

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0822	Issue Date: JUL 19 2004	CBL: 341 G027001
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Location of Construction: 28A D B Carriage Ln lot #7	Owner Name: Wa One	Owner Address: Po Box 10127	Phone:
Business Name:	Contractor Name: Dwight Brackett	Contractor Address: 84 Country Lane Portland	Phone: 2077728629
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R-S
Current Use: Vacant Lot	Proposed Use: Multi - Family 2-unit/ Build a 34x40 2 story Dwelling 30	Permit Fee: \$1,311.00	Cost of Work: \$135,000.00
		CEO District: 5	
Proposed Project Description: Multi - Family 2-unit/ Build a 34x40 2 story Dwelling 30'x40' per D.B. 7/9/04		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group R-3 Type SB BOCA 1999
		Signature: [Signature]	Signature: [Signature]
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied	
		Signature:	Date:

Permit Taken By: Idobson	Date Applied For: 06/16/2004	Zoning Approval	
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Special Zone or Reviews <input type="checkbox"/> Shoreland N/A <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone Panel 7 Zone X <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan All under the original site plan #2003-0004 Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 7/9/04	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

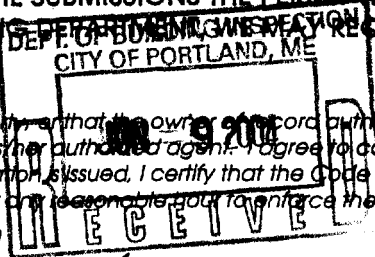
SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

All Purpose Building Permit Application

Location/Address of Construction: <u>LOT #7 CARRIAGE LANE</u>		
Total Square footage of Proposed Structure	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot# Chart# Block# Lot#	Owner: <u>DWIGHT BRACKETT</u>	Telephone: <u>772-8629</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>DWIGHT BRACKETT</u> <u>84 COUNTRY LANE</u> <u>PORTLAND ME 04103</u>	Cost Of Work: \$ <u>135,000⁰⁰</u> Fee: \$ <u>1236⁷⁵</u> <u>#1511</u>
Current use: <u>MULTIUNIT</u>		
If the location is currently vacant, what was prior use: <u>VACANT LAND</u>		
Approximately how long has it been vacant _____		
Proposed use: <u>MULTIUNIT</u>		
Project description: <u>34x40 2 STORY 2 UNIT 2 BED ROOM PER UNIT</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>DWIGHT BRACKETT</u>		
Mailing address: <u>84 COUNTRY LANE</u> <u>PORTLAND ME 04103</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>772-8629</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT. WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property and that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.



Signature of applicant: Dwight Brackett Date: 6/8/04

This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

Applicant: Dwight Brackett

Date: 6/30/21

Address: 28A ^B Carriage Lane (of #1) C-B-L: 341-G-027

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New Development permit #04-0822

Zone Location - R-5

Interior of corner lot -

can only be 30' x 40' or back to the P.B.

Proposed Use/Work - construct 2 family Dwelling - NO GARAGE

Sevage Disposal - City No rear Decks

Lot Street Frontage - 50' min req - 60' scaled

Front Yard - 20' min req - 30' to bldg

Rear Yard - 20' min req - 42' to rear

Side Yard - 12' min req - 15' & 15' shown

Projections - 2 front ^{3' x 4'} stoop & stairs - 2 rear ^{3' x 4'} stoop & stairs - No rear Bulkhead

Width of Lot - 60' min req - 60' scaled

Height - 35' MAX - 23.5' scaled

Lot Area - 6,000^{sq} 6,900^{sq} given

Lot Coverage/ Impervious Surface - 40% max or 2760^{sq} max
 $30 \times 40 = 1200$
 $2(3 \times 4) = 24$
 $2(3 \times 4) = 24$
 1248

Area per Family - 3,000^{sq} per unit or 6,000^{sq}

Off-street Parking - 2 per D.U. or 4 pkg spaces req - 4 pkg spaces shown behind 20' req. set back

Loading Bays - N/A

Site Plan - All lots under the original site plan #2003-0084

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 7 - Zone V

NO Daylight basement shown

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Please Read Application And Notes, If Any, Attached

Permit Number: 040822

PERMIT ISSUED
JUL 19 2004
CITY OF PORTLAND

This is to certify that Wa One /Dwight Brackett
has permission to Multi - Family 2-unit/ Build x40 2 s
AT 28 A/B Carriage Ln 341 G027001 CITY OF PORTLAND

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is laid or otherwise used-in. **HOURLY NOTICES REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]
Health Dept. _____
Appeal Board _____
Other _____
DepartmentName

[Signature] 7/14/04
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

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Permit No: 04-0822	Date Applied For: 06/16/2004	CBL: 341 G027001
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Location of Construction: 28 Carriage Ln (lot #7)	Owner Name: Wa One	Owner Address: Po Box 10127	Phone:
Business Name:	Contractor Name: Dwight Brackett	Contractor Address: 84 Country Lane Portland	Phone (207) 772-8629
Lessee/Buyer's Name	Phone:	Permit Type: Multi Family	

Proposed Use: Multi - Family 2-unit/ Build a 30x40 2 story Dwelling - no garage	Proposed Project Description: Multi - Family 2-unit/ Build a 30x40 2 story Dwelling
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Dept: Fire **Status:** Approved with Conditions **Reviewer:** Lt. MacDougal **Approval Date:** 07/08/2004

Note: **Ok to Issue:**

1) the sprinkler system shall be installed in accordance with NFPA 13R

Dept: DRC **Status:** Approved with Conditions **Reviewer:** Jay Reynolds **Approval Date:** 06/26/2004

Note: **Ok to Issue:**

- 1) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 2) A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 3) Your new street address is now #28 A-B Carriage Lane, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.

