT YARD SETBACK:	25 FEET OR AT MIN. 75' LOT WIDTH
MINIMUM REAR YARD SETBACK:	25 FEET
MINIMUM SIDE YARD SETBACK:	16 FEET (FOR 2½ STORY DWELLING) 8 FEET (FOR 1½ STORY DWELLING)



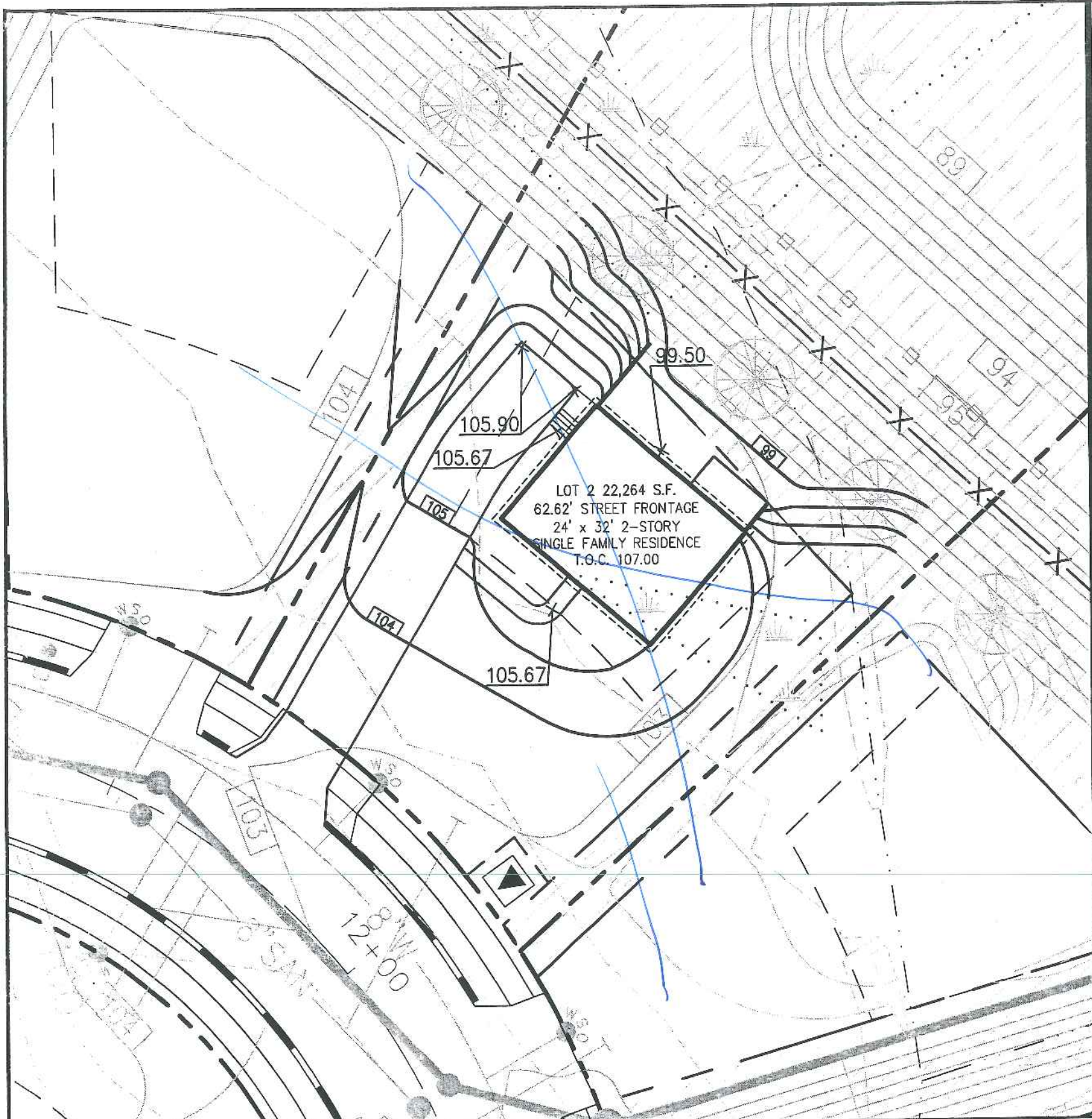
**DH**  
 DeLuca-Hoffman Associates, Inc.  
 778 MAIN STREET, SUITE 8  
 SOUTH PORTLAND, ME 04106  
 207.775.1121  
 WWW.DELUCAHOFFMAN.COM

DRAWN:	CDD	DATE:	MAR. 2005
DESIGNED:	DDA	SCALE:	1" = 20'
CHECKED:	DDA	JOB NO.	2568
FILE NAME:	2568-SP		

**RUBY LANE  
 PORTLAND, MAINE**

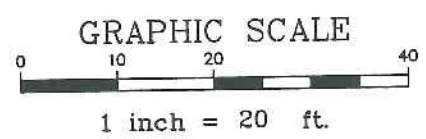
**LOT 2 LAYOUT & UTILITIES PLAN**

FIGURE  
**2-A**



### ZONING REGULATIONS

ZONE:	R-3
MINIMUM LOT SIZE:	6,500 S.F.
MINIMUM LOT WIDTH:	75 FEET
MINIMUM STREET FRONTAGE:	50 FEET
MINIMUM FRONT YARD SETBACK:	25 FEET OR AT MIN. 75' LOT WIDTH
MINIMUM REAR YARD SETBACK:	25 FEET
MINIMUM SIDE YARD SETBACK:	16 FEET (FOR 2½ STORY DWELLING) 8 FEET (FOR 1½ STORY DWELLING)



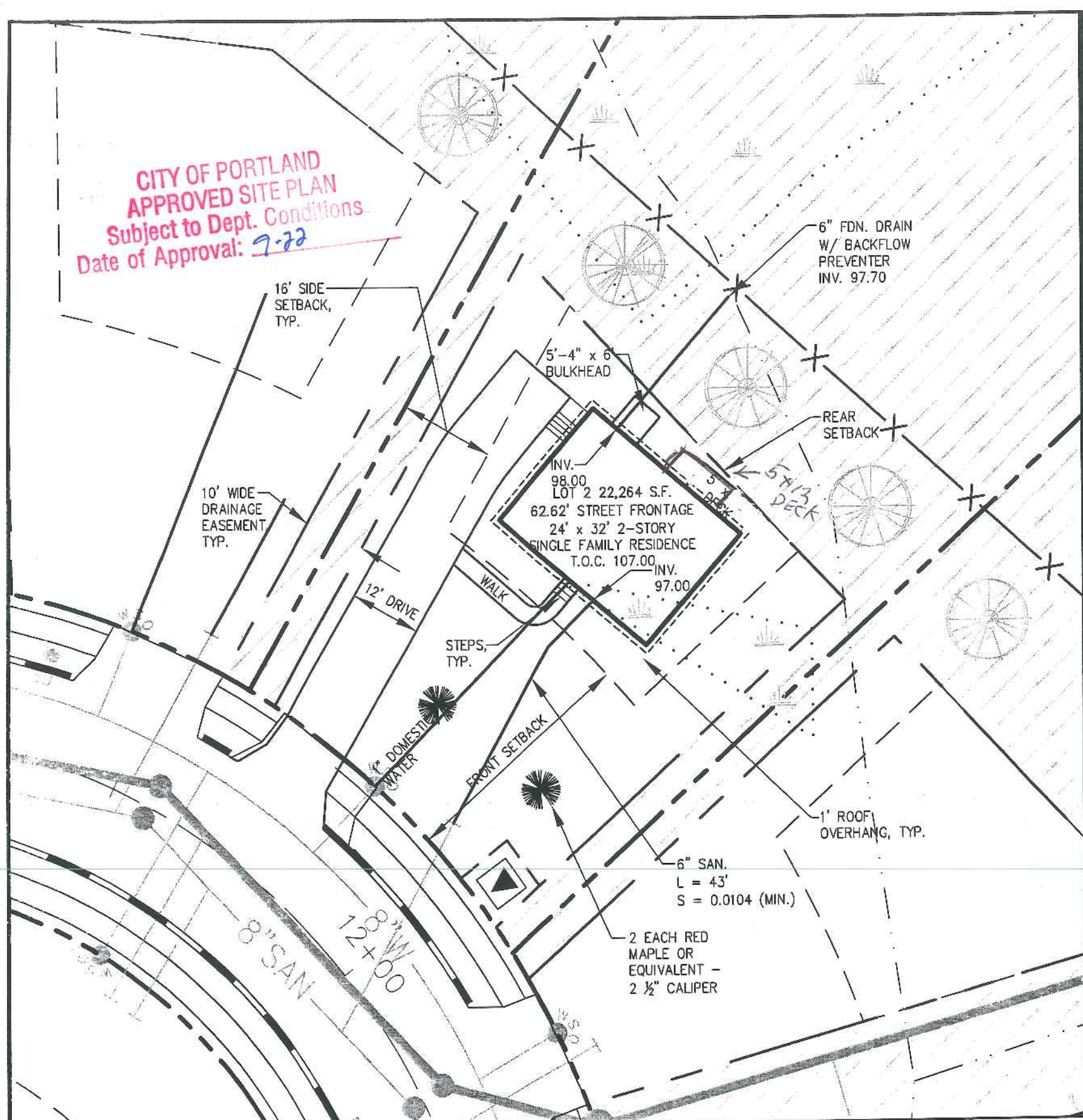
**DH**  
 DeLuca-Hoffman Associates, Inc.  
 778 MAIN STREET, SUITE 8  
 SOUTH PORTLAND, ME 04106  
 207.775.1121  
 WWW.DELUCAHOFFMAN.COM

DRAWN:	CDD	DATE:	MAR. 2005
DESIGNED:	DDA	SCALE:	1" = 20'
CHECKED:	DDA	JOB NO.:	2568
FILE NAME:	2568-SP		

RUBY LANE  
 PORTLAND, MAINE

LOT 2 GRADING & EROSION  
 CONTROL PLAN

FIGURE  
 2-B



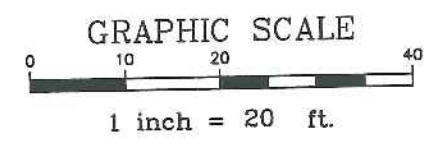
CITY OF PORTLAND  
 APPROVED SITE PLAN  
 Subject to Dept. Conditions  
 Date of Approval: 9-22

CITY OF PORTLAND  
 APPROVED SITE PLAN  
 Subject to Dept. Conditions  
 Date of Approval: 8-9-22



**ZONING REGULATIONS**

ZONE:	R-3
MINIMUM LOT SIZE:	6,500 S.F.
MINIMUM LOT WIDTH:	75 FEET
MINIMUM STREET FRONTAGE:	50 FEET
MINIMUM FRONT YARD SETBACK:	25 FEET OR AT MIN. 75' LOT WIDTH
MINIMUM REAR YARD SETBACK:	25 FEET
MINIMUM SIDE YARD SETBACK:	16 FEET (FOR 2½ STORY DWELLING) 8 FEET (FOR 1½ STORY DWELLING)



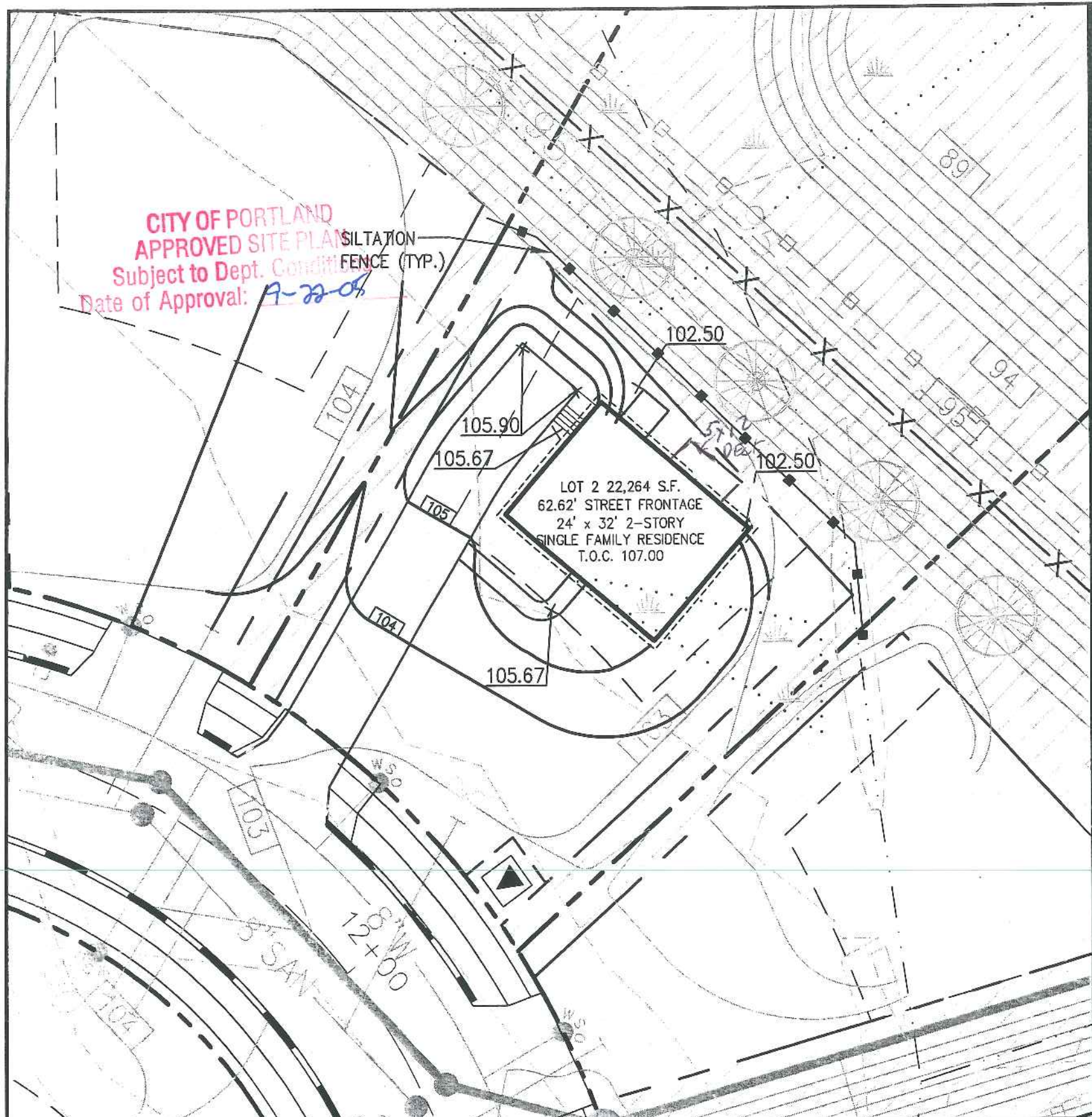
**DH** DeLuca-Hoffman Associates, Inc.  
 778 MAIN STREET, SUITE 8  
 SOUTH PORTLAND, ME 04106  
 207.775.1121  
 WWW.DELUCAHOFFMAN.COM