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Business Name:	Contractor Name: Dwight Brackett	Contractor Address: 84 Country Lane Portland	Phone (207) 772-8629
Lessee/Buyer's Name	Phone:	Permit Type: Multi Family	

Dept: Planning **Status:** Approved **Reviewer:** Jay Reynolds **Approval Date:** 06/26/2004
Note: **Ok to Issue:**

Lot ~~17~~ Carriage Dwight @ 772-8629 04-0822
#17 ~~#17~~ Permit # ~~000000~~
~~000000~~

Soil type/Presumptive Load Value (Table 401.4.1) _____

STRUCTURAL

Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2) OK Shows 8' - 7 1/2" want over Dwight

Foundation Drainage Damp proofing (Section 406) OK Note #1 sheet R2 - Shows drainage - need A1 for fabric

Ventilation (Section 409.1) Crawls Space ONLY N/A

Anchor Bolts/Straps (Section 403.1.4) 5/8" @ 3' oc - OK

Lally Column Type, Spacing and footing sizes (Table 502.3.4(2)) OK - 3-2x10's - 5 1/2' largest span

Built-Up Wood Center Girder Dimension/Type OK ↗

(Table 502.3.4(2))

Sill/Band Joist Type & Dimensions 2x6 PT - 01c

First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1)) 5 2x10's - 16" oc

Second Floor Joist Species Dimensions and Spacing Table(503.3.1(1) & Table 503.3.2(1)) 2x10's - 16" oc

Check permit by phone or in person

OK 5'-2x10' 3" max height new addition - 15" max

~~17~~

17

Attic or additional Floor Joist Species Dimensions and Spacing (Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))	Tussled - OK	
Roof Rafter Pitch, Span, Spacing & Dimension (Table 802.3.2(7))	" "	
Sheathing; Floor, Wall and roof (Table 503.2.1(1))	OK	
Fastener Schedule (Table 602.3(1) & (2))		
Private Garage Section 309 and Section 407 1999 BOCA)	N/A	
Living Space ? (Above or beside)		
Fire separation		
Fire rating of doors to living space Door Sill Door to living space BOCA	Separating wall -	went over w/ Dwg. girt -
Egress Windows (Section 310)	OK	going from bsmt to ridge w/ 1 hour wall
Roof Covering (Chapter 9)	OK	
Safety Glazing (Section 308)	OK shows Temp	in baths
Attic Access (BOCA 1211.1)	Size ? 22" x 30"	Min - went over w/ Dwg. girt
Draft Stopping around chimney	OK	

[Handwritten signature]

[Handwritten circled number 2]

Header Schedule	OK	
Type of Heating System	furnace into interior Back chimney	
Stairs		
Number of Stairways		
Interior	4	
Exterior		
Treads and Risers (Section 314)	OK	10"4" * 7 1/2 to 7 3/4" Rise - OK
Width	3-6 finished - OK	
Headroom	6'-8" OK	
Guardrails and Handrails (Section 315)	Enclosed	Stairs - handrail detail OK
Smoke Detectors Location and type/interconnected	Not shown -	went over w/ Dwight OK
Plan Reviewer Signature		

See Chimney Summary Checklist

Fire wall - OK going to ridge

Sprinklers? will get status + approval

Framing of front ~~door~~ door

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

Zoning Copy

2004-0126

Application I. D. Number

6/14/2004

Application Date

2 Unit dwelling

Project Name/Description

Wa One

Applicant

Po Box 10127, Portland, ME 04104

Applicant's Mailing Address

Marge

Consultant/Agent

Agent Ph:

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Carriage Ln , Portland, Maine

Address of Proposed Site

341 G027001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) **2 unit dwelling**

34 x 40

Proposed Building square Feet or # of Units

6900

Acreage of Site

Zoning

Check Review Required:

- | | | | |
|---|---|--|--|
| <input type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Pla _____ Subdivision _____ Engineer Review _____ Date _____

Zoning Approval Status:

Reviewer _____

- Approved** **Approved w/Conditions** **Denied**
 See Attached

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____
 signature _____ date _____

Performance Guarantee **Required*** **Not Required**

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

From: Jay Reynolds
To: Marge Schmuckal
Date: Thu, Jul 1, 2004 9:45 AM
Subject: Re: Fwd: More Carriage Lane approvals

The original submittals for lots 7-10 were approved, no revisions were necessary.

Jay

>>> Marge Schmuckal 07/01/2004 9:25:18 AM >>>

How can I be sure that the plans I have are the same as yours? Did you get any updated plans or did you review what was originally submitted? If you reviewed what was originally submitted, then I'm pretty sure that is what I have too, and I can go forward. If Dwight gave you something else, then I am not confident that I have the same plan.

Marge

>>> Jay Reynolds 07/01 8:32 AM >>>

Lannie, Vicky, and I have upgraded urban insight *so* that all signoffs can be viewed under building permit, so I don't actually 'walk down' any approval. I did however, send an e-mail. The original submittals for lots 7-10 were approved, no revisions were necessary.

Jay

BUILDING PERMIT INSPECTION PROCEDURES

Please call **874-8703** or **874-8693** to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in **48-72** hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A **Pre-construction** Meeting will take place upon receipt of your building permit.

- Footing/Building Location** Inspection: Prior to pouring concrete
- Re-Bar Schedule** Inspection: Prior to pouring concrete
- Foundation** Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical**: Prior to any insulating or drywalling
- Final/Certificate** of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

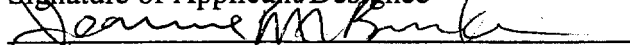
 If **any** of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED



Signature of Applicant/Designee

Date 7/19/04



Signature of Inspections Official

Date

CBL: 341 6002 Building Permit #: 0408 22