DRAWN:	CDD	DATE:	MAR. 2005
DESIGNED:	DDA	SCALE:	1" = 20'
CHECKED:	DDA	JOB NO.:	2568
FILE NAME:	2568-SP		

RUBY LANE  
 PORTLAND, MAINE

LOT 2 LAYOUT & UTILITIES PLAN

FIGURE  
 2-A

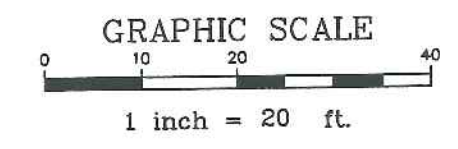


**CITY OF PORTLAND  
APPROVED SITE PLAN**  
Subject to Dept. Conditions  
Date of Approval: 7-22-05

**CITY OF PORTLAND  
APPROVED SITE PLAN**  
Subject to Dept. Conditions  
Date of Approval: 9-22-05

**ZONING REGULATIONS**

ZONE:	R-3
MINIMUM LOT SIZE:	6,500 S.F.
MINIMUM LOT WIDTH:	75 FEET
MINIMUM STREET FRONTAGE:	50 FEET
MINIMUM FRONT YARD SETBACK:	25 FEET OR AT MIN. 75' LOT WIDTH
MINIMUM REAR YARD SETBACK:	25 FEET
MINIMUM SIDE YARD SETBACK:	16 FEET (FOR 2½ STORY DWELLING) 8 FEET (FOR 1½ STORY DWELLING)



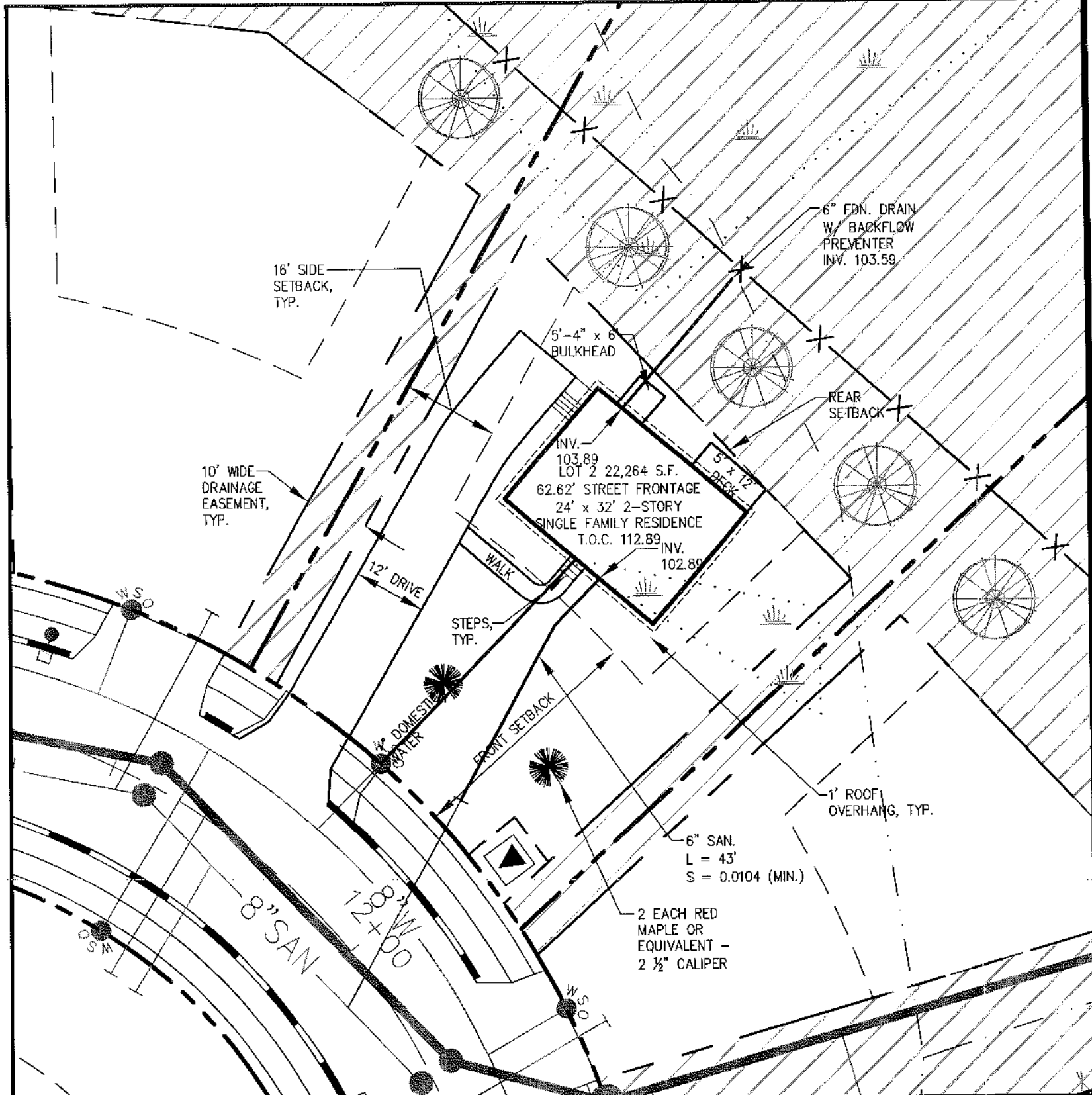
**DH**  
DeLuca-Hoffman Associates, Inc.  
778 MAIN STREET, SUITE 8  
SOUTH PORTLAND, ME 04106  
207.775.1121  
WWW.DELUCAHOFFMAN.COM

DRAWN:	CDD	DATE:	MAR. 2005
DESIGNED:	DDA	SCALE:	1" = 20'
CHECKED:	DDA	JOB NO.:	2568
FILE NAME:	2568-SP		

**RUBY LANE  
PORTLAND, MAINE**

**LOT 2 GRADING & EROSION  
CONTROL PLAN**

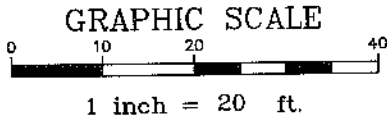
FIGURE  
**2-B**



RECEIVED NOV 17 2005

**ZONING REGULATIONS**

ZONE:	R-3
MINIMUM LOT SIZE:	6,500 S.F.
MINIMUM LOT WIDTH:	75 FEET
MINIMUM STREET FRONTAGE:	50 FEET
MINIMUM FRONT YARD SETBACK:	25 FEET OR AT MIN. 75' LOT WIDTH
MINIMUM REAR YARD SETBACK:	25 FEET
MINIMUM SIDE YARD SETBACK:	16 FEET (FOR 2½ STORY DWELLING) 8 FEET (FOR 1½ STORY DWELLING)



REVISED 11.02.05

**DH** DeLuca-Hoffman Associates, Inc.  
 778 MAIN STREET, SUITE 8  
 SOUTH PORTLAND, ME 04106  
 207.775.1121  
 WWW.DELUCAHOFFMAN.COM

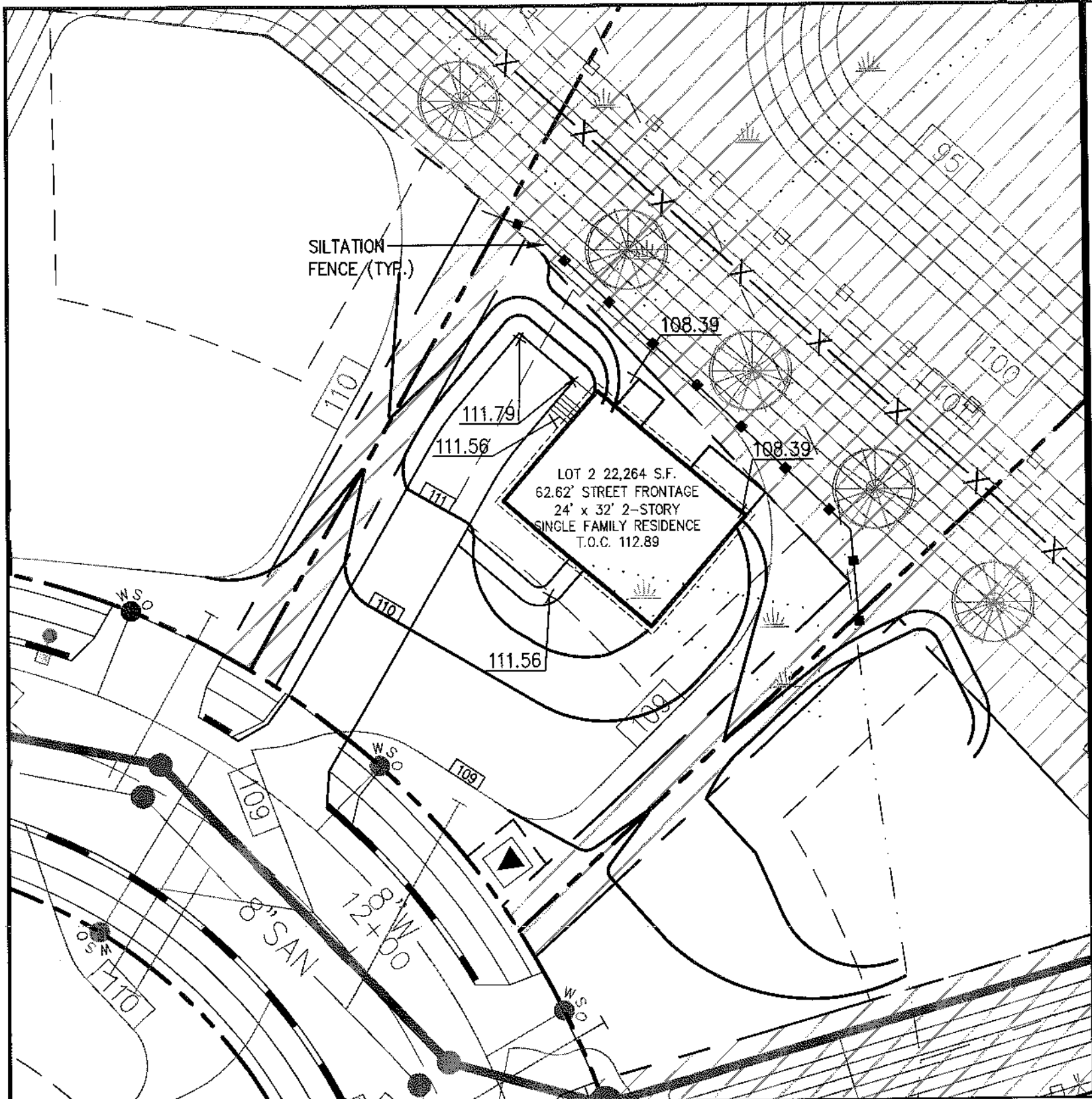
DRAWN:	CDD	DATE:	MAR. 2005
DESIGNED:	DDA	SCALE:	1" = 20'
CHECKED:	DDA	JOB NO.:	2459.02
FILE NAME:	245902-LOTS		

RUBY LANE  
 PORTLAND, MAINE

LOT 2 LAYOUT & UTILITIES PLAN

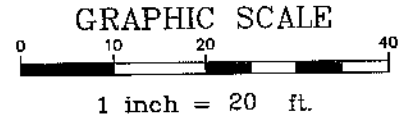
FIGURE  
 2-A





**ZONING REGULATIONS**

ZONE:	R-3
MINIMUM LOT SIZE:	6,500 S.F.
MINIMUM LOT WIDTH:	75 FEET
MINIMUM STREET FRONTAGE:	50 FEET
MINIMUM FRONT YARD SETBACK:	25 FEET OR AT MIN. 75' LOT WIDTH
MINIMUM REAR YARD SETBACK:	25 FEET
MINIMUM SIDE YARD SETBACK:	16 FEET (FOR 2½ STORY DWELLING) 8 FEET (FOR 1½ STORY DWELLING)



REVISED 11.02.05

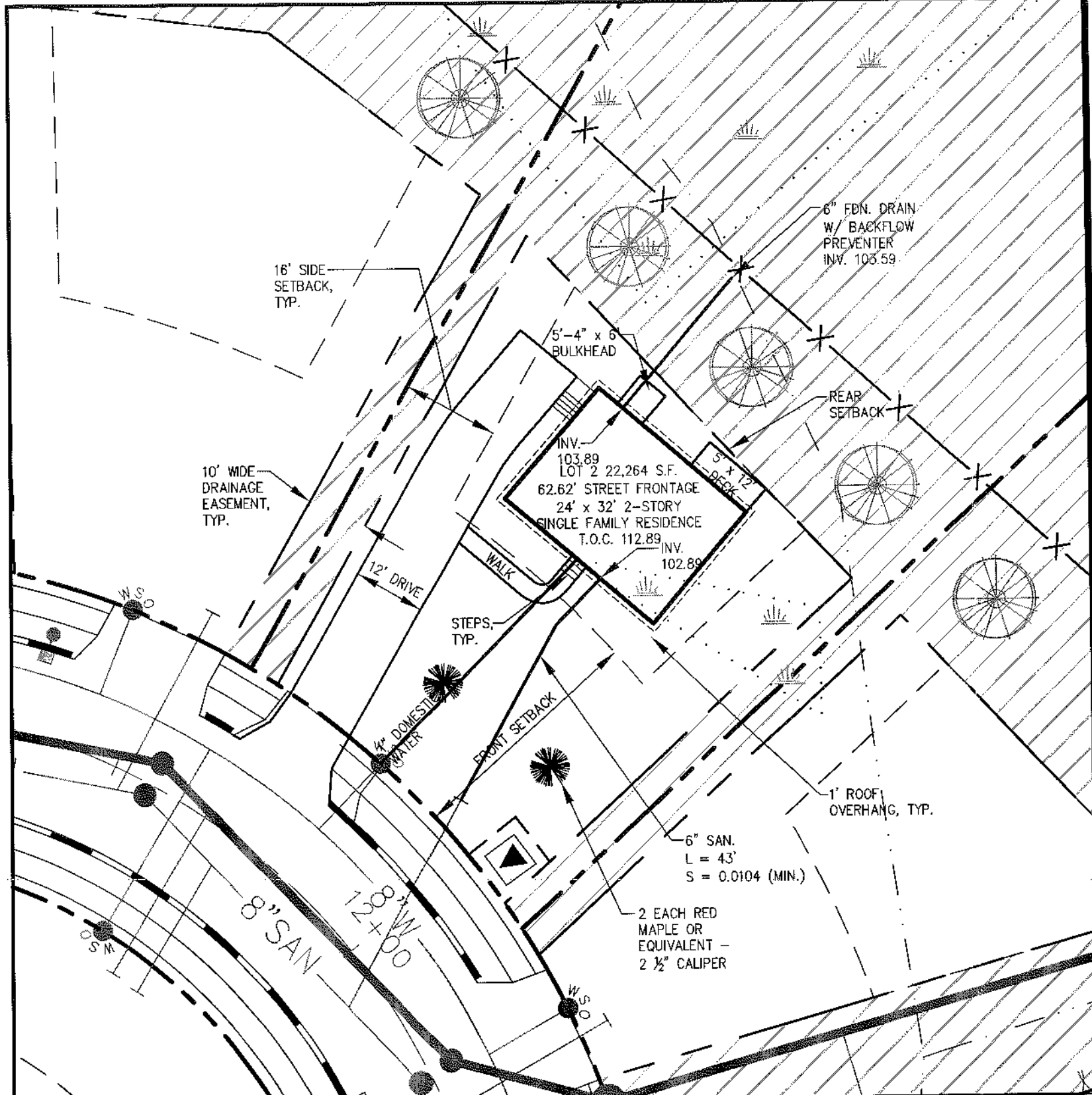
**DH** DeLuca-Hoffman Associates, Inc.  
 778 MAIN STREET, SUITE 8  
 SOUTH PORTLAND, ME 04106  
 207.775.1121  
 WWW.DELUCAHOFFMAN.COM

DRAWN:	CDD	DATE:	MAR. 2005
DESIGNED:	DDA	SCALE:	1" = 20'
CHECKED:	DDA	JOB NO.	2459.02
FILE NAME:	245902-LOTS		

RUBY LANE  
 PORTLAND, MAINE

LOT 2 GRADING & EROSION  
 CONTROL PLAN

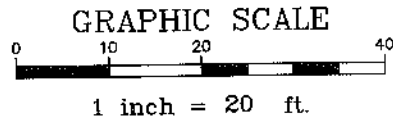
FIGURE  
 2-B



RECEIVED NOV 07 2005

**ZONING REGULATIONS**

ZONE:	R-3
MINIMUM LOT SIZE:	6,500 S.F.
MINIMUM LOT WIDTH:	75 FEET
MINIMUM STREET FRONTAGE:	50 FEET
MINIMUM FRONT YARD SETBACK:	25 FEET OR AT MIN. 75' LOT WIDTH
MINIMUM REAR YARD SETBACK:	25 FEET
MINIMUM SIDE YARD SETBACK:	16 FEET (FOR 2½ STORY DWELLING) 8 FEET (FOR 1½ STORY DWELLING)



REVISED 11.02.05



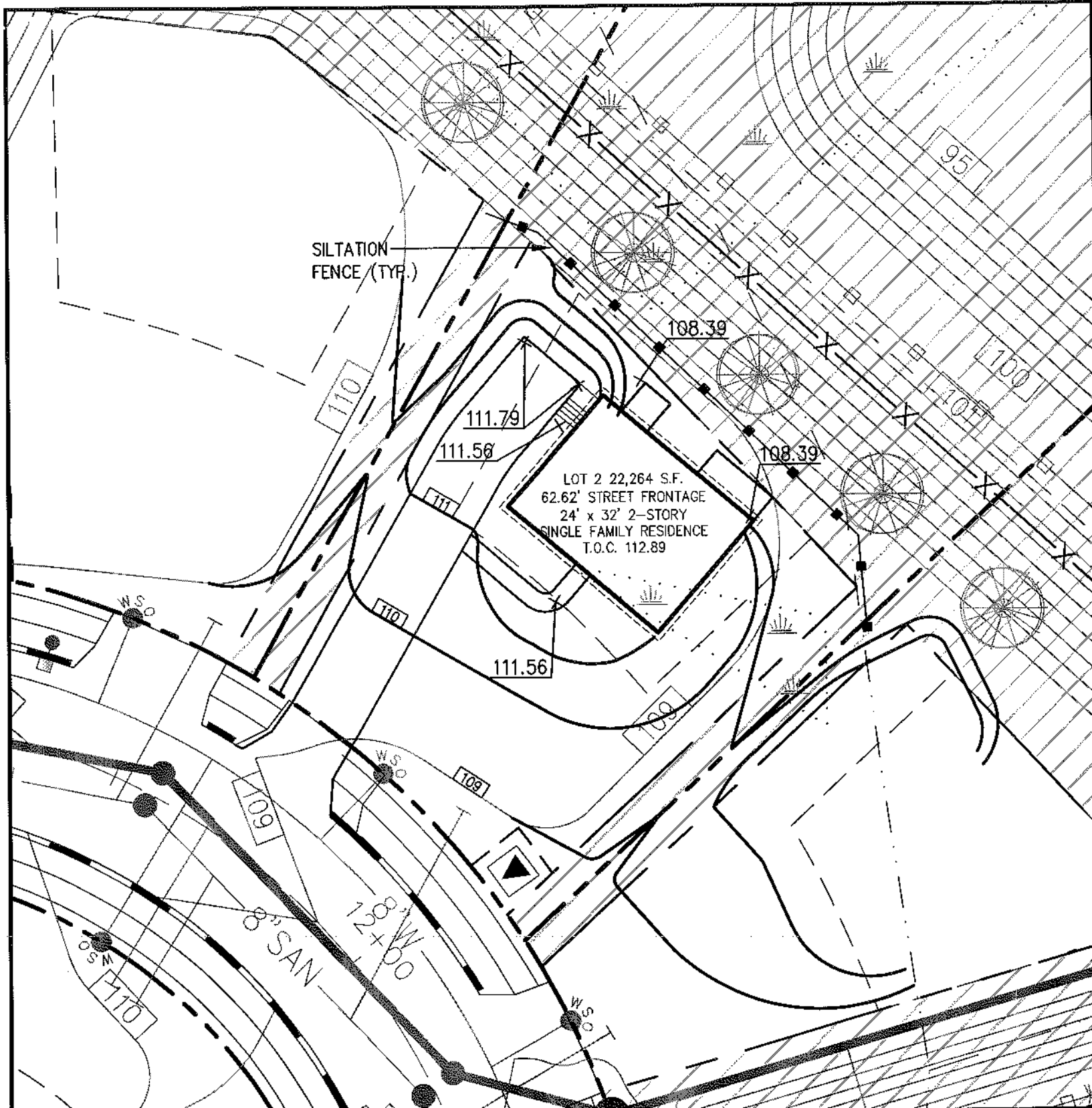
DeLuca-Hoffman Associates, Inc.  
778 MAIN STREET, SUITE 6  
SOUTH PORTLAND, ME 04106  
207.775.1121  
WWW.DELUCAHOFFMAN.COM

DRAWN:	CDD	DATE:	MAR. 2005
DESIGNED:	DDA	SCALE:	1" = 20'
CHECKED:	DDA	JOB NO.	2459.02
FILE NAME:	245902-LOTS		

RUBY LANE  
PORTLAND, MAINE

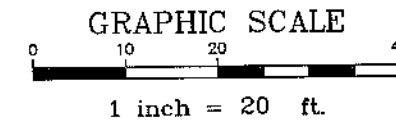
LOT 2 LAYOUT & UTILITIES PLAN

FIGURE  
2-A



### ZONING REGULATIONS

ZONE:	R-3
MINIMUM LOT SIZE:	6,500 S.F.
MINIMUM LOT WIDTH:	75 FEET
MINIMUM STREET FRONTAGE:	50 FEET
MINIMUM FRONT YARD SETBACK:	25 FEET OR AT MIN. 75' LOT WIDTH
MINIMUM REAR YARD SETBACK:	25 FEET
MINIMUM SIDE YARD SETBACK:	16 FEET (FOR 2½ STORY DWELLING) 8 FEET (FOR 1½ STORY DWELLING)



REVISED 11.02.05



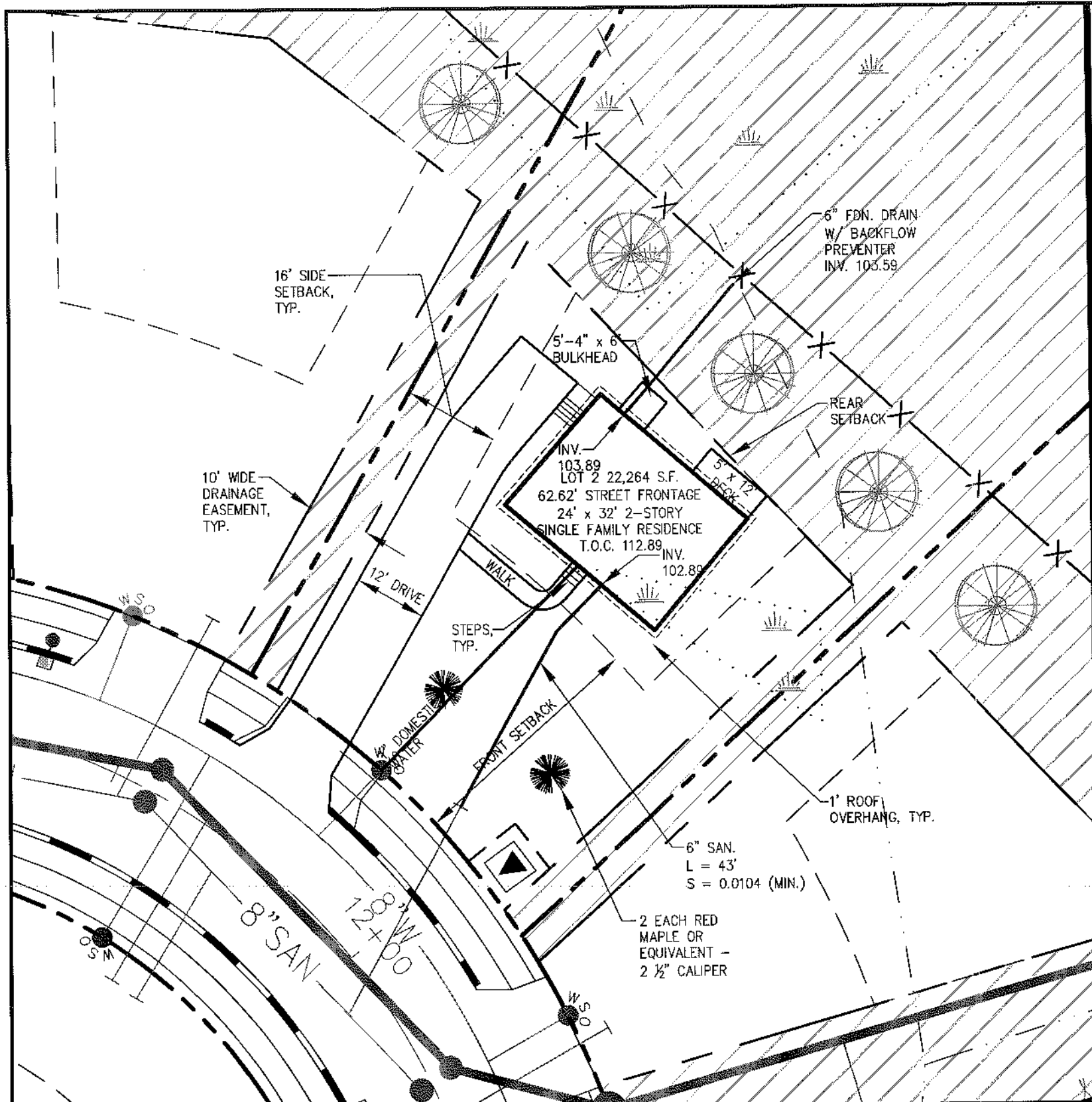
DeLuca-Hoffman Associates, Inc.  
778 MAIN STREET, SUITE 8  
SOUTH PORTLAND, ME 04106  
207.775.1121  
WWW.DELUCAHOFFMAN.COM

DRAWN:	CDD	DATE:	MAR. 2005
DESIGNED:	DDA	SCALE:	1" = 20'
CHECKED:	DDA	JOB NO.:	2459.02
FILE NAME:	245902-LOTS		

RUBY LANE  
PORTLAND, MAINE

LOT 2 GRADING & EROSION  
CONTROL PLAN

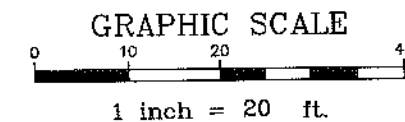
FIGURE  
2-B



RECEIVED NOV 7 2005

### ZONING REGULATIONS

ZONE:	R-3
MINIMUM LOT SIZE:	6,500 S.F.
MINIMUM LOT WIDTH:	75 FEET
MINIMUM STREET FRONTAGE:	50 FEET
MINIMUM FRONT YARD SETBACK:	25 FEET OR AT MIN. 75' LOT WIDTH
MINIMUM REAR YARD SETBACK:	25 FEET
MINIMUM SIDE YARD SETBACK:	16 FEET (FOR 2½ STORY DWELLING) 8 FEET (FOR 1½ STORY DWELLING)



REVISED 11.02.05



DeLuca-Hoffman Associates, Inc.  
778 MAIN STREET, SUITE 8  
SOUTH PORTLAND, ME 04106  
207.775.1121  
WWW.DELUCAHOFFMAN.COM

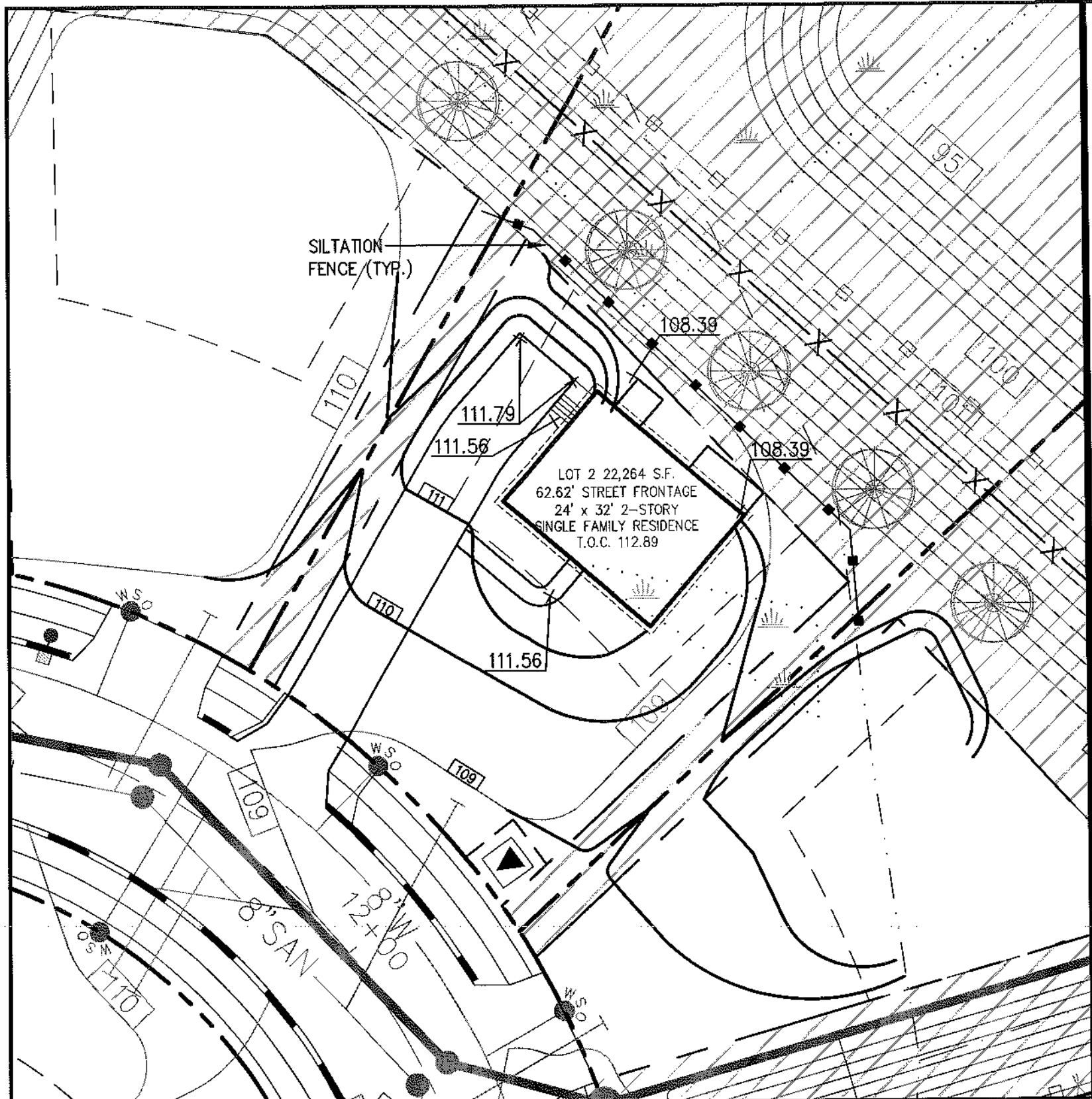
DRAWN:	CDD	DATE:	MAR. 2005
DESIGNED:	DDA	SCALE:	1" = 20'
CHECKED:	DDA	JOB NO.:	2459.02
FILE NAME:	245902-LOTS		

RUBY LANE  
PORTLAND, MAINE

LOT 2 LAYOUT & UTILITIES PLAN

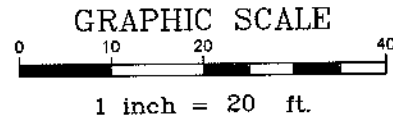
FIGURE

2-A



**ZONING REGULATIONS**

ZONE:	R-3
MINIMUM LOT SIZE:	6,500 S.F.
MINIMUM LOT WIDTH:	75 FEET
MINIMUM STREET FRONTAGE:	50 FEET
MINIMUM FRONT YARD SETBACK:	25 FEET OR AT MIN. 75' LOT WIDTH
MINIMUM REAR YARD SETBACK:	25 FEET
MINIMUM SIDE YARD SETBACK:	16 FEET (FOR 2½ STORY DWELLING) 8 FEET (FOR 1½ STORY DWELLING)



REVISED 11.02.05

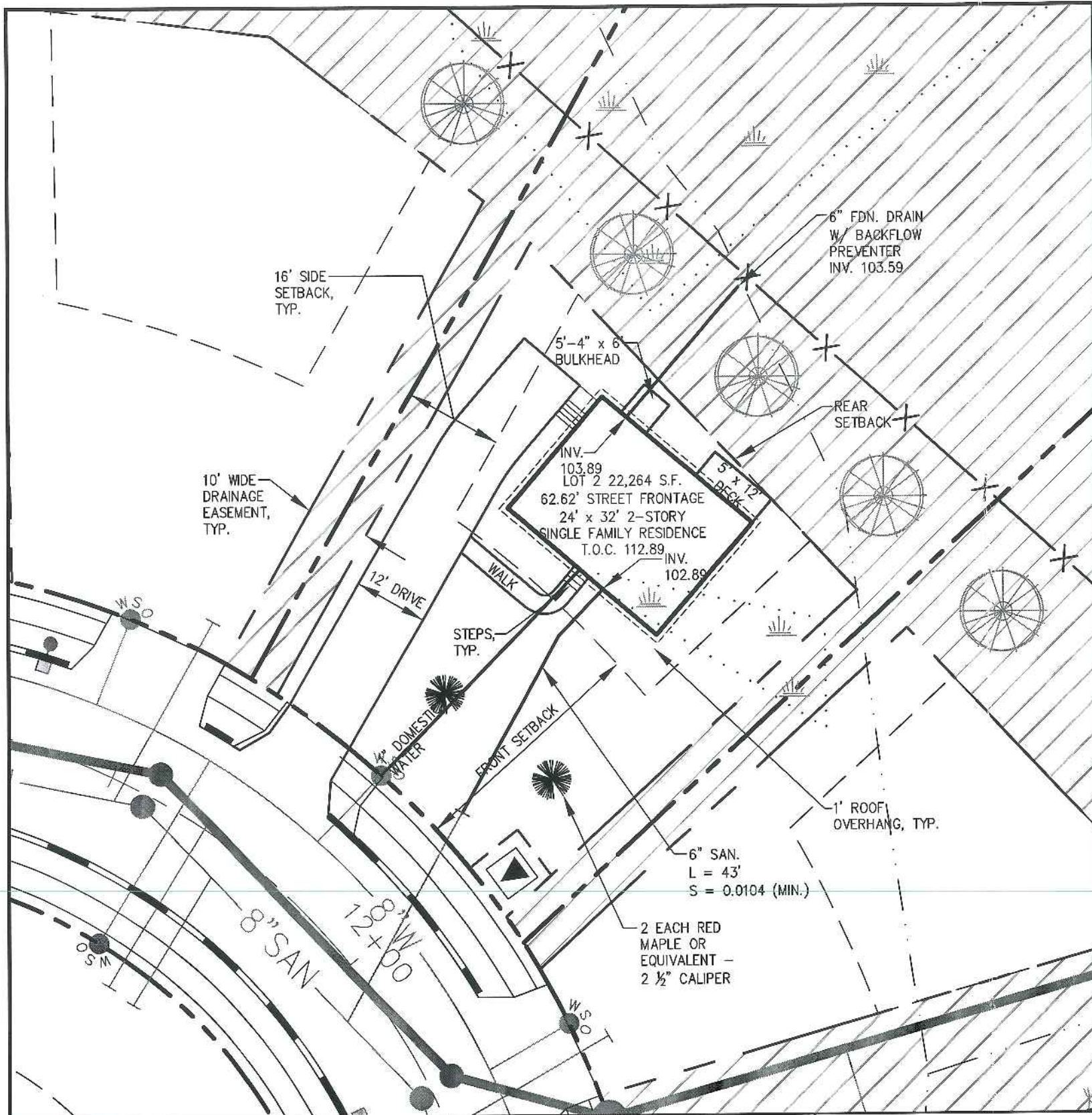
**DH** DeLuca-Hoffman Associates, Inc.  
 778 MAIN STREET, SUITE 8  
 SOUTH PORTLAND, ME 04106  
 207.775.1121  
 WWW.DELUCAHOFFMAN.COM

DRAWN:	CDD	DATE:	MAR. 2005
DESIGNED:	DDA	SCALE:	1" = 20'
CHECKED:	DDA	JOB NO.:	2459.02
FILE NAME:	245902-LOTS		

**RUBY LANE  
 PORTLAND, MAINE**

**LOT 2 GRADING & EROSION  
 CONTROL PLAN**

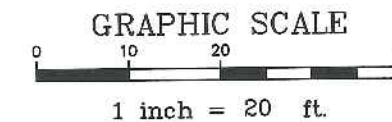
FIGURE  
**2-B**



RECEIVED NOV 17 2005  
*Observations corrected*

### ZONING REGULATIONS

ZONE:	R-3
MINIMUM LOT SIZE:	6,500 S.F.
MINIMUM LOT WIDTH:	75 FEET
MINIMUM STREET FRONTAGE:	50 FEET
MINIMUM FRONT YARD SETBACK:	25 FEET OR AT MIN. 75' LOT WIDTH
MINIMUM REAR YARD SETBACK:	25 FEET
MINIMUM SIDE YARD SETBACK:	16 FEET (FOR 2 1/2 STORY DWELLING) 8 FEET (FOR 1 1/2 STORY DWELLING)



REVISED 11.02.05



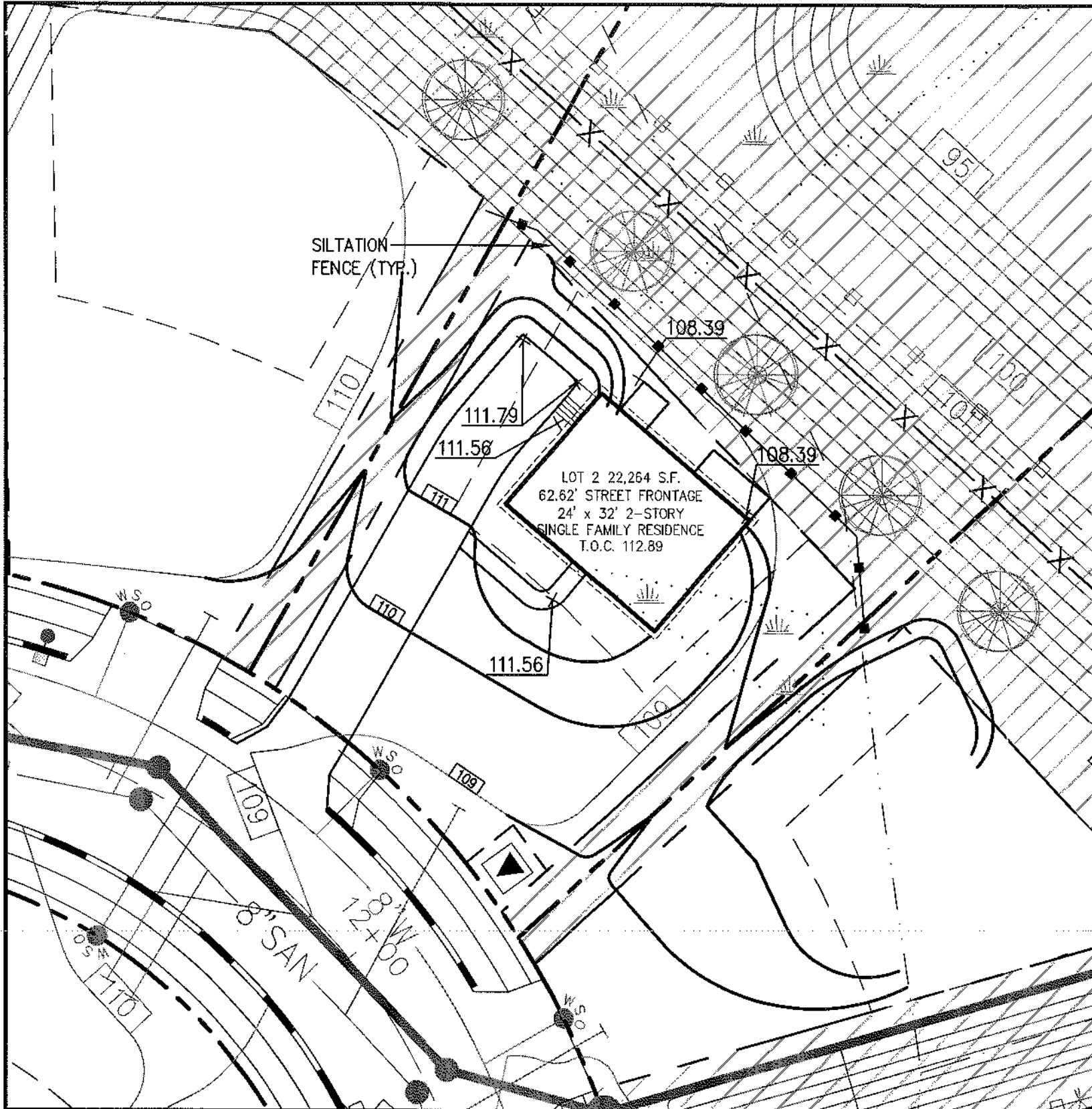
DeLuca-Hoffman Associates, Inc.  
 778 MAIN STREET, SUITE 8  
 SOUTH PORTLAND, ME 04106  
 207.775.1121  
 WWW.DELUCAHOFFMAN.COM

DRAWN:	CDD	DATE:	MAR. 2005
DESIGNED:	DDA	SCALE:	1" = 20'
CHECKED:	DDA	JOB NO.:	2459.02
FILE NAME:	245902-LOTS		

RUBY LANE  
 PORTLAND, MAINE

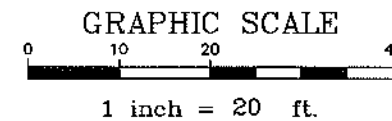
LOT 2 LAYOUT & UTILITIES PLAN

FIGURE  
 2-A



**ZONING REGULATIONS**

ZONE:	R-3
MINIMUM LOT SIZE:	6,500 S.F.
MINIMUM LOT WIDTH:	75 FEET
MINIMUM STREET FRONTAGE:	50 FEET
MINIMUM FRONT YARD SETBACK:	25 FEET OR AT MIN. 75' LOT WIDTH
MINIMUM REAR YARD SETBACK:	25 FEET
MINIMUM SIDE YARD SETBACK:	16 FEET (FOR 2½ STORY DWELLING) 8 FEET (FOR 1½ STORY DWELLING)



REVISED 11.02.05

**DH** DeLuca-Hoffman Associates, Inc.  
 778 MAIN STREET, SUITE 8  
 SOUTH PORTLAND, ME 04106  
 207.775.1121  
 WWW.DELUCAHOFFMAN.COM

DRAWN:	CDD	DATE:	MAR. 2005
DESIGNED:	DDA	SCALE:	1" = 20'
CHECKED:	DDA	JOB NO.	2459.02
FILE NAME:	245902-LOTS		

**RUBY LANE  
 PORTLAND, MAINE**

**LOT 2 GRADING & EROSION  
 CONTROL PLAN**

FIGURE  
**2-B